



**Date** November 3, 2014

**RESOLUTION SETTING HEARING ON REQUEST FROM KADING PROPERTIES, LLC. (OWNER), REPRESENTED BY KARIE RAMSEY (OFFICER), FOR REVIEW AND APPROVAL OF THE 9TH AMENDMENT TO THE MEADOWLANDS PUD CONCEPTUAL PLAN, 2100 MEADOW COURT**

**WHEREAS**, the City Plan and Zoning Commission has advised that at a public hearing held on October 16, 2014, its members voted 11-1 in support of a motion to recommend **APPROVAL** of a request from Kading Properties, LLC (owner), represented by Karie Ramsey (officer), for review and approval of the 9th Amendment to the Meadowlands PUD Conceptual Plan for property locally known as 2100 Meadow Court ("Property"), to revise the proposed configuration of residential dwellings from 43 units within 7 rowhouse structures having rear-loaded garages to 34 units within 17 one-story, two-unit (duplex) structures having front-loaded garages, subject to the following revisions:

1. Conformance with all administrative review comments by the Permit and Development Center;
2. Sheets 1 and 3 shall be revised to reflect the configuration proposed on Sheet 2;
3. Compliance with International Fire Code Section 508.5.1 that states "where a portion of the building is more than 400 feet from a hydrant on a fire apparatus road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided;"
4. Provision of a sidewalk connection to the recreational trail along the east edge of the site;
5. The two building designs labeled as "Unit Type D" shall be relabeled to demonstrate the side facades facing external to the site shall consist of stone siding;
6. The building designs labeled "Option H" and "Option H-2" shall be revised to include a stone wainscot on the highly visible side facades of the furthest east and furthest west units;
7. Provision of a note to state that any wall-mounted air conditioning units shall be placed in this most inconspicuous manner on the side or rear of the each unit and shall be screened by landscaping and/or architecturally-integrated vents to the satisfaction of the City's Planning Administrator;
8. Provision of at least one (1) overstory tree in front of each two-family structure;
9. Provision of landscaping within the 5-foot paving setback along the west property line to the satisfaction of the City's Planning Administrator;
10. The plantings within the northern portion of the site shall be spread out to provide an adequate buffer along the north property line to the satisfaction of the City's Planning Administrator;
11. Relocation of the proposed private park to a more central location within the development that is more accessible and visible to residents, to the satisfaction of the City's Planning Administrator, which may result in the loss of a dwelling unit;
12. Provision of enough topographic grade elevations and sanitary sewer inverts to ensure gravity service to all units, to the satisfaction of the Permit & Development Center's engineering staff;

( continued )



# Roll Call Number

Agenda Item Number

17

Date November 3, 2014

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13. The PUD Conceptual Plan shall demonstrate placement of any monument sign to the satisfaction of the City's Planning Administrator; and
14. Provision of a note to state that all outdoor lighting fixtures, including wall-mounted packs and pole lights, shall be low-glare, cut-off type fixtures; and

**WHEREAS**, the Property is legally described as follows:

Lots 1, 2, 3, B, C, THE MEADOWLANDS PLAT 1, an Official Plat and Lots 1, 2, 3, 4, 5, A, B, THE MEADOWLANDS PLAT 2, an Official Plat, all now included in and forming a part of the City of Des Moines, Polk County, Iowa.

**NOW THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed 9<sup>th</sup> Amendment to the Meadowlands "PUD" Conceptual Plan is to be considered shall be held in the Council Chambers, City Hall, Des Moines, Iowa, at 5:00 p.m. on November 17, 2014, at which time the City Council will hear both those who oppose and those who favor the proposal.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

MOVED by \_\_\_\_\_ to adopt.

FORM APPROVED:

*Glenna K. Frank*

(ZON2014-00178)

Glenna K. Frank, Assistant City Attorney

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
COLEMAN				
GATTO				
GRAY				
HENSLEY				
MAHAFFEY				
MOORE				
TOTAL				

## CERTIFICATE

I, DIANE RAUH, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

MOTION CARRIED

APPROVED

Mayor

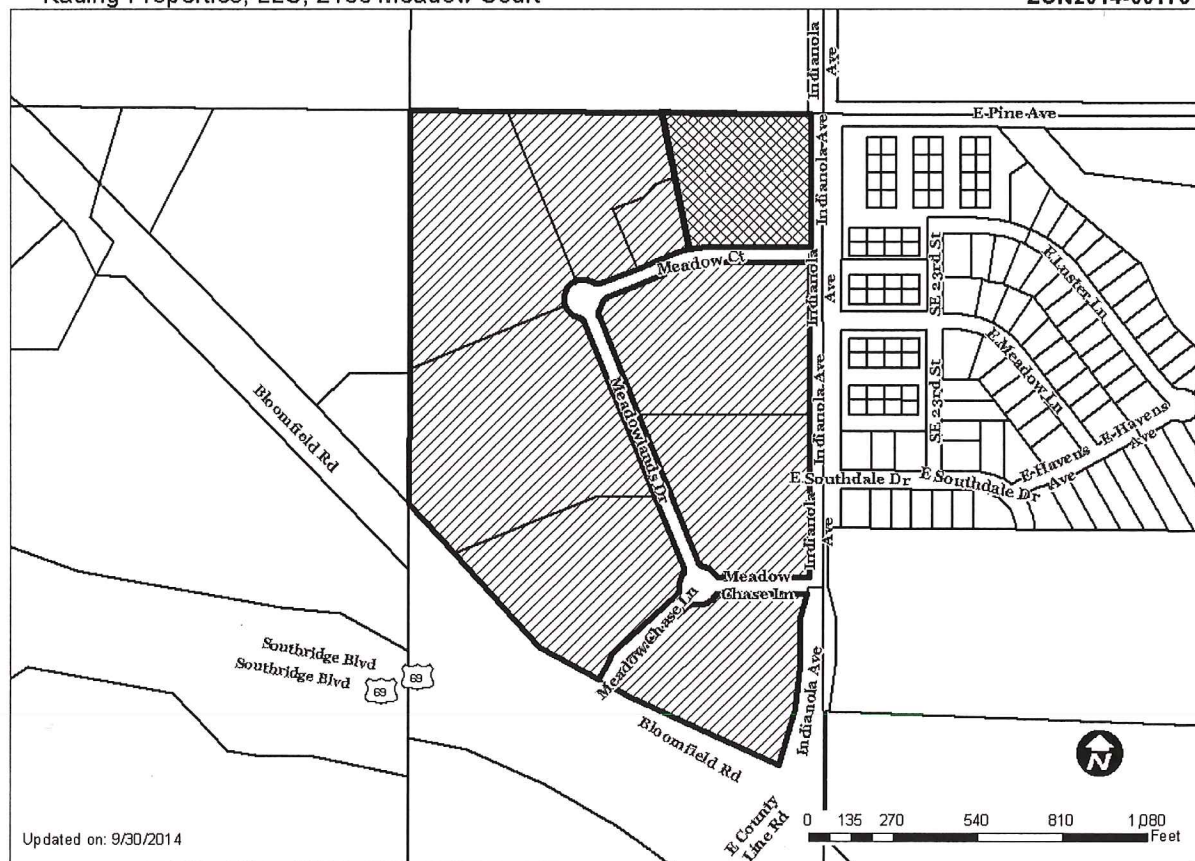
City Clerk



Kading Properties, LLC. (owner) represented by Karie Ramsey (officer) on property at 2100 Meadow Court.				File #		
				ZON2014-00178		
Description of Action		Approval of the 9th Amendment to the Meadowlands PUD Conceptual Plan to revise the proposed configuration of residential dwellings on 2100 Meadow Court from 43 units within rowhouses having rear loaded garages to 34 units within two family dwellings having front loaded garages subject to revisions.				
2020 Community Character Plan		Current: Medium Density Residential. Proposed: N/A.				
Horizon 2035 Transportation Plan		No planned improvements.				
Current Zoning District		"PUD" Planned Unit Development.				
Proposed Zoning District		N/A.				
Consent Card Responses		In Favor	Not In Favor	Undetermined	% Opposition	
Inside Area		2	3			
Outside Area						
Plan and Zoning Commission Action		Approval	11-1	Required 6/7 Vote of the City Council	Yes	
		Denial			No	X

Kading Properties, LLC, 2100 Meadow Court

ZON2014-00178



1 inch = 360 feet

17



October 20, 2014

Honorable Mayor and City Council  
City of Des Moines, Iowa

**Members:**

Communication from the City Plan and Zoning Commission advising that at their meeting held October 16, 2014, the following action was taken regarding a request from Kading Properties, LLC. (owner) represented by Karie Ramsey (officer) for review and approval of the 9th Amendment to the Meadowlands PUD Conceptual Plan on property at 2100 Meadow Court.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 11-1 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Dory Briles	X			
JoAnne Corigliano	X			
Jacqueline Easley	X			
Tim Fitzgerald	X			
Dann Flaherty	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Ted Irvine	X			
Greg Jones	X			
William Page	X			
Christine Pardee	X			
CJ Stephens				X
Vicki Stogdill		X		
Greg Wattier				X

**APPROVAL** of staff recommendation for the proposed 9<sup>th</sup> Amendment to the Meadowlands "PUD" Conceptual Plan, subject to the following revisions:

1. Conformance with all administrative review comments by the Permit and Development Center.
2. Sheets 1 and 3 shall be revised to reflect the configuration proposed on Sheet 2.



3. Compliance with International Fire Code Section 508.5.1 that states “where a portion of the building is more than 400 feet from a hydrant on a fire apparatus road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided.”
4. Provision of a sidewalk connection to the recreational trail along the east edge of the site.
5. The two building designs labeled as “Unit Type D” shall be relabeled to demonstrate the side facades facing external to the site shall consist of stone siding.
6. The building designs labeled “Option H” and “Option H-2” shall be revised to include a stone wainscot on the highly visible side facades of the furthest east and furthest west units.
7. Provision of a note to state that any wall-mounted air conditioning units shall be placed in this most inconspicuous manner on the side or rear of the each unit and shall be screened by landscaping and/or architecturally-integrated vents to the satisfaction of the City’s Planning Administrator.
8. Provision of at least one (1) overstory tree in front of each two-family structure.
9. Provision of landscaping within the 5-foot paving setback along the west property line to the satisfaction of the City’s Planning Administrator.
10. The plantings within the northern portion of the site shall be spread out to provide an adequate buffer along the north property line to the satisfaction of the City’s Planning Administrator.
11. Relocation of the proposed private park to a more central location within the development that is more accessible and visible to residents, to the satisfaction of the City’s Planning Administrator. This may result in the loss of a dwelling unit.
12. Provision of enough topographic grade elevations and sanitary sewer inverts to ensure gravity service to all units, to the satisfaction of the Permit & Development Center’s engineering staff.
13. The PUD Conceptual Plan shall demonstrate placement of any monument sign to the satisfaction of the City’s Planning Administrator.
14. Provision of a note to state that all outdoor lighting fixtures, including wall-mounted packs and pole lights, shall be low-glare, cut-off type fixtures.

## **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Staff recommends approval of the proposed 9<sup>th</sup> Amendment to the Meadowlands “PUD” Conceptual Plan, subject to the following revisions:

1. Conformance with all administrative review comments by the Permit and Development Center.
2. Sheets 1 and 3 shall be revised to reflect the configuration proposed on Sheet 2.
3. Compliance with International Fire Code Section 508.5.1 that states "where a portion of the building is more than 400 feet from a hydrant on a fire apparatus road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided."
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11. Relocation of the proposed private park to a more central location within the development that is more accessible and visible to residents, to the satisfaction of the City's Planning Administrator. This may result in the loss of a dwelling unit.
12. Provision of enough topographic grade elevations and sanitary sewer inverts to ensure gravity service to all units, to the satisfaction of the Permit & Development Center's engineering staff.
13. The PUD Conceptual Plan shall demonstrate placement of any monument sign to the satisfaction of the City's Planning Administrator.
14. Provision of a note to state that all outdoor lighting fixtures, including wall-mounted packs and pole lights, shall be low-glare, cut-off type fixtures.

#### Written Responses

#### 2 In Favor



### 3 In Opposition

## STAFF REPORT TO THE PLANNING COMMISSION

### I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed amendment would allow "Parcel 4" of the Meadowlands PUD Conceptual Plan to be developed with 34 dwelling units within 17 one-story, two-unit (duplex) structures. The PUD Conceptual Plan currently shows this parcel to be developed with 43 dwelling units within seven (7) rowhouse structures. The proposed 34 dwelling units on 4.17 acres represents a density of 8.15 dwelling units per acre.

On October 9, 2014, the developer submitted a revised PUD Conceptual Plan that addresses several of staff's initial review comments. Staff notes that the layout shown on Sheet 2 is the current proposal. Therefore, Sheets 1 and 3 need to be revised to reflect this configuration.

2. **Size of Site:** 4.17 acres.
3. **Existing Zoning (site):** "PUD" Planned Unit Development District.
4. **Existing Land Use (site):** "Parcel 4" is currently undeveloped land.
5. **Adjacent Land Use and Zoning:**

**North** – "R-5", Use is undeveloped land used for agricultural production.

**South** – "Meadowlands PUD", Use is multiple-family residential within 2-story buildings.

**East** – "Hillsboro PUD", Use is multiple-family residential within 1-story townhome buildings.

**West** – "Meadowlands PUD", Use is multiple-family residential within 2-story buildings.

6. **General Neighborhood/Area Land Uses:** The site is located at the northeast corner of the Meadowlands subdivision, which includes a mix of multiple-family and two-family residential uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is not located with a recognized neighborhood. However, the Meadowlands PUD is within 250 feet of the Easter Lake Area Neighborhood. This neighborhood was notified of the meeting by mailing of the Preliminary Agenda to all recognized neighborhoods on September 26, 2014. Additionally, separate notifications of the hearing for this specific item were mailed on September 26, 2014 (20 days prior) and October 6, 2014 (10 days prior) to the Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the PUD Planned Unit Development. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on October 10, 2014.



All agendas and notices are mailed to the primary contact person designated to the City of Des Moines Neighborhood Development Division by the recognized neighborhood association. The Easter Lake Area Neighborhood Association mailings were sent to Jim Bollard, 4007 Southeast 26<sup>th</sup> Street, Des Moines, IA 50320.

The applicant held their neighborhood meeting on September 30, 2014. They will be available to provide a summary of the neighborhood meeting at the Plan & Zoning Commission hearing.

8. **Relevant Zoning History:** On February 24, 1997, the City Council adopted Ordinance 13,433 to rezone the property to "PUD" District and approve the Meadowlands PUD Conceptual Plan. This initial Conceptual Plan designated "Parcel 4" for development with up to 43 dwelling units within rowhouse structures. This proposed amendment (9<sup>th</sup>) is the first amendment that would revise "Parcel 4".
9. **2020 Community Character Land Use Plan Designation:** The subject property is designated as Medium Density Residential, which allows for densities of up to 17 dwelling units per acre. The proposed 34 dwelling units on 4.17 acres represents a density of 8.15 dwelling units per acre.
10. **Applicable Regulations:** The Commission reviews all proposals to amend zoning regulations or zoning district boundaries within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in §414.3 of the Iowa Code. The Commission may recommend that certain conditions be applied to the subject property if the property owner agrees in writing, in addition to the existing regulations. The recommendation of the Commission will be forwarded to the City Council.

The application, accompanying evidence and conceptual plan required shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of this division and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the conceptual plan and request for rezoning as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the commission shall be referred to the City Council.

## **II. ADDITIONAL APPLICABLE INFORMATION**

1. **Fire Protection Comments:** International Fire Code Section 508.5.1 states "where a portion of the building is more than 400 feet from a hydrant on a fire apparatus road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided." This may require provision of hydrants in addition to the two (2) shown on the northern portion of the site.
2. **Access & Parking:** Ten (10) of the proposed dwelling units would front Meadow Court while the balance would front a private access drive circling through the development. This access drive would originate from an existing drive approach along Meadow Court

that is shared with the development adjacent to the west. Each dwelling unit would have an attached garage space, as well as two (2) parking spaces in front of it.

The PUD Conceptual Plan demonstrates a 10-foot wide recreational trail on the Indianola Avenue and a 5-foot wide public sidewalk along Meadow Court. The Conceptual Plan also demonstrates a sidewalk along the private access road, as well as a sidewalk connecting the private sidewalk to the public sidewalk along Meadow Court. Staff also recommends provision of a sidewalk connection to the recreational trail along Indianola Avenue.

**3. Urban Design:** The PUD Conceptual Plan includes the following notes:

- All lap siding shall be cement board, wood, or engineered wood with a minimum 50-year warranty.
- All windows within portions of the façade sided with lap siding shall include a minimum 4-inch wide trim board that is painted a different color than the lap siding.
- All dwelling units shall have architectural asphalt shingles.
- There shall be at least 10 feet of separation between the side facades of buildings and at least 25 feet of separation between rear facades of the buildings.

The five (5) two-family structures fronting Meadow Court would be differentiated by a mix of four (4) façade types that include varying amounts of stone material, horizontal lap siding, and shake-pattern siding. One of the types includes a front porch feature. The buildings on each end would be a “Unit D”, which includes stone on the most visible sides. Staff notes that the two details for this units are both labeled “Unit Type D”, so they should be revised to “Unit Type D-1” and “Unit Type D-2” to more clearly represent the intent.

The twelve (12) two-family structures fronting the private access road would all be one of two designs that are differentiated by varying amounts of stone material, horizontal lap siding, and shake-pattern siding. Staff recommends that the highly visible side facades of the furthest east and furthest west units include a stone wainscot.

The proposed elevations demonstrate wall-mounted air conditioning units on the side facades of the units fronting Meadow Court and on the front facades of the units fronting the private access road. Staff recommends provision of a note to state that any wall-mounted air conditioning units shall be placed in the most inconspicuous manner on the side or rear of the each unit and screened by landscaping and/or architecturally-integrated vents to the satisfaction of the City’s Planning Administrator.

**4. Landscaping:** The PUD Conceptual Plan demonstrates a landscaped buffer along the eastern perimeter of the site and provides a mix of overstory and ornamental trees throughout the site. Staff recommends that at least one (1) overstory tree should be provided in front of each two-family structure.

The Conceptual Plan demonstrates the private access road would be within 5 feet of the west property line. Staff recommends that some plantings be provided along the west property line to the satisfaction of the City’s Planning Administrator y.

The PUD Conceptual Plan demonstrates three clusters of trees along the north property



line. Staff recommends that these trees be spread out provide an adequate buffer along the north property line to the satisfaction of the City's Planning Administrator.

The PUD Conceptual Plan states foundation plantings will be provided around each unit.

5. **Private Park:** The PUD Conceptual Plan demonstrates a small "private park area" near the northwest corner of the development, along with a note stating this area would include a children's play feature and a basketball court. Staff believes that it is reasonable to relocate this area to a more central location within the development that is more accessible and visible to residents, to the satisfaction of the City's Planning Administrator. This may result in the loss of a dwelling unit.
6. **Drainage/Grading:** Any development of the site must comply with the City's Stormwater Management requirements to the satisfaction of the City's Permit and Development Center. All grading is subject to an approved grading permit and soil erosion control plan.

The Conceptual Plan demonstrates stormwater detention would occur along the northern and eastern portions of the site.

7. **Utilities:** All necessary utilities are available to the site from existing services within adjoining Meadowlands Drive right-of-way. However, the Conceptual Plan must provide enough topographic grade elevations and sanitary sewer inverts to ensure gravity service to all units, to the satisfaction of the Permit & Development Center's Engineering staff.
8. **Other Information:** The PUD Conceptual Plan includes a detail for monument sign with a decorative stone base to match the stone of the dwelling units proposes a 6-foot by 1.83-foot (11 square feet) sign mounted on a boulder. However, the PUD Conceptual Plan must also demonstrate placement of this sign to the satisfaction of the City's Planning Administrator.

The PUD Conceptual Plan include a note to state that any refuse collection container enclosure on the site shall be constructed with masonry walls to match the development and steel gate. However, no such enclosures are proposed at this time.

Staff recommends a note be added to state that all outdoor lighting fixtures, including wall-mounted packs and pole lights, shall be low-glare, cut-off type fixtures.

The PUD Conceptual Plan includes a note to state that the property shall provide on-site management and video surveillance equipment. The applicant indicates that this would be achieved by sharing an on-site manager with their 69-unit residential development that is currently under construction to the west of this site.

## SUMMARY OF DISCUSSION

Bert Drost presented the staff report and recommendation.

Dann Flaherty asked why staff is concerned with the location of the park.



Bert Drost stated the accessibility and visibility of the park is greater if located in the middle versus at the rear of the property.

Dann Flaherty asked if there is an easement area at the north edge of the site.

Bert Drost stated the applicant is proposing a stormwater detention in that area.

Dann Flaherty asked would the park protect that easement area better.

Mike Ludwig stated staffs concerns about the private park feature is a function of accessibility and monitoring of that space. The proposed location is tucked away from the public streets, not a visible area and there are not a lot of units facing the private park. Staff believes that putting the park in a more central location would provide better accessibility, visibility and safety.

Vicki Stogdill asked if the other units in the area have a single car garage.

Bert Drost stated yes they do. They are one car garages but have two parking spaces in front of them making it a total of three spaces per unit.

Will Page asked about the density of the stone material that is being proposed for the siding.

Bert Drost stated he believes the applicant brought a sample.

Mark Lee Lee Chamberlain Consultant Engineers 3117 115<sup>th</sup> Street, Van Meter, Iowa representing Kading Properties stated they would like to do a couple of things differently than what staff has recommended and believe they can accomplish the same goals. They were unable to relocate the park to the middle of the development as staff has suggested but they have changed the location of the park to a location along the driveway on the west edge of the site to give it more visibility and safety. They are down to 34 units making it a density of about 8 units per acre. The existing plan allows 10 units per acres. He pointed out in the plat development requirement the storm water detention has to be 21' x 40'. The area they are proposing for their storm water detention it is 100' x 60' and is locked in that location.

Dan Novelli Kading Properties 7008 Madison Avenue stated they are interested in using the same ideas for the park area as Polk County Conservation and Des Moines Park and Recreation have done with nature playscapes. He noted a nature playscape would be a better fit in the irregular shape area as opposed to a traditional play structure.

Mark Lee stated their other issue is condition #7. The layouts of these units are such that the rear is where the bedrooms are located and the front is where the kitchen and living room are located. It works better for air circulation to put that air in the larger area and let it filter into the bedrooms. If the air conditioning units are put on the side or the rear it is harder to filter the air in the front area. They are proposing that the air conditioning units be left in the front buffering it heavily with some plantings around the front and matching the color of the siding.

Dan Novelli showed a sample of the stone siding they are proposing to use. It is stone veneer and they have used it in several projects with success. It has some sustainability factors that they like as far as recycled materials.

Will Page asked if it comes as a panel or is each piece laid individually.

Dan Novelli stated they are individually laid with mortar.

Vicki Stogdill asked will there be some type of barrier fencing surrounding the park area.

Mark Lee stated they will have a sidewalk next to the street giving it a little bit of a buffer, but believes having some type of barrier would be a good idea.

Greg Jones stated if the air conditioning is on the front, he prefers the grill of the air conditioning not be seen at all, therefore, would like the color to match the siding and believes they can work through that.

John "Jack" Hilmes asked why the air conditioning units have to go on the front and can't be concealed in a different space. He has had homes where the air conditioning units suspended from the ceiling in the garage servicing other areas of the home and he has had homes with air conditioning units in the attic space servicing other areas in the home.

Dan Novelli stated from their experience they have had similar designs with similar units in the garages and those have not worked as well. They get too hot.

Dann Flaherty asked do they have any different elevations than are being shown.

Mark Lee stated they have different foot prints and exterior finish but with the same building mass.

## **CHAIRPERSON OPENED THE PUBLIC HEARING**

Mildred Rivera-Betancourt 2101 Meadow Court #602 stated her concerns are the one access point, the increase in traffic density, parking on the street and people parking along Meadowland Drive reducing the traffic flow from two lanes to one lane. It is difficult to get in and out of the garage and in the winter it would present a problem for snow removal. She believes a no parking sign on Meadowland Drive would ease and maintain the traffic flow. There are a lot of kids in their neighborhood with people driving fast.

Lynnette Chapman 2100 Meadow Chase Ln. #505 stated a few years ago there was a four alarm fire in the area and there was only one access for the emergency vehicles. This is a concern and she suggested an access point off of Indianola to give more access and to ease the congestion. The traffic will increase and she is glad they are reducing the number of units. There is still an ongoing issue with both of the roundabouts with people routinely going in the wrong direction. There is still no public transit in the immediate area. As this area keeps developing, turn lanes are needed on Indianola.

Mark Timmons Witherwax Law 6205 Mills Civic Parkway, Suite 201 representing Pasco Storage Unlimited has some concerns with the new proposed construction. They are worried about the value of their property with the addition of this development because of



the cookie cutter units and the air conditioning units are not visibly aesthetic. They also have issues with the proposed driveway due to the influx of cars that will be brought into this area. He agrees with the previous person that there should be an additional entrance onto Indianola Avenue. With the total number of children in the neighborhood there could be issues with the single-car garage and having other cars in the driveway which could lead to reduced visibility in the neighborhood.

### *Rebuttal*

Mark Lee stated the townhomes and condos are typically the same. This development was approved by the City of Des Moines many years ago. He assumes they did a traffic study at that time.

Ted Irvine asked if the density of this new phase is greater or less than the existing approved plan.

Mark Lee stated this amendment is less dense than the existing approved plan.

Mike Ludwig stated staff will forward the parking concerns on Meadowlands to the Traffic and Transportation Department to see if there is a need to restrict any parking in the area. They probably would want to wait until the additional units are built to do that analysis. Staff could also contact the school district about where they are currently parking to load and unload students. He pointed out that when the school bus put their sign out, traffic is supposed to stop on both sides. He pointed out the last two projects have reduced the density that was originally approved on this PUD. The original PUD had very similar building types all over. With the amendments that have been approved there have been a variety of housing types constructed in this development. Staff was pleased with the variation. There are single-family houses across the street. Mixed housing type in the neighborhood is critical. Indianola Avenue has been widened from SE 14<sup>th</sup> to Army Post Road and in the future there are plans for additional widening of Indianola Avenue south of Army Post, but that is in future CIP Plans. The Traffic and Transportation Department as well as the Fire Department did review the fire access into the development. He was not sure that Traffic and Transportation Department would allow access to Indianola Road.

Bert Drost stated when the original PUD was established there were discussions on where the entrances to Indianola should occur. The intent was to minimize the intersections on Indianola. There is quite a bit of grade change between the north end of the parcel and Indianola.

Dann Flaherty asked could something be done to extend Pine west of Indianola.

Bert Drost stated the property to the north is an approved but yet to be constructed "R-5" land lease community. That plan includes a circular driveway so there would not be a way to connect to the two properties or to extend Pine.

Dann Flaherty stated if the density will be worse as they move north.

Mike Ludwig stated an "R-5" land lease community it is considered single-family housing.

Dann Flaherty stated his concern is the density.



Bert Drost stated the current approved plan allows 43 dwelling units.

Dann Flaherty stated the fact that the applicant changed the units from 43 to 34 is a plus. His concern is that this PUD is hugely over built.

Bert Drost pointed out the PUD was approved in 1997.

Lynette Chapman 2101 Meadow Chase Lane Unit 505 stated she understands people have to stop for a school bus when the red lights are on and the arm is out. However, the bus are also stopped with yellow lights on and just waiting at times. She noted it is very confusing.

Jacqueline Easley asked if these units are meeting a demand.

Bert Drost stated he believes there is a demand. The development to the northwest that is under construction is leased.

## **CHAIRPERSON CLOSED THE PUBLIC HEARING**

Tim Fitzgerald noted he shares Commissioner Flaherty's frustration. It looks cookie cutter and he believes the applicant is trying to get as much as they can out of what they can. Because it is zoned for this he will agree with staff recommendation.

## **COMMISSION ACTION:**

Tim Fitzgerald moved staff recommendation for approval of the proposed 9th Amendment to the Meadowlands "PUD" Conceptual Plan, subject to the following conditions:

1. Conformance with all administrative review comments by the Permit and Development Center.
2. Sheets 1 and 3 shall be revised to reflect the configuration proposed on Sheet 2.
3. Compliance with International Fire Code Section 508.5.1 that states "where a portion of the building is more than 400 feet from a hydrant on a fire apparatus road as measured by an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided."
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screened by landscaping and/or architecturally-integrated vents to the satisfaction of the City's Planning Administrator.

8. Provision of at least one (1) overstory tree in front of each two-family structure.
9. Provision of landscaping within the 5-foot paving setback along the west property line to the satisfaction of the City's Planning Administrator.
10. The plantings within the northern portion of the site shall be spread out to provide an adequate buffer along the north property line to the satisfaction of the City's Planning Administrator.
11. Relocation of the proposed private park to a more central location within the development that is more accessible and visible to residents, to the satisfaction of the City's Planning Administrator. This may result in the loss of a dwelling unit.
12. Provision of enough topographic grade elevations and sanitary sewer inverts to ensure gravity service to all units, to the satisfaction of the Permit & Development Center's engineering staff.
13. The PUD Conceptual Plan shall demonstrate placement of any monument sign to the satisfaction of the City's Planning Administrator.
14. Provision of a note to state that all outdoor lighting fixtures, including wall-mounted packs and pole lights, shall be low-glare, cut-off type fixtures.

Motion passed 11-1 (Vicki Stogdill voted in opposition)

Respectfully submitted,



Michael G. Ludwig, AICP  
Planning Administrator

MGL:clw

Attachment

ZON2014-00178

17

Item

Date

10/9/14

I (am) (am not) in favor of the request.

**RECEIVED**  
(Circle One)  
COMMUNITY DEVELOPMENT

Print Name

Barbara Kelderman

OCT 14 2014

Signature

Barbara Kelderman

DEPARTMENT

Address

200 Meadow Chase Ln #209

Reason for opposing or approving this request may be listed below:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Item

ZON2014-00178

Date

9 Oct 2014

I (am) (am not) in favor of the request.

**RECEIVED**  
(Circle One)  
COMMUNITY DEVELOPMENT

Print Name

JOSEPH CAMPORIANO

OCT 14 2014

Signature

Joseph Camporiano

DEPARTMENT

Address

2700 E. SOUTHDALE DR

Reason for opposing or approving this request may be listed below:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



ZON2014-00178

Item

Date

10.8.14

I (am) ~~(am not)~~ in favor of the request.

RECEIVED

COMMUNITY DEVELOPMENT

OCT 14 2014

Print Name F+5 m=6 to Home

Signature R. M. G.

DEPARTMENT

Address 6901 SE 14th

Reason for opposing or approving this request may be listed below:

Area over populated all  
ready

ZON2014-00178

Item

Date

10/13/2014

17.

I (am) (am not) in favor of the request.

Received after 162 meeting

RECEIVED

COMMUNITY DEVELOPMENT

Print Name

Kathy Bianchi

Signature

Kathy M Bianchi

Address

2320 E Luster Ln #2  
Dm, IA 50320

OCT 16 2014

DEPARTMENT

Reason for opposing or approving this request may be listed below.

I do NOT need my property taxes  
or value of my house affected  
any more than they already  
have been. If they plan to add more  
residents, need to widen street first.  
(Ind Ave)

ZON2014-00178

Item

2100 Meadow Court

Date

10/8/14

I (am) (am not) in favor of the request.

RECEIVED

COMMUNITY DEVELOPMENT

Print Name

Kimberly Stephens

Signature

Kimberly Stephens

Address

2101 Meadow Ct #1002  
Dm, IA 50320

OCT 14 2014

DEPARTMENT

Reason for opposing or approving this request may be listed below:

Will drive down our property values



NOTES: (ADDITIONAL FOR PARCEL 4)

ON PREVIOUSLY APPROVED PLAN PARCEL 4 INCLUDED 43 DWELLING UNITS OF TWO STORY TOWNHOMES.

THIS PROPOSAL CALLS FOR 34 DWELLING UNITS SPLIT BETWEEN 17 BI-ATTACHED ONE STORY BUILDINGS.

THE ATTACHED BUILDING ELEVATIONS ARE INTENDED TO PORTRAY THE ARCHITECTURAL CHARACTER AND USE OF THE COMPLEMENTARY BUILDING MATERIALS. ACTUAL BUILDING PLANS WILL BE SIMILAR IN DESIGN AND CONSTRUCTION MATERIALS.

NOTES: (FOR PARCEL 4 & 6)

- Any PUD Development Plan for the development shall be presented to the Plan and Zoning Commission for review and approval.
- The number of permitted residential dwelling units within any future development shall be dependent upon the PUD Development Plan review and compliance with the PUD Conceptual Plan. However, the number of dwelling units shall not exceed 70 units. (PARCEL 6 ONLY)
- All lap siding shall be cement board, wood, or engineered wood with a minimum 50-year warranty.
- All windows within portions of the facade sided with lap siding shall include a minimum 4-inch wide trim board that is painted a different color than the lap siding.
- All dwelling units shall have architectural-type asphalt shingles.
- There shall be at least 10 feet of separation between the side facades of buildings and at least 25 feet of separation between rear facades of the buildings.
- Foundation plantings shall be provided around each dwelling unit.
- A private park shall be located near the front of the development and shall include a children's play feature and a basketball court.
- Any refuse collection container enclosure structure shall be constructed with masonry walls to match the development and steel.
- The property shall provide on-site management and video surveillance equipment.

LEGAL DESCRIPTION:  
LOT 5 OF THE MEADOWLANDS PLAT 2, AN OFFICIAL PLAT NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

# P.U.D. CONCEPTUAL PLAN 9TH AMENDMENT MEADOWLANDS

**PARCEL 7**  
APARTMENTS/TOWNHOMES  
2-STORY  
8.2 ACRES  
68 DU  
8.2 DU/AC

**PARCEL 6**  
BI-ATTACHED CONDOMINIUMS  
1-STORY  
7.21 ACRES  
70 DU  
10 DU/AC

**PARCEL 8**  
APARTMENTS  
2-STORY  
6.7 ACRES  
50 DU  
8.5 DU/AC

**PARCEL 5**  
CONDOMINIUMS  
2-STORY  
5.8 ACRES  
72 DU  
12 DU/AC

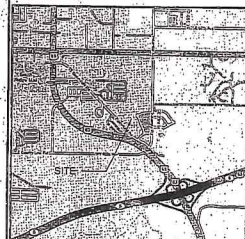
**PARCEL 1**  
COMMERCIAL  
1-STORY  
20,000 SF RETAIL  
CONVENIENCE STORE/GAS  
5.2 ACRES

**PARCEL 2**  
APARTMENTS  
2-STORY  
5.8 ACRES  
58 DU  
10.8 DU/AC

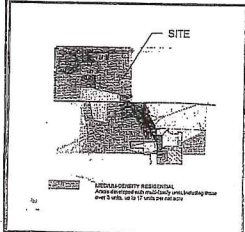
**PARCEL 3**  
TOWNHOMES  
2-STORY  
6.7 ACRES  
74 DU  
11.1 DU/AC

**PARCEL 4**  
BI-ATTACHED CONDOMINIUMS  
SINGLE STORY  
4.17 ACRES  
34 DU  
8.15 DU/AC

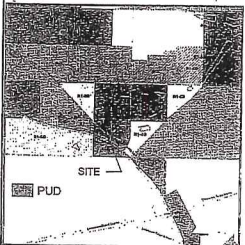
## VICINITY MAP



## CHARACTER PLAN



## ZONING PLAN



## PUD CONDITIONS

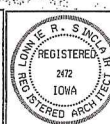
- DEVELOPER SHALL PROVIDE AT LEAST 8% OPEN SPACE FOR LOT 1.
- BUILDING MATERIALS AND DESIGN SHALL BE IN ACCORDANCE WITH THE DES MOINES SITE PLAN ORDINANCE FOR NEIGHBORHOOD COMMERCIAL PROPERTIES.
- A 14,000 SQUARE FOOT GARDEN CENTER WAS APPROVED FOR PHASE I AS PART OF THE P.U.D. AMENDMENT.
- ONE PARKING SPACE PER EVERY 200 SQUARE FEET, OR A MINIMUM OF 75 SPACES IS REQUIRED. PARKING STALL SHALL BE 17' x 8' WITH A 24' MANEUVERING SPACE.
- A 10' BIKE TRAIL ALONG THE EAST PROPERTY LINE SHALL BE REQUIRED. THIS WILL BE EXECUTED IN PHASE II WHEN THE CONVENIENCE STORE DEVELOPS.
- THE ZONING REQUIREMENTS SHALL FOLLOW THE REQUIREMENTS FOR C-1 NEIGHBORHOOD RESIDENTIAL RETAIL AND SERVICES UNLESS STATED OTHERWISE.
- PLAN IS TO BE RESIDENTIAL FRIENDLY.
- SIGNS ARE TO BE MINOR SIGNAGE, NO POLE SIGNS ARE ALLOWED.
- 9,34,000 TOTAL SQUARE FEET OF COMMERCIAL SPACE IS ALLOWED ON LOT ONE.
- THE P.U.D. REQUIRES A 30' SETBACK WHEN ADJOINING ANY RESIDENTIAL OR COMMERCIAL PORTION OF A P.U.D.
- A MINIMUM BUILDING HEIGHT OF 15' OR A MAXIMUM OF ONE STORY IS REQUIRED.

## DEVELOPMENT SCHEDULE

PARCEL 4 PROPOSED FOR NEXT DEVELOPMENT  
PHASE I. ALL REMAINDER PARCELS PREVIOUSLY DEVELOPED.

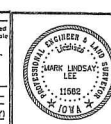
## 8TH CONCEPT PLAN AMENDMENT - P.U.D. CONCEPT PLAN

<input type="checkbox"/> APPROVED	<input type="checkbox"/> APPROVED WITH CONDITIONS
IN ACCORDANCE WITH SECTION 14-22.2(1) DES MOINES MUNICIPAL CODE AS AMENDED	
100 CHANGES TO THIS PLAN WERE APPROVED BY VOTING FROM THE PLANNING SECTION	
SITE	PLANNING SECTION



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly-registered architect under the laws of the State of Iowa.

Signature: Mark L. Lee Date: 10/08/14  
 Printed or typed: Mark L. Lee  
 License Number: 2472  
 My license renewal date is April 30, 2018  
 Pages or sheets covered by this seal: C-2 (LANDSCAPING ONLY)



I hereby certify that this engineering document was prepared and the related design work was performed by me or under my direct personal supervision and that I am a duly-licensed Professional Engineer under the laws of the State of Iowa.

Signature: Mark L. Lee Date: 10/08/14  
 Printed or typed: Mark L. Lee  
 License Number: 2472  
 My license renewal date is December 31, 2018  
 Pages or sheets covered by this seal: C-1, C-2

DESIGN START DATE:	08-20-14
DATE PLOTTED:	10-08-14
PRELIMINARY FIELD WORK COMPLETED:	05-10-15
FIELD BOOK NO.	2013-01

SOUTHERN MEADOWS CONDOMINIUMS  
DES MOINES, POLK COUNTY, IOWA



317 10TH STREET  
VAN HESTER, IOWA 50201  
TEL: 515/888-4158  
EMAIL: ADDRESS  
mark.lee@lee-engineers.net

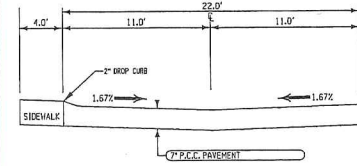
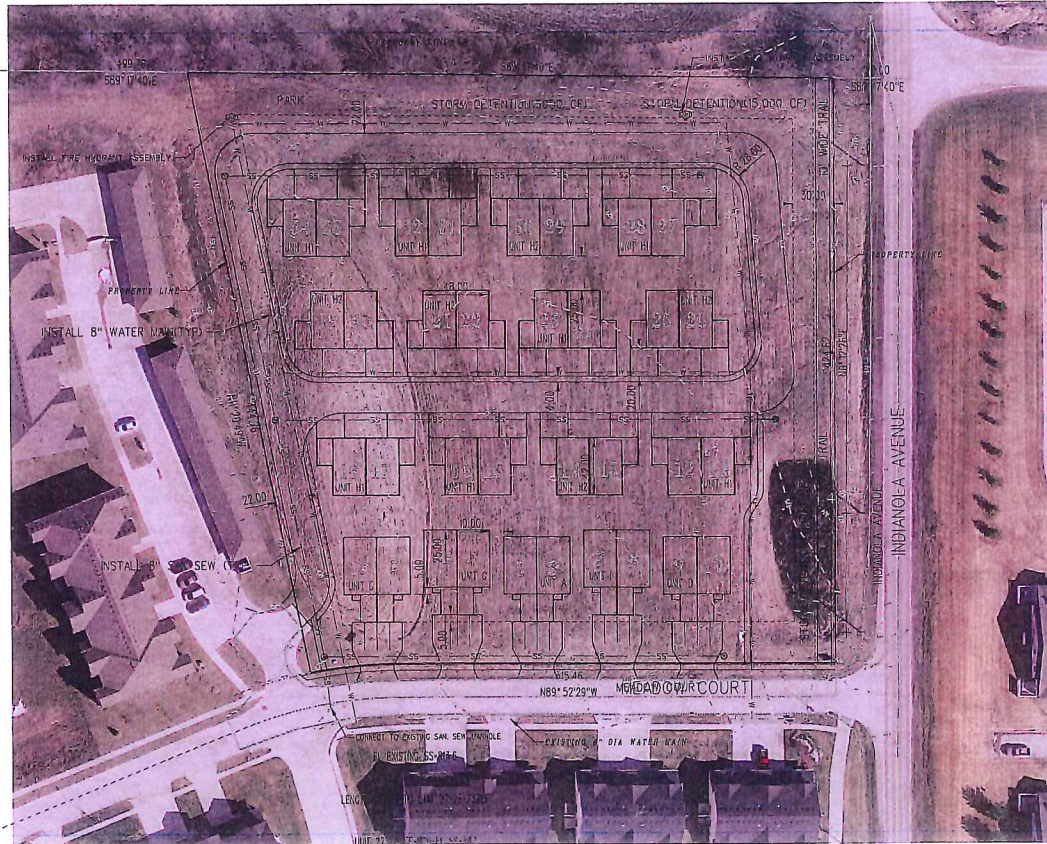
## DRAWING TITLE:

CONCEPT PLAN

DRAWN BY:	W.L.
CHECKED BY:	W.L.
DATE:	10-08-14
JOB NO.	14080
SHEET	C-1



# P.U.D. CONCEPTUAL PLAN 9TH AMENDMENT MEADOWLANDS



TYPICAL CROSS SECTION  
7" P.C.C. INVERTED CROWN PAVEMENT DETAIL  
NOTE: 2" - 2" DROP CURB  
NOTE: 1.67% - 1.67% SLOPE



LEGAL DESCRIPTION: LOT 5, THE MEADOWLANDS PLAT 2.  
ADDRESS: 2100 MEADOW COURT

DESIGN START DATE:	08-05-14
DATE PLOTTED:	08-05-14
PRELIMINARY FIELD WORK COMPLETED:	08-05-14
FIELD WORK TO:	2013-01

SOUTHERN MEADOWS CONDOMINIUMS  
DES MOINES, POLK COUNTY, IOWA



0117 110TH STREET  
VAN METER, IOWA 50001  
TEL: 515-335-0000  
EMAIL ADDRESS:  
mark@lee-engineers.net

DRAWING TITLE:

CONCEPT  
PLAN

DRAWN BY:

W.L.L.

CHECKED BY:

M.C.L.

DATE:

08-12-14

JOB NO.

14090

SHEET

C-2

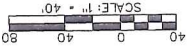


P.U.D. CONCEPTUAL PLAN 9TH AMENDMENT  
MEADOWLANDS



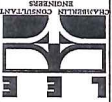
LEGAL DESCRIPTION: LOT 5, THE MEADOWLANDS PLAT 2.  
ADDRESS: 2100 MEADOW COURT

STATION	COMMON NAME	BOTANICAL NAME	DEPTH	SIZE	HT & SPED	DATE
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2	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
3	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
4	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
5	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
6	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
7	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
8	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
9	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
10	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
11	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
12	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
13	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
14	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
15	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
16	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
17	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
18	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
19	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
20	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
21	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
22	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
23	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
24	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
25	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
26	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
27	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
28	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
29	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
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34	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
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44	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
45	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
46	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
47	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
48	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
49	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00
50	WATER LILY	NELUMBO	1.0M	5.0L	5.0M	10/10/00

[illegible]

**SOUTHERN MEADOWS CONDOMINIUMS  
DES MOINES, POLK COUNTY, IOWA**

3117 115TH STREET  
VAN PETER, JON A 50251  
TEL: (515) 669-4166  
EMAIL ADDRESS:  
mark.jee@ce-engineers.net



DRAWING TITLE:  
SITE  
&  
LANDSCAPE  
PLAN

DRAYN BY: N.L.L.  
CHECKED BY: N.L.L.  
DATE: 09-17-14  
JOB NO. 14090  
SHEET

C-3







Date: \_\_\_\_\_

Revisions: \_\_\_\_\_

△

△

△

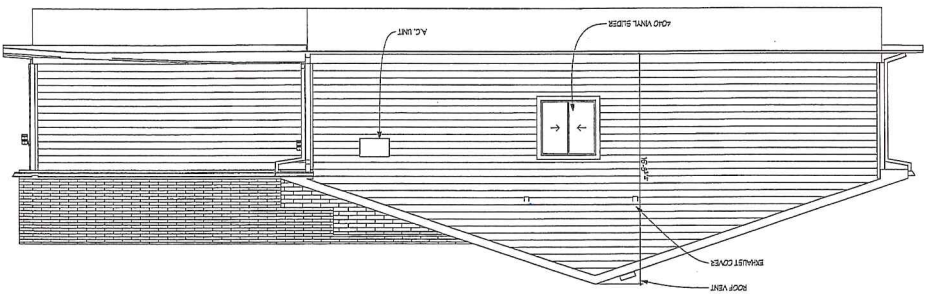
Sheet no.

2 of 3

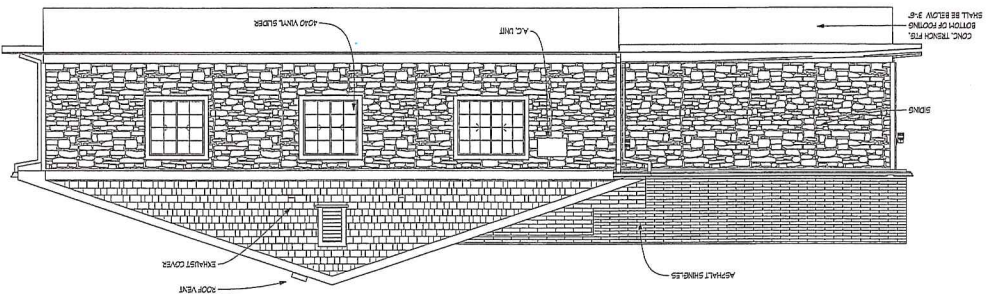


**Note:**  
Siding to be engineered wood siding with a 50 year warranty.  
Asphalt shingles to be architectural grade  
All windows within portions of the facade sided with lap siding shall include a minimum 4-inch wide trim board that is painted a different color than the lap siding.

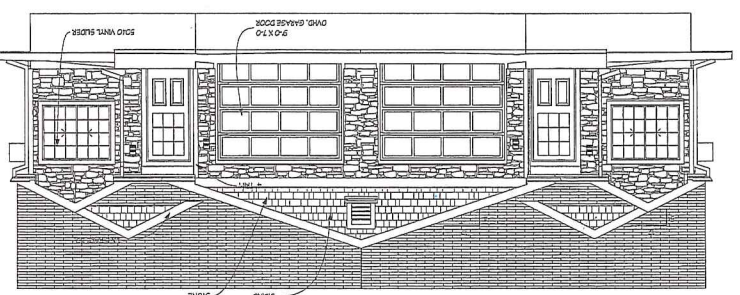
2 Left Side Elevation  
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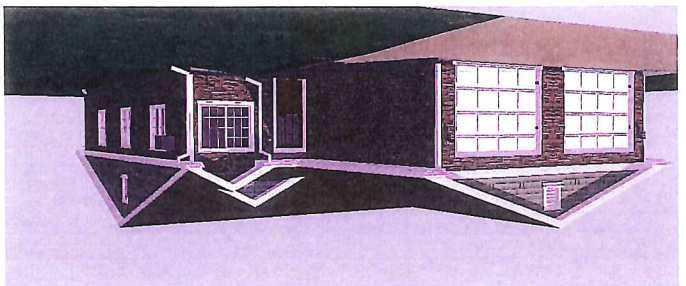
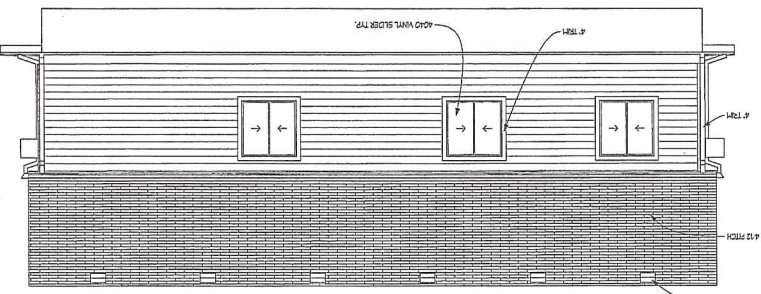
4 Right Side Elevation  
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1 Front Elevation  
SCALE: 1/4" = 1'-0"



3 Rear Elevation  
SCALE: 1/4" = 1'-0"

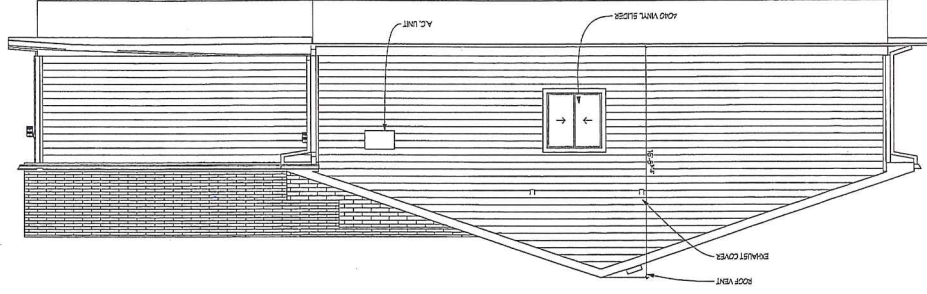


Note: Sliding to be engineered wood siding with a 50 year warranty. Asphalt siding to be installed in gable. All windows with portion of the frame shall include a minimum 4-inch wide trim board that is painted a different color than the lap siding.

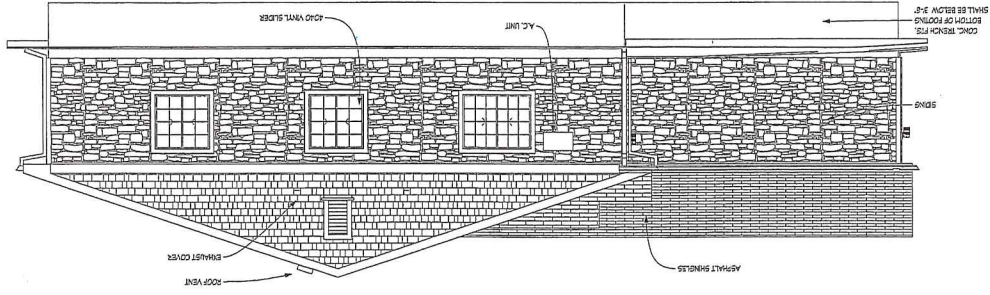


171

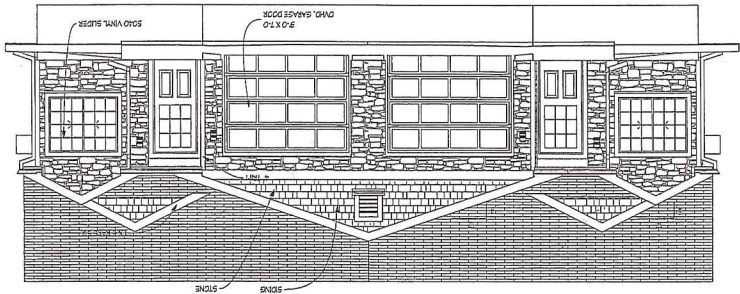
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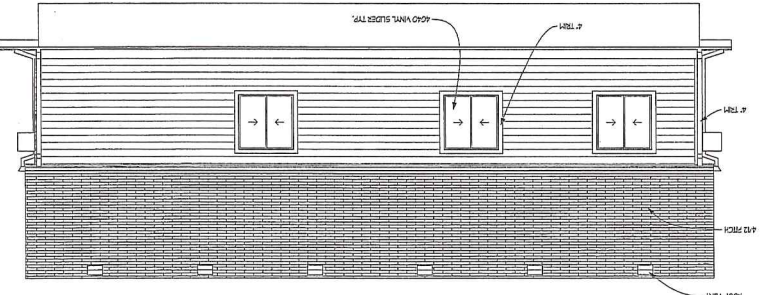
④ Right Side Elevation  
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① Front Elevation  
SCALE: 1/4" = 1'-0"



③ Rear Elevation  
SCALE: 1/4" = 1'-0"



Note:  
Siding to be engineered wood siding with a 50 year warranty.  
Asphalt shingles to be architectural grade.  
All windows, window openings or the finished grade with lap siding shall include a minimum 4-inch wide trim board that is painted a different color than the lap siding.

Sheet No.  
2 of 3  
Unit Type D  
Elevations

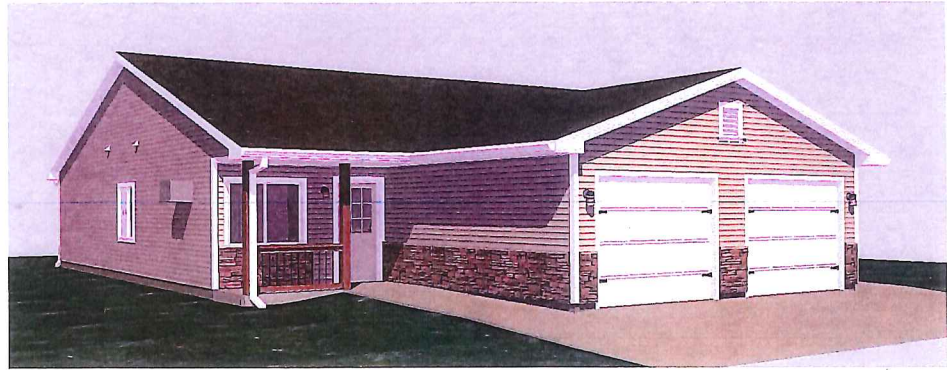
Revisions:  
Date: 12/13/23  
By: [Signature]

Condominium Project by Kading Properties

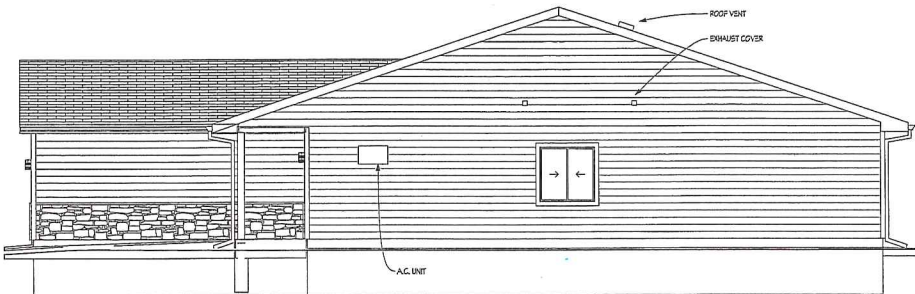
THESE ELEVATIONS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DESIGN SHALL BE MADE IN WRITING AND APPROVED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.



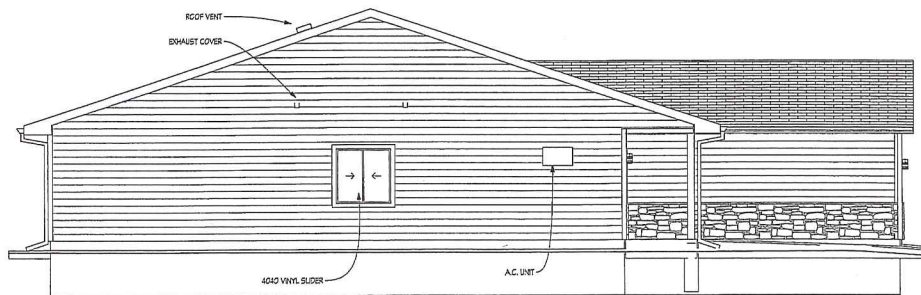
**MONARCH**  
RENOVATIONS  
10724 48th St., Oak Harbor WA 98281  
360-468-2626



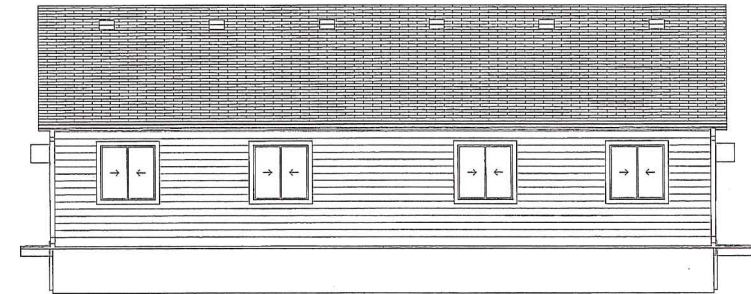
THIS DOCUMENT IS THE PROPERTY OF MONARCH BENCHMARK AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM MONARCH BENCHMARK, NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



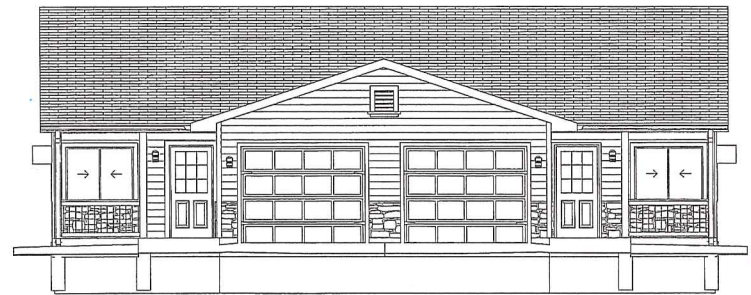
4 Right Side Elevation  
 SCALE: 1/4" = 1'-0"



2 Left Side Elevation  
 SCALE: 1/4" = 1'-0"



3 Rear Elevation  
 SCALE: 1/4" = 1'-0"



1 Front Elevation  
 SCALE: 1/4" = 1'-0"

Note:  
 Siding to be engineered wood siding with a 50 year warranty.  
 Asphalt shingles to be architectural grade.  
 All windows within portlands of the facade siding shall include a minimum 4-inch wide trim board that is painted a different color than the lap siding.

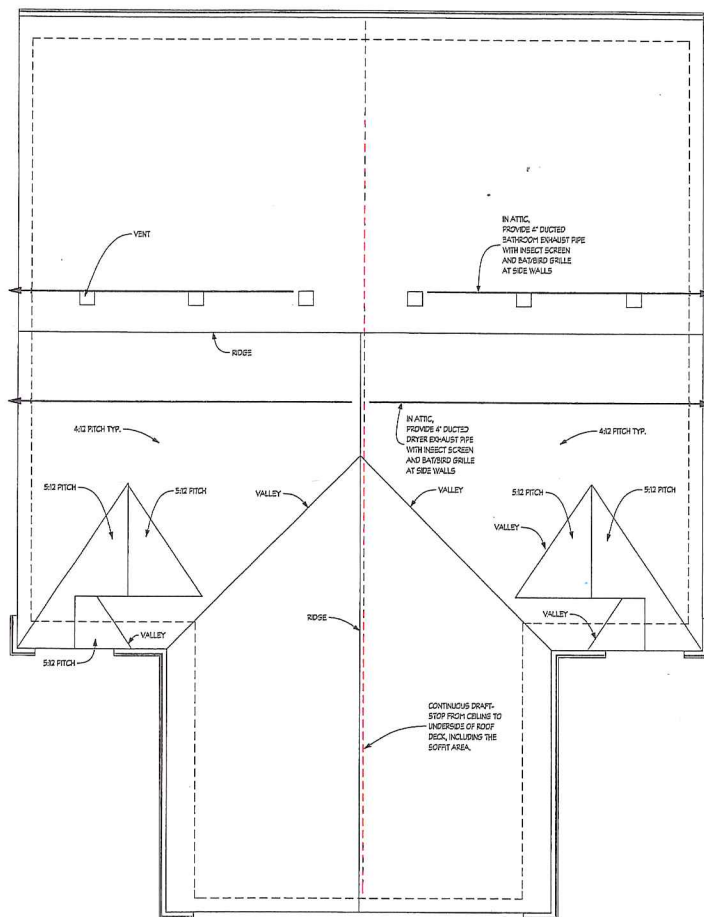
Condominium Project by Kading Properties

Date:	10/15
Revisions:	
△	
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 Unit Type I  
 Elevations

Sheet no.  
 2 of 3





2 Roof Plan  
SCALE: 1/4" = 1'-0"

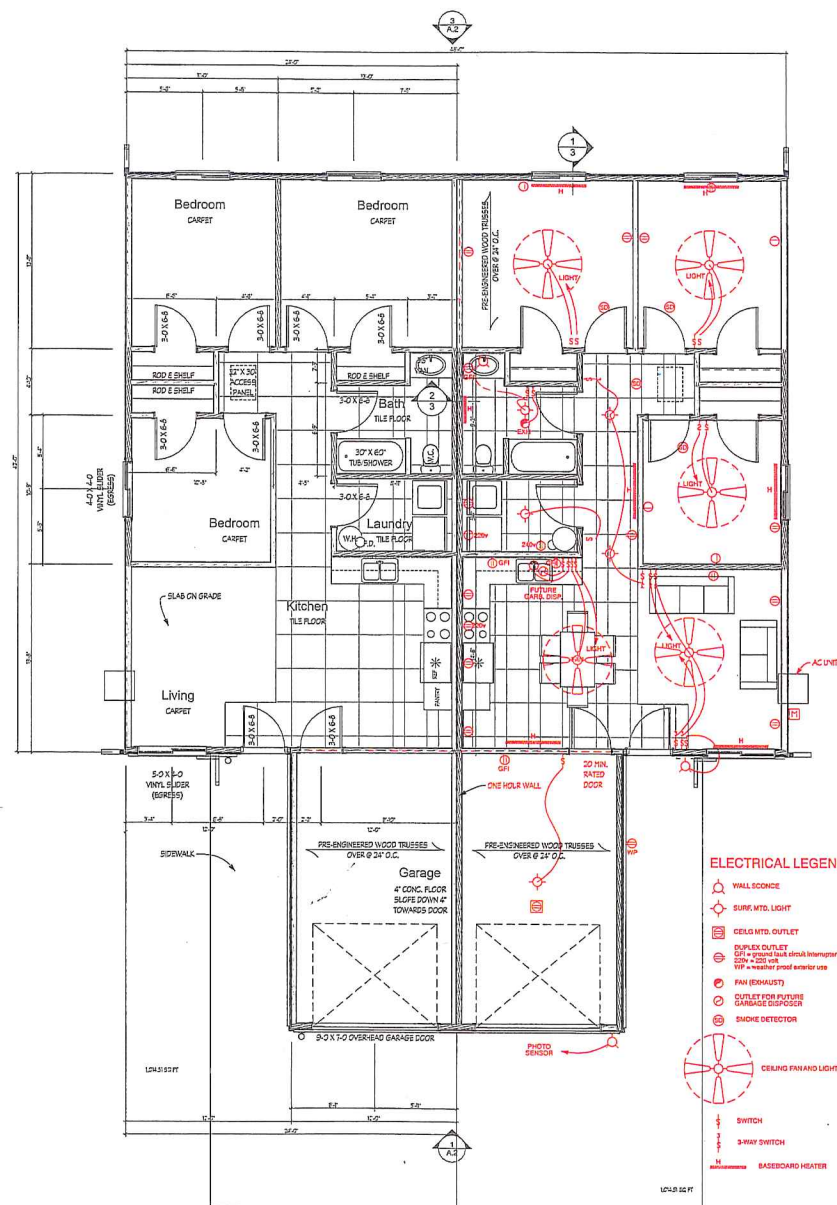
## General Notes

PROVIDE ATTIC ACCESS OF 22" X 30". PANEL MUST BE FIRE-RATED AS REQUIRED BY LOCAL BUILDING OFFICIAL, IN AN APPROVED LOCATION.

ALL BOTTOM PLATES IN CONTACT WITH CONCRETE MUST BE TREATED WOOD. USE #2 SPF LUMBER FOR WALL AND ROOF FRAMING.


BATHROOM EXHAUST FANS TO BE RATED AS 50 CFM

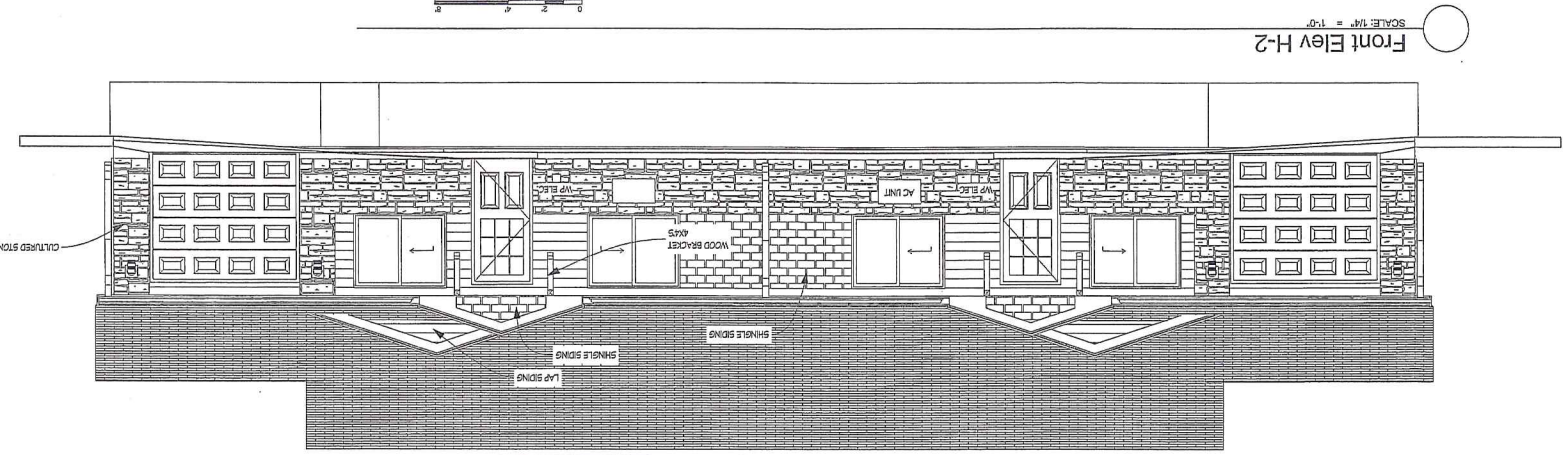
PROVIDE UFER GROUNDING SYSTEM AT ELECTRICAL METER LOCATIONS. METER LOCATIONS NOTED ON PLAN, BUT NEED TO BE VERIFIED. SEE CITY OF DES MOINES RECOMMENDATIONS: [HTTP://WWW.DMGOV.ORG/DEPARTMENTS/COMMUNITYDEVELOPMENT/UFU/UFUERGROUNDPDF](http://www.dmgov.org/departments/communitydevelopment/ufu/ufuerground.pdf)



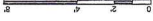
1 Plan A  
SCALE: 1/4" = 1'-0"

### ELECTRICAL LEGEND

-  SURGE MTD. LIGHT
-  CEILING MTD. OUTLET
-  DUPLEX OUTLET  
GFI = ground fault circuit interrupter  
20W = 220 volt  
WIP = weather proof exterior use
-  FAN (EXHAUST)
-  OUTLET FOR FUTURE  
GARBAGE DISPOSER
-  SMOKE DETECTOR
-  CEILING FAN AND LIGHT
-  SWITCH
-  3-WAY SWITCH
-  BASEBOARD HEATER



Front Elev H-2  
SCALE: 1/4" = 1'-0"



CULTURED STONE

LAP SIDING

SHINGLE SIDING

SHINGLE SIDING

SHINGLE SIDING

WOOD BRACKET

WOOD BRACKET

WOOD BRACKET

WOOD BRACKET

WOOD BRACKET

WOOD BRACKET

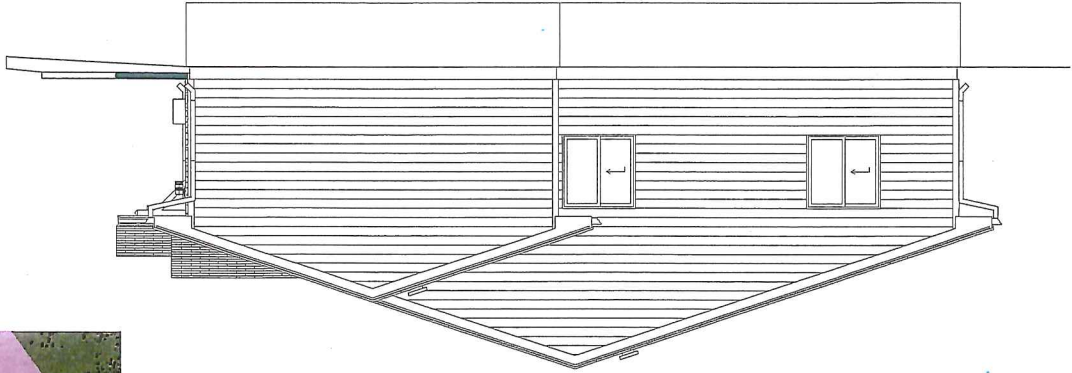
WOOD BRACKET

WOOD BRACKET

WOOD BRACKET

WOOD BRACKET

WOOD BRACKET



Left Side Elev  
SCALE: 1/4" = 1'-0"

Sheet no.  
A-5

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OPTION H-2

Date: 10/24  
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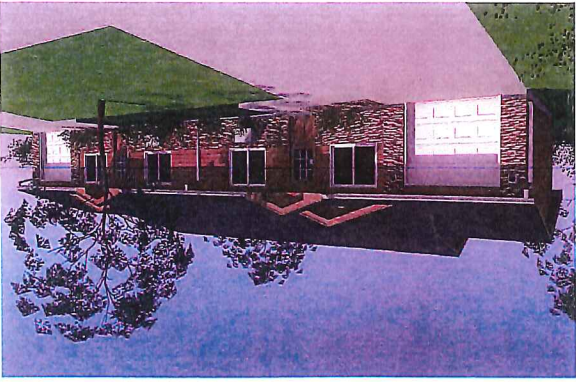
Hutton Condominiums

THE DESIGN PROFESSIONAL UNDERTAKES ANY AND ALL WORK FOR THE CLIENT AND AGREES TO BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.



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RENOVATIONS

1072 44th St., Des Moines IA 50311  
274-5504





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274-9404



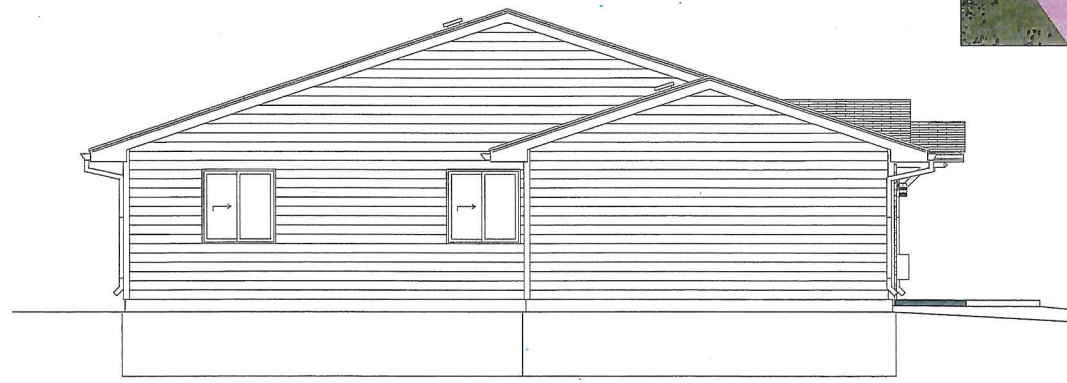
THE DESIGN PROFESSIONAL WIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM THE DESIGN OR CONSTRUCTION OF THE PROJECT AND TO THE EXTENT THAT THEY CONVEY OR FROM PROBLEMS WHICH ARISE FROM OTHER CAUSES TO THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, OR INADEQUACIES OR CONFLICTS WHICH ARE ALLEGED.

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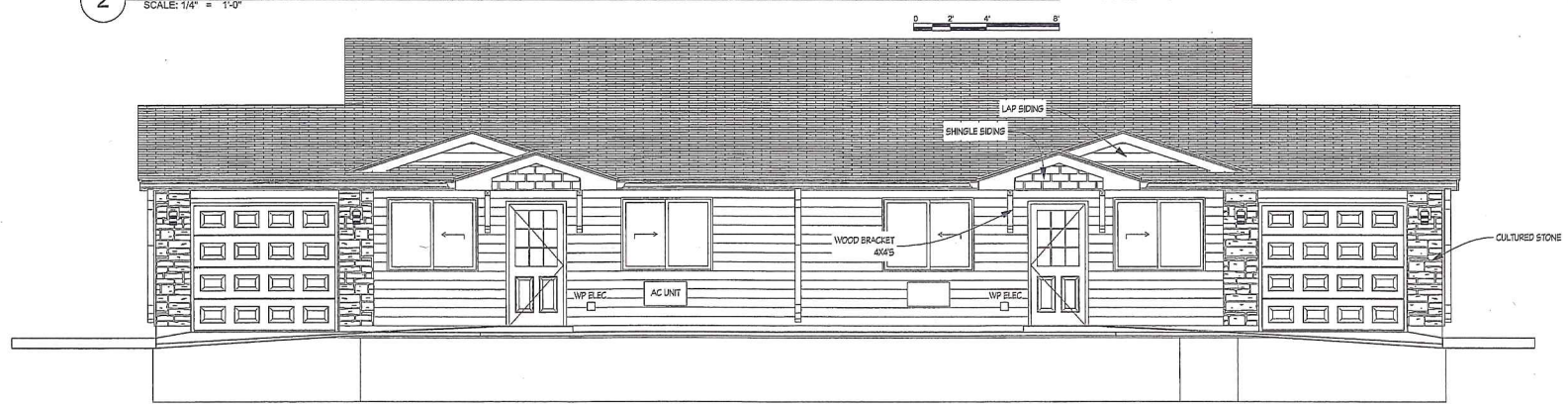
Date:	10/2/14
Revisions:	
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**ELEVATIONS**

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**A-4**

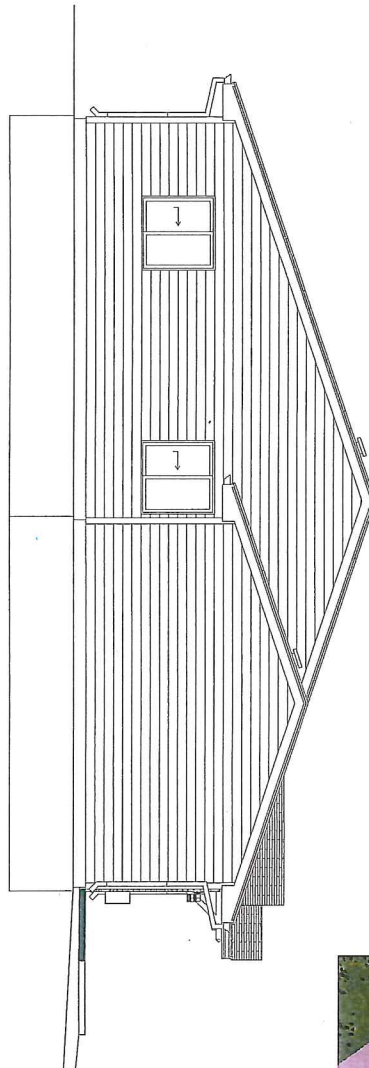
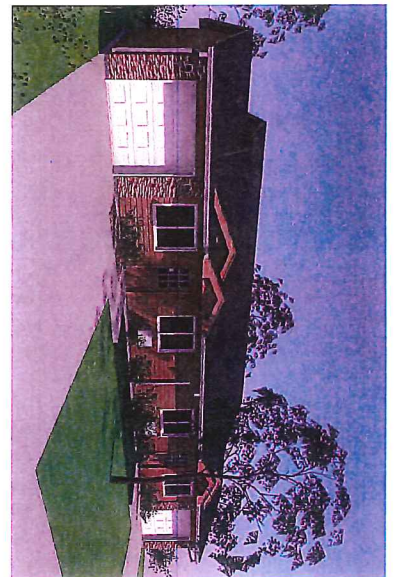


2 Left Side Elev  
SCALE: 1/4" = 1'-0"

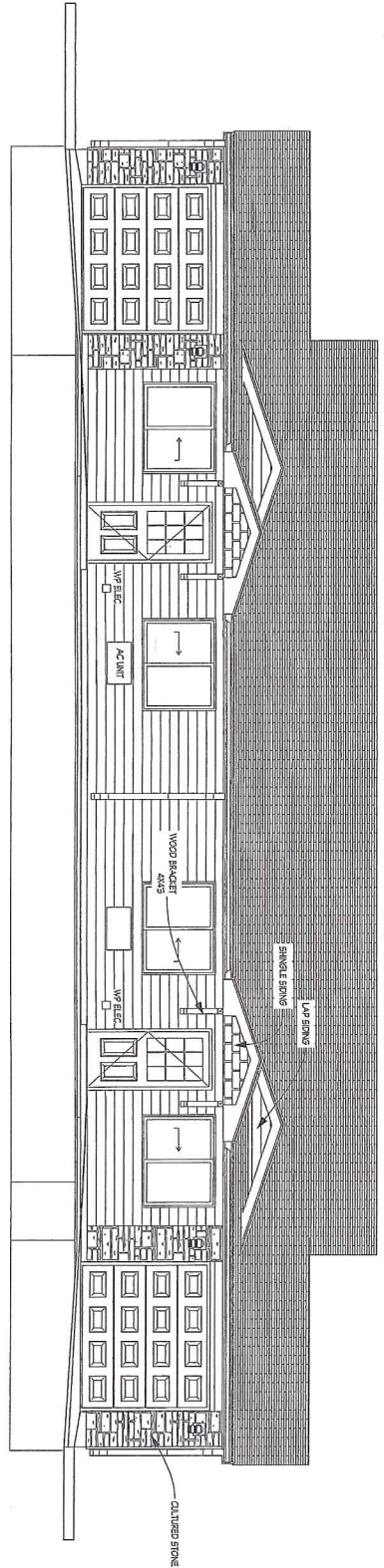


1 Front Elev  
SCALE: 1/4" = 1'-0"





2 Left Side Elev  
SCALE 1/4" = 1'-0"



1 Front Elev  
SCALE 1/4" = 1'-0"

Sheet no.  
**A-4**

CONTENTS  
**ELEVATIONS**

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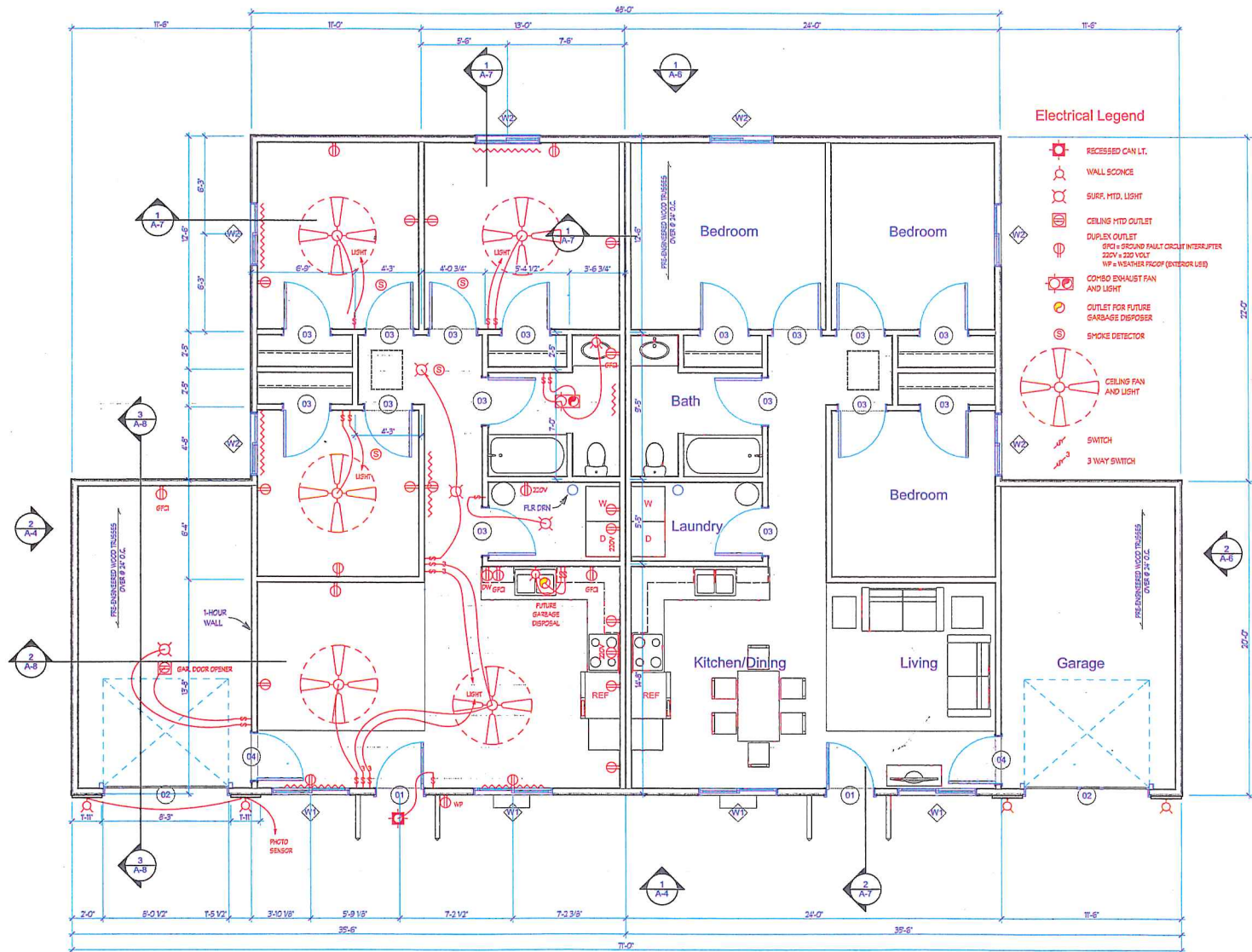
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THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FROM PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.



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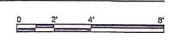




### Electrical Legend

- RECESSED CAN LT.
- WALL SCONCE
- SURF. MTD. LIGHT
- CEILING MTD. OUTLET
- DUPLEX OUTLET
- GFCI = GROUND FAULT CIRCUIT INTERRUPTER
- 200V & 250V VOLT
- WP = WEATHER PROOF (EXTERIOR USE)
- COMBO EXHAUST FAN AND LIGHT
- OUTLET FOR FUTURE GARBAGE DISPOSER
- SMOKE DETECTOR
- CEILING FAN AND LIGHT
- SWITCH
- 3 WAY SWITCH

1st FLOOR PLAN  
SCALE: 1/4" = 1'-0"





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## Hutton Condominiums

Date: 10/6/21

Revisions:

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Sheet no.

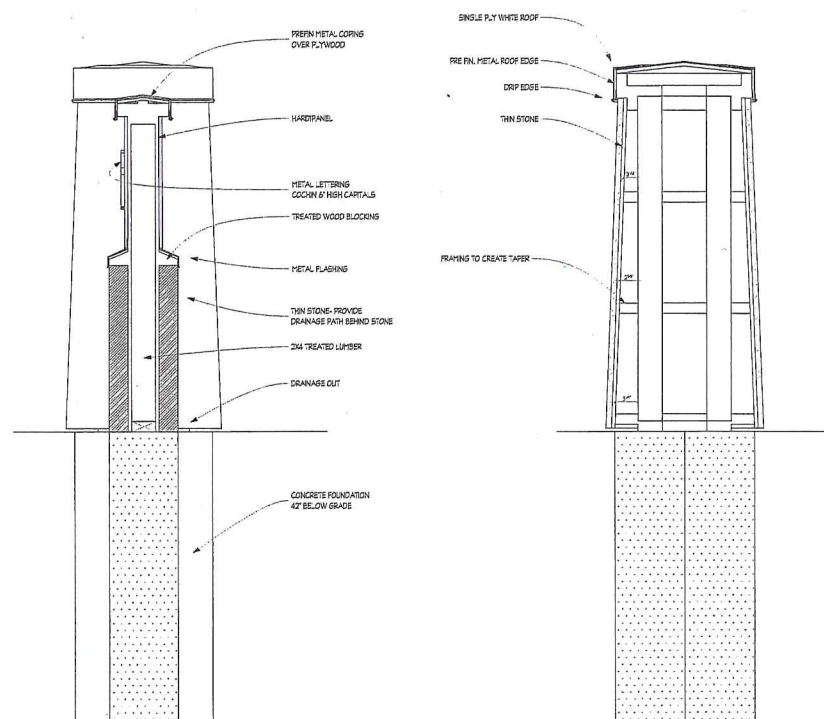
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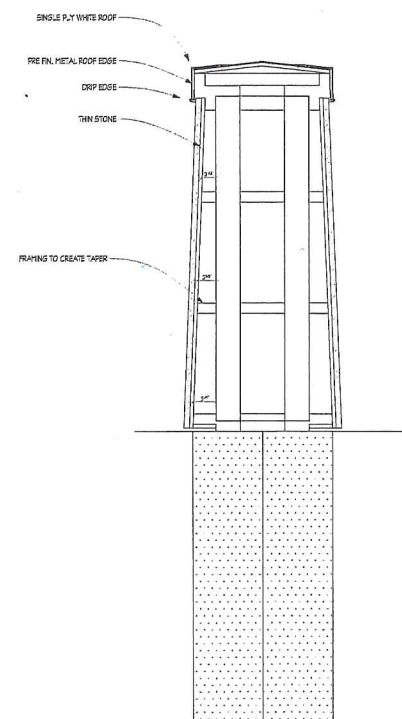


**HORIZON DRIVE**

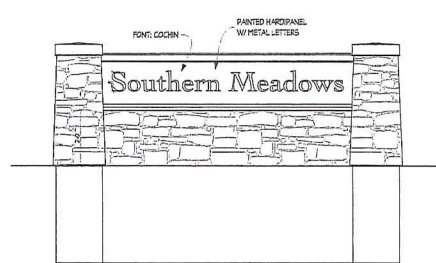
7 Misc Signs  
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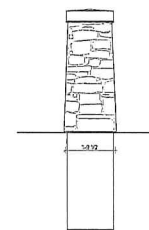
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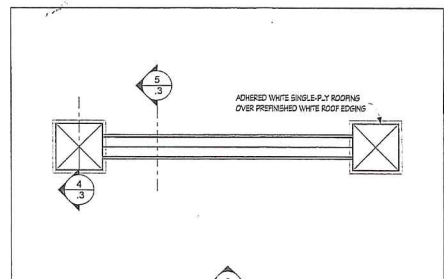
4 Pier Section  
SCALE: 1 1/2" = 1'-0"



3 Front Elevation  
SCALE: 1/2" = 1'-0"



2 Right Side Elevation  
SCALE: 1/2" = 1'-0"



1 Plan  
SCALE: 1/2" = 1'-0"

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Condominium Project by Kading Properties

Date: 2/19  
Revisions:

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