



Date October 23, 2017

**RESOLUTION SETTING HEARING ON REQUEST FROM SUNDANCE, INC.
REGARDING THE FIRST AMENDMENT TO THE STONEY POINTE PUD
CONCEPTUAL PLAN (5959 SOUTHEAST 14TH STREET)**

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on October 5, 2017, its members voted 11-0 in support of a motion to recommend **DENIAL** of a request from Sundance, Inc. (owner), represented by Richard Eccles (officer), for review and approval of the First Amendment to the Stoney Pointe PUD Conceptual Plan for property located at 5959 Southeast 14th Street (“Property”), to allow a freestanding sign that is 11.75 feet in height with masonry base that is only 1.25 feet in height which does not comply with the requirements of monument signs pursuant to the “FSO” Freestanding Sign Overlay District; and

WHEREAS, the Property is legally described as follows:

Overall PUD Area:

Lots 1 through 7, and Outlot X, all in STONEY POINTE, an Official Plat, all now included in and forming a part of the City of Des Moines, Polk County, Iowa.

Amendment Area:

Lot 3, STONEY POINTE, an Official Plat, all now included in and forming a part of the City of Des Moines, Polk County, Iowa.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed First Amendment to the Stoney Pointe PUD Conceptual Plan is to be considered shall be held at the Richard A. Clark Municipal Service Center (MSC), located at 1551 E. Martin Luther King, Jr. Parkway, Des Moines, Iowa, at 5:00 p.m. on November 6, 2017, at which time the City Council will hear both those who oppose and those who favor the proposal.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.



Roll Call Number

Agenda Item Number

26

Date October 23, 2017

-2-

MOVED BY _____ TO ADOPT.

FORM APPROVED:

Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

(ZON2017-00157)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
COLEMAN				
GATTO				
GRAY				
HENSLEY				
MOORE				
WESTERGAARD				
TOTAL				

MOTION CARRIED

APPROVED

Mayor

CERTIFICATE

I, DIANE RAUH, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk



26

October 17, 2017

Date October 23, 2017

Agenda Item 26

Roll Call # _____

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their October 5, 2017 meeting, the following action was taken regarding a request from Sundance, Inc. (owner) represented by Richard Eccles (officer) for review and approval of an amendment to the Stoney Pointe PUD for property located at 5959 Southeast 14th Street to allow a freestanding sign that is 11.75 feet in height with masonry base that is only a 1.25 feet in height that does not meet the requirements under the definition of a monument sign in the "FSO" Freestanding Signs Overlay District.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 11-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles	X			
JoAnne Corigliano	X			
David Courard-Hauri				X
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page				X
Mike Simonson	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier				X

DENIAL of requested amendment to the Stoney Pointe PUD Conceptual Plan.
(ZON2017-00157)

Written Responses

2 in Favor
0 in Opposition

STAFF RECOMMENDATION

Staff recommends denial of the requested amendment to the Stoney Pointe PUD Conceptual Plan.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The appellant has installed a freestanding internally illuminated sign to identify the occupant of the premises, Taco Bell. The sign was installed on a previously existing pre-cast concrete masonry pattern base that has a height of 15-inches (1.25 feet). The overall height of the sign is 11-feet, 9-inches (11.75 feet). The sign is located within 10 feet of the front property line along Southeast 14th Street. It was installed without issuance of a sign permit by the Permit and Development Center.
2. **Size of Site:** The entire Stoney Pointe PUD measures approximately 10 acres. The portion of the PUD impacted by the proposed amendment measures 0.909 acres (39,578 square feet).
3. **Existing Zoning (site):** Stoney Pointe PUD, "VDL" Vehicle Display Lot Overlay District and "FSO" Freestanding Sign Overlay District.
4. **Existing Land Use (site):** 2,560-square foot drive-through restaurant for Taco Bell.
5. **Adjacent Land Use and Zoning:**
 - East* - "PUD", Use is the Stoney Pointe commercial center.
 - West* - "C-2"; Use is a NAPA Auto Parts store.
 - North* - "PUD"; Use is drive-through restaurant for Culver's.
 - South* - "C-2"; Uses are an off-premises advertising sign and a used vehicle display lot.
6. **General Neighborhood/Area Land Uses:** The subject property fronts the Southeast 14th Street/U.S. Highway 69 corridor.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Easter Lake Area Neighborhood and within 250 feet of the South Park Neighborhood. All neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda on September 15, 2017. Additionally, separate notifications of the hearing for this specific item were mailed on September 15, 2017 (20 days prior to the hearing) and September 25, 2017 (10 days prior to the hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the requested rezoning and to the neighborhood contracts for the three neighborhood associations. A Final

Agenda for the meetings were mailed to all the recognized neighborhood associations on September 29, 2017.

The Easter Lake Area Neighborhood mailings were sent to Jim Bollard, 4007 Southeast 26th Street, Des Moines, IA 50320. The South Park Neighborhood mailings were sent to Jeff Scieszinski, 607 East Wall Street, Des Moines, IA 50315.

- 8. **Relevant Zoning History:** The original PUD zoning was approved along with adoption of the Stoney Pointe PUD Conceptual Plan on April 16, 2001, by Ordinance No. 13,940.
- 9. **PlanDSM Land Use Plan Designation:** The proposed project area is designated as "Community Mixed-Use" within a Neighborhood Node and Regional Node on the Future Land Use Map.
- 10. **Applicable Regulations:** Appeals to zoning requirements for properties within PUDs are precluded by the Zoning Ordinance from review by the Zoning Board of Adjustment. Therefore, modifications and adjustments must be made through amendment to the PUD Conceptual Plan if they cannot be considered under administrative waiver provisions in the Zoning Ordinance.

In consideration of the criteria set forth in Chapter 18B of the Iowa Code, the application, accompanying evidence and proposed amendment to a PUD Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of the City Code and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the amended PUD Conceptual Plan as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the Commission shall be referred to the City Council.

The applicable provisions of the Zoning Ordinance for the "FSO" Freestanding Overlay District are as follows:

The provisions of the "FSO" Freestanding Sign Overlay are intended to implement the PlanDSM. The definitions of the Zoning Ordinance create the standards for such signs.

Any on-premises advertising sign that is a freestanding sign shall be a monument sign, and shall comply with the following height restrictions measured from grade to the highest point on the sign:

- 1. If located at or within 25 feet from the front lot line, the sign shall be no more than 8 feet in height.
- 2. If located more than 25 feet from the front lot line, the sign shall be no more than 15 feet in height.

Sign, monument means a sign affixed to a structure built on grade, having a solid opaque base, constructed of brick, stone, concrete block or other durable material

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matching the exterior of the primary building and extending from grade to the bottom of the sign face across the entire width of the sign face. **The height of the sign base must be not less than the larger of 2 feet or 25 percent of the total sign height.** Monument signs are sometimes referred to in this chapter as monumental signs.

II. ADDITIONAL APPLICABLE INFORMATION

1. **PUD Standards:** The following is the applicable standards from Section 134-704 of the City Code that provide the foundation that all PUD Conceptual Plans should be based on.

A) All uses proposed in a PUD planned unit development district plan shall be in harmony with the existing or anticipated uses of other properties in the surrounding neighborhood and shall generally be in conformance with the city's land use plan. The design of a PUD development shall be based on harmonious architectural character; compatible materials; orderly arrangement of structures and open space; and conservation of woodlands, streams, scenic areas, open space and other natural resources.

Staff believes that this is the primary applicable criterion for the appeal in question. The "FSO" Freestanding Overlay District provisions are intended to implement the PlanDSM to establish harmonious character and compatible materials.

The applicant has installed a new sign on the previously existing base, which was in character with the previous restaurant building. Staff believes that the materials are considered compatible with the new restaurant building as well. However, the base is not substantial in appearance due to the overall height of the sign.

Additionally, the overall sign height is out of scale given the proximity to the public street along Southeast 14th Street. The intention of the code is for signs within the front yard setback to have a lower profile.

- B) Setbacks and other appropriate screens shall be provided around the boundary of a PUD development to protect the adjoining district properties. Only in exceptional circumstances shall such a setback be less than the amount of the setback which the adjoining district is required to maintain from the PUD development.
- C) A PUD development shall comply with all applicable city ordinances, specifications and standards relating to all dedicated street, sanitary sewer and storm sewer facilities and to surface drainage and floodwater retention.
- D) The streets surrounding a PUD development must be capable of accommodating the increased traffic that would be generated by the new development. The development shall be designed to provide maximum feasible separation of vehicular traffic from pedestrian ways and recreational areas. If turning lanes or other forms of traffic controls within or adjacent to the development are deemed necessary by the city council, the developer shall provide the necessary improvements.
- E) Off-street parking and loading spaces shall be provided as appropriate to the size and character of the development. Each off-street loading space shall be not less

than ten feet in width and 25 feet in length. All off-street parking spaces shall be provided in accordance with the requirements of subsection 134-1377(g). 26

F) Where appropriate to the size and character of a PUD development, provision shall be made therein for open space for recreation and other outdoor uses, and for places of worship, convenience shopping and other community services.

2. Staff Rationale: There is not a requirement to demonstrate an unnecessary hardship as would be required by the Zoning Board of Adjustment on reviews of this type in a standard commercial Zoning District. However, staff believes that PUDs are intended to maintain a character in accordance with standard Zoning regulations. In this instance the appellant has installed a sign that is over-sized and not in scale or harmony with the development and proximity to the public street. The pre-cast brick style base is compatible with the primary building material. But, it is not significant in height to convey the design of a monument sign given the overall height of the sign. Furthermore, staff believes that a design and the installation of a sign on the property which meets the "FSO" provisions would not be an undue burden relative to the cost of the overall redevelopment project.

SUMMARY OF DISCUSSION

Jason Van Essen presented the staff report and recommendation.

Mike Simonson asked how tall is this sign.

Jason Van Essen stated 11.75 feet.

Mike Simonson asked if this is a Planning and Zoning issue or a Board of Adjustment issue.

Jason Van Essen stated Planning and Zoning because it is zoned PUD.

JoAnne Corigliano stated bringing the sign down to our standards would not hurt a thing.

Matt Kester stated he is the general contractor for this project, representing the owner. It was an oversight on their part with the permit being pulled so late in the process. They would like to come to some middle ground to resolve this issue.

Jacqueline Easley asked what the middle ground was.

Matt Kester stated they would offer a couple different options. Option 1, leaving it the way it is. Option 2, changing the size of the base. Option 3, leave the base as is and replacing it with a smaller sign.

Mike Simonson stated he is surprised they built the sign, knowing they would need to have a sign permit.

Matt Kester stated they have done eight or nine signs for the same owner, they have used the same sign company and have always made sure the permits were pulled.

JoAnne Corigliano stated the sign needs to be a proper size.

CHAIRPERSON OPENED THE PUBLIC HEARING

Jim Bollard 4007 SE 26h stated that the building looks great. He is ok with the base remaining the same but using a smaller sign.

Matt Kester stated according to cost, relocating the base is similar to ordering a new sign. He asked if they need to pull a new sign permit if they move the base off the property line 15 feet.

Mike Ludwig stated yes, they would need to apply for a new sign permit.

Matt Kester asked what is the time frame for relocating the sign.

Mike Ludwig stated they should get the new sign permit and approval from the board before relocating.

CHAIRPERSON CLOSED THE PUBLIC HEARING

COMMISSION ACTION:

Mike Simonson moved staff recommendation for denial of the requested amendment to the Stoney Pointe PUD Conceptual Plan.

Motion Passed: 11-0.

Respectfully submitted,



Michael Ludwig, AICP
Planning Administrator

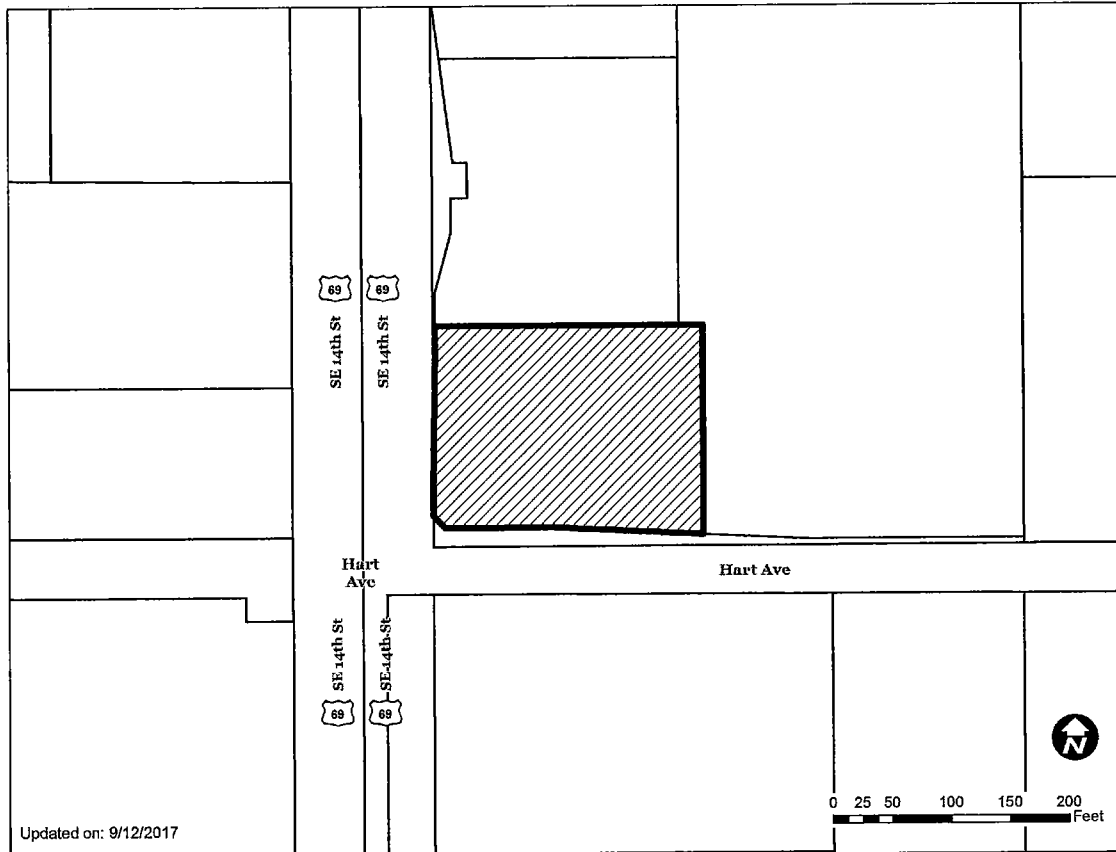
MGL:tjh
Attachments

26

Sundance, Inc. (owner) represented by Richard Eccles (officer) for property located at 5959 Southeast 14th Street.				File # ZON2017-00157	
Description of Action	Denial of the requested amendment to the Stoney Pointe PUD to allow a freestanding sign that is 11.75 feet in height with masonry base that is only a 1.25 feet in height that does not meet the requirements under the definition of a monument sign in the "FSO" Freestanding Signs Overlay District.				
PlanDSM Future Land Use	Current: Community Mixed Use in a Neighborhood Node and Regional Node. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	2025-2034 US 69/SE 14 th Street Widening from 4 to 6 lanes.				
Current Zoning District	"PUD" Planned Unit Development, "VDL" Vehicle Display Lot Overlay District, and "FSO" Freestanding Signs Overlay District.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Subject Property	1	0			
Outside Area (200 feet)	1				
Plan and Zoning Commission Action	Approval		Required 6/7 Vote of the City Council	Yes	X
	Denial	11-0		No	

Sundance, Inc., 5959 Southeast 14th Street

ZON2017-00157



1 inch = 96 feet

ZON2017-00157

Date 9-27-2017

26

(am not) in favor of the request.

(Circle One)

RECEIVED

Print Name Easter Lake Estate Inc

COMMUNITY DEVELOPMENT

Signature Ronald J Wood Resident

OCT 06 2017

Address 1204 SE Hawthorn Blk C
aprt 27

Reason for opposing or approving this request may be listed below.

ZON2017-00157

Date 9/29/17

(am not) in favor of the request.

(Circle One)

RECEIVED

Print Name PETER LYDERS-PETERSEN

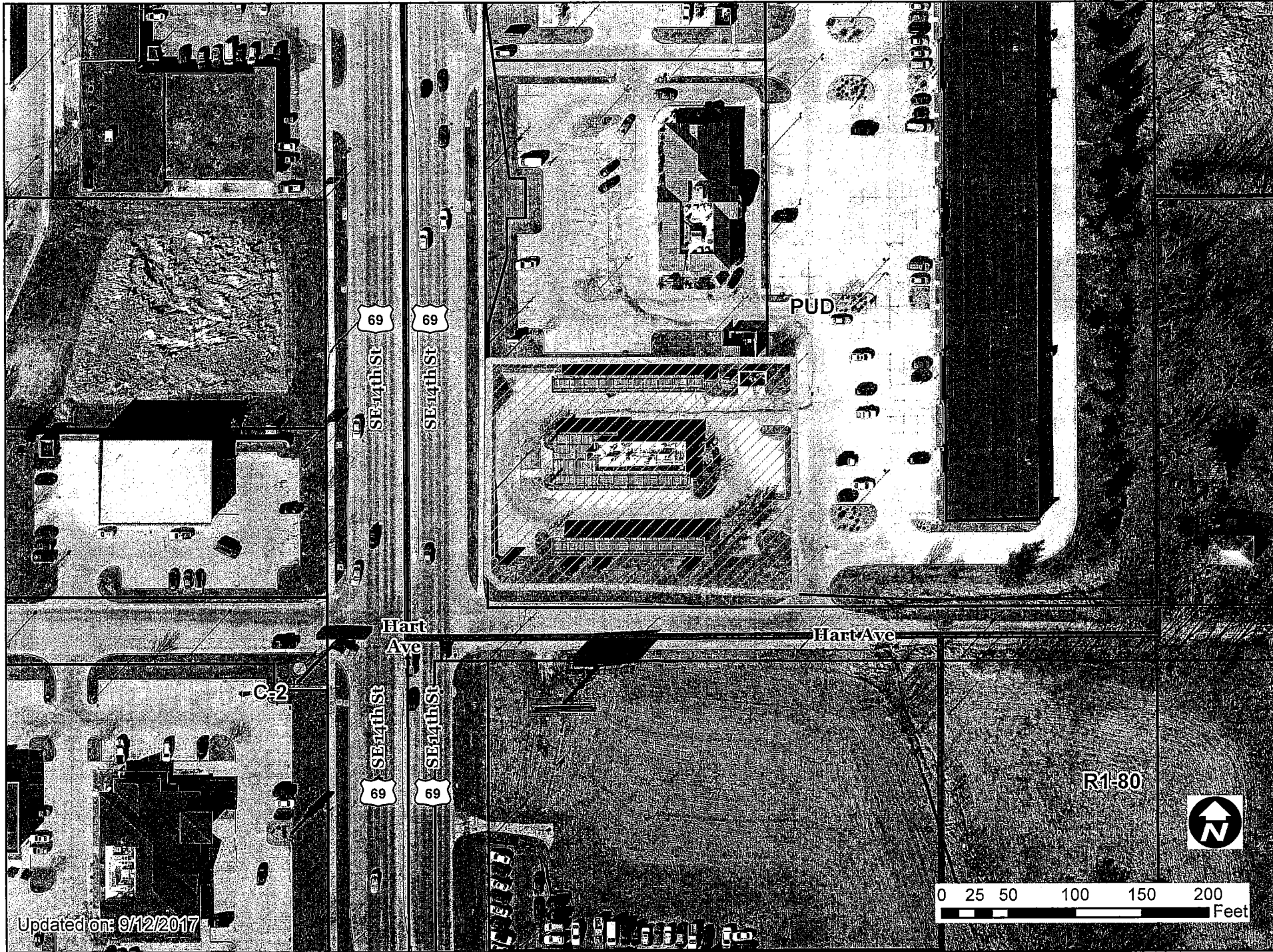
COMMUNITY DEVELOPMENT

Signature Peter Lyders-Petersen

OCT 06 2017

Address 5959 SE 14TH STREET

Reason for opposing or approving this request may be listed below.



Updated on: 9/12/2017

210



**TACO
BELL**

Breakfast



SITE INFORMATION:
LEGAL DESCRIPTION: Lot 3 in Stoney Point, an Official Plat, now included in and forming a part of the City of Des Moines, Polk County, Iowa.
PROPERTY AREA: AREA = 39,577 S.F. (0.91 ACRES).
EXISTING ZONING: STONEY POINT PUD W/ ZONING OVERLAY DISTRICT
PROPOSED ZONING: STONEY POINT PUD W/ ZONING OVERLAY DISTRICT
PROPOSED USE: FAST FOOD RESTAURANT
DISTURBED AREA: 39,500SF (0.91 ACRES)
SETBACKS: BUILDING: FRONT = 25'
SIDE = 0'
REAR = 0'
PAVEMENT: FRONT = 10'
SIDE = 0'
REAR = 0'
PROPOSED BUILDING HEIGHT: 24'-0" (MAX. HEIGHT ALLOWED: 45')
PARKING REQUIRED: 1 SPACE PER 150 S.F. GFA
2,479SF/150 = 17 SPACES REQ.
PARKING PROVIDED: 27 SPACES (2 H.C. ACCESSIBLE)
BUILDING OCCUPANCY CLASSIFICATION = A2
CLASS OF BUILDING CONSTRUCTION = VB
MINIMUM GREEN SPACE REQUIRED: 20%
HOURS OF OPERATION: 7AM-2AM SUN-WED. 7AM-4AM THUR-SAT.
(LOBBY CLOSSES AT 10PM NIGHTLY)
NOTE: DEVELOPMENT WILL BE IN ACCORDANCE WITH STONEY POINT PUD

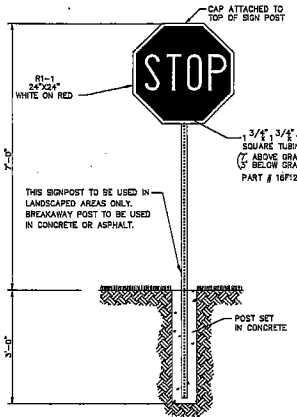
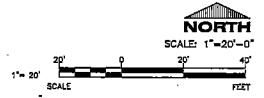
EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.91	39,577	7.7%
BUILDING FLOOR AREA	0.07	1,220	62.8%
PAVEMENT (ASP. & CONG.)	0.37	24,840	62.8%
TOTAL IMPERVIOUS	0.84	27,660	70.3%
LANDSCAPE/OPEN SPACE	0.27	11,917	29.7%

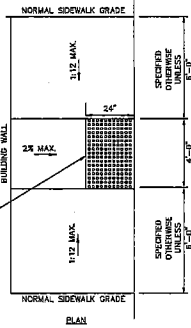
PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.91	39,577	6.6%
BUILDING FLOOR AREA	0.09	2,479	47.2%
PAVEMENT (ASP. & CONG.)	0.43	18,981	47.2%
TOTAL IMPERVIOUS	0.48	21,340	53.3%
LANDSCAPE/OPEN SPACE	0.42	18,337	46.2%

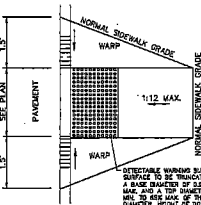
- NOTES:**
- TOP OF FOOTINGS FOR CLEARANCE BAR, OCB, MENU BOARD, AND OCB CANOPY SHALL BE SET AT SAME ELEVATION AS ADJACENT TOP OF CURB.
 - POUR CURB & GUTTER SEPARATE FROM CONCRETE PAVING.
 - CONTRACTOR TO POUR CANOPY, MENU BOARD, CLEARANCE BAR, MONUMENT SIGN FOOTINGS AT THE SAME TIME AS LIGHT POLE BASES.
 - PARKING LOT AND DRIVE THRU CONTRACTION JOINTS SHALL BE SAWCUT 1.5 INCHES IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER.
 - CONTRACTOR TO PROVIDE MAILBOX. OWNER TO COORDINATE LOCATION WITH POST OFFICE.
 - HANDICAP SIGNS ARE LOCATED ON BUILDING. SEE ARCH. PLANS.
 - SEE ARCH PLANS FOR BUILDING MOUNTED SIGNS LOCATION AND SIZE.
 - ALL WORK IN THE CITY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH SUDAS AND THE CITY OF DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUDAS EFFECTIVE AT THE TIME OF PLAN APPROVAL.
 - THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
 - ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
 - TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3' IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS.
 - ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
 - LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
 - THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
 - ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.



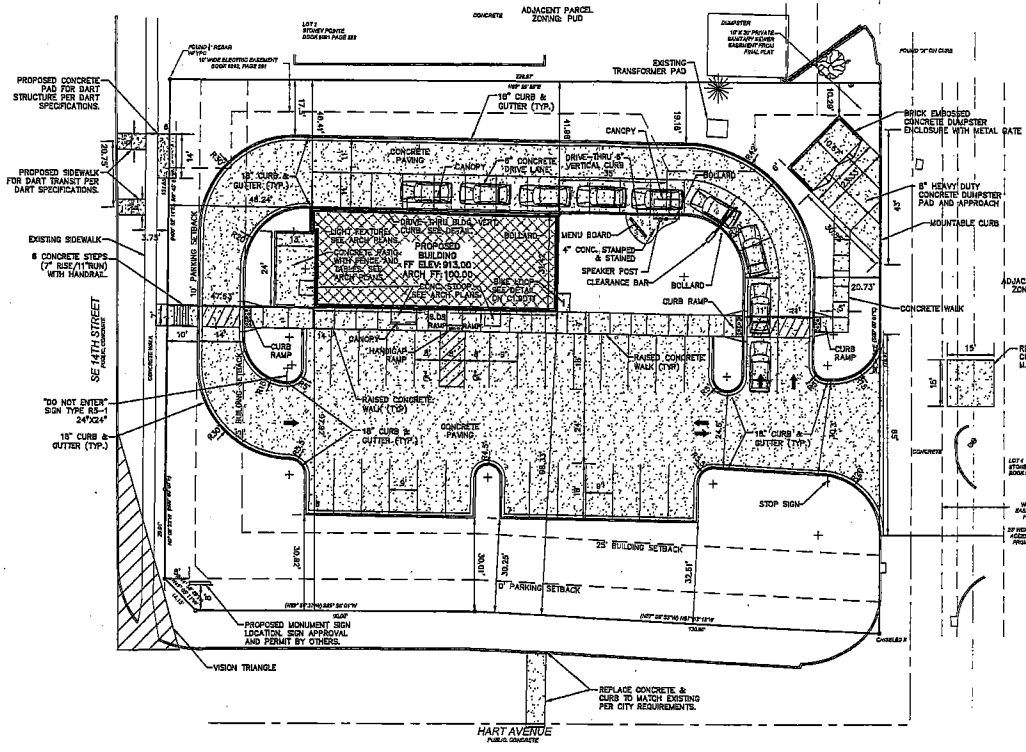
STOP SIGN DETAIL
NO SCALE



HANDICAP RAMP DETAIL
NO SCALE

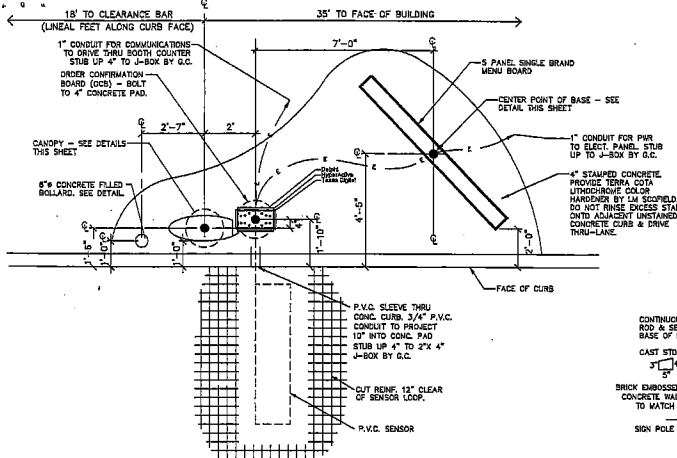


CURB RAMP DETAIL
NO SCALE



NOTE:
THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THIS DIAGRAM AND THIS DEVELOPMENT PLAN DRAWING SHALL SUPERSEDE, FOR CONSTRUCTION PURPOSES, ANY AND ALL DUMPSTER ENCLOSURE DIAGRAMS PROPOSED.

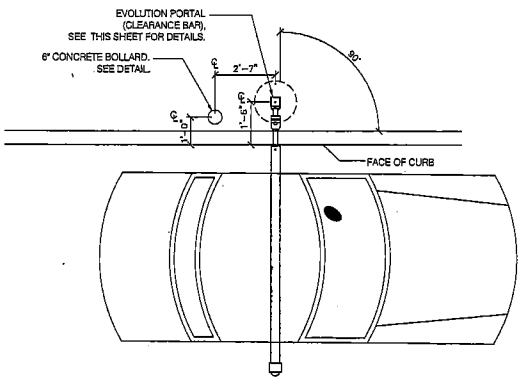
22



MENU BOARD DETAIL
NO SCALE

- NOTES
- CENTERLINE OF CANOPY FOOTING MUST BE WITHIN 18" OF FACE OF CURB.
 - ALL AREAS OF THE MB MUST BE VISIBLE TO DRIVER LOCATED AT O.C.S. ASSUME DRIVERS LOCATION IS 24" FROM FACE OF CURB, CENTERED ON O.C.S.
 - CENTER OF MB TO BE 9'-0" TO 12'-0" FROM DRIVERS POINT OF VIEW.

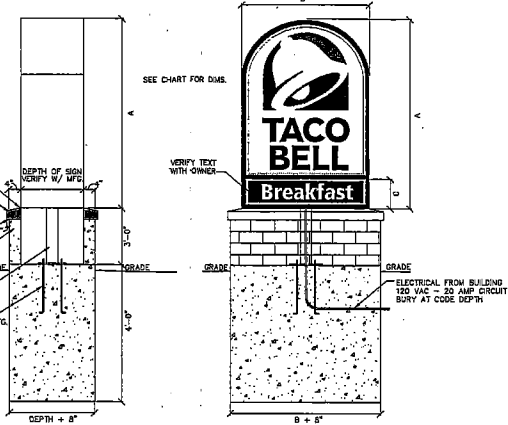
NOTE:
CONTRACTOR TO POUR CANOPY, MENU BOARD, CLEARANCE BAR, MONUMENT SIGN FOOTINGS AT THE SAME TIME AS LIGHT POLE BASES.



EVOLUTION PORTAL (CLEARANCE BAR) DETAIL
NO SCALE

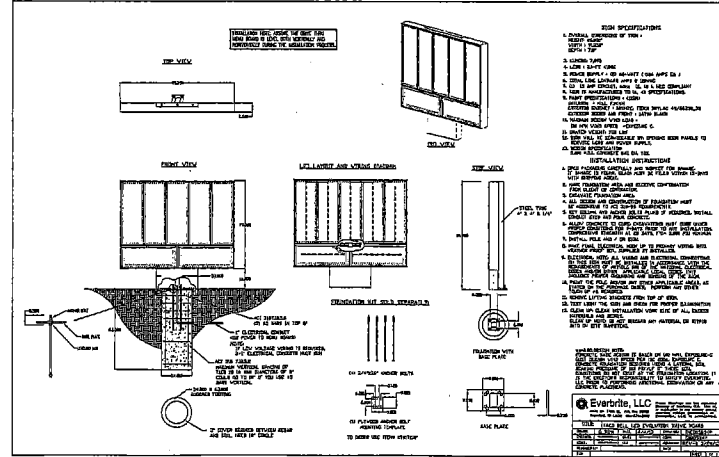
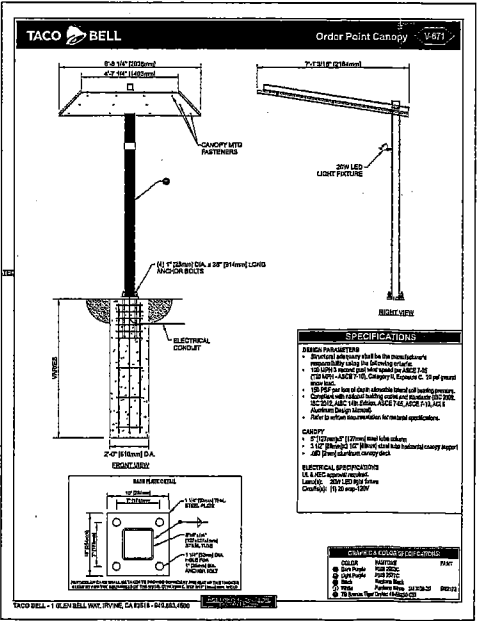
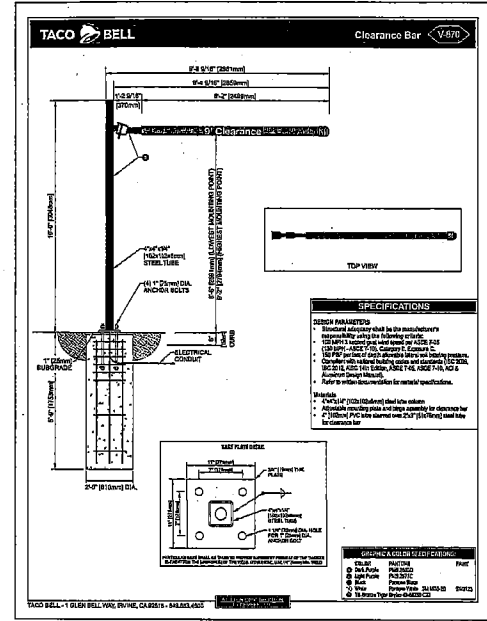
NOTE
ALL WORK IN THE CITY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH SUDAS AND THE CITY OF DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUDAS EFFECTIVE AT THE TIME OF PLAN APPROVAL.

- NOTES
- ALL SIGNS ARE FORMED WITH PAN AND EMBOSSED FACES, AND IS TO BE INTERNALLY ILLUMINATED.
 - ALL ELECTRICAL SIGNAGE IS ILL APPROVED.
 - SEE ARCH. PLANS FOR BUILDING MOUNTED SIGNS LOCATION AND SIZE.



DOUBLE SIDED MONUMENT SIGN
NO SCALE

LOAD SIGN SIZE	64" SQ. FT.
A	10'-2 25/32"
B	8'-4"
C	1'-8 3/4"
OVERALL HT.	12'-2 25/32"
AMPS	8
CIRCUIT	(1) 20 AMP
DEPTH	10"
GRADED WEIGHT	721 LBS



PROJECT INFORMATION
PROJECT NUMBER: 1649660

PROPOSED BUILDING FOR:
TACO BELL - DES MOINES
5959 SE 14TH STREET • DES MOINES, IA 50320

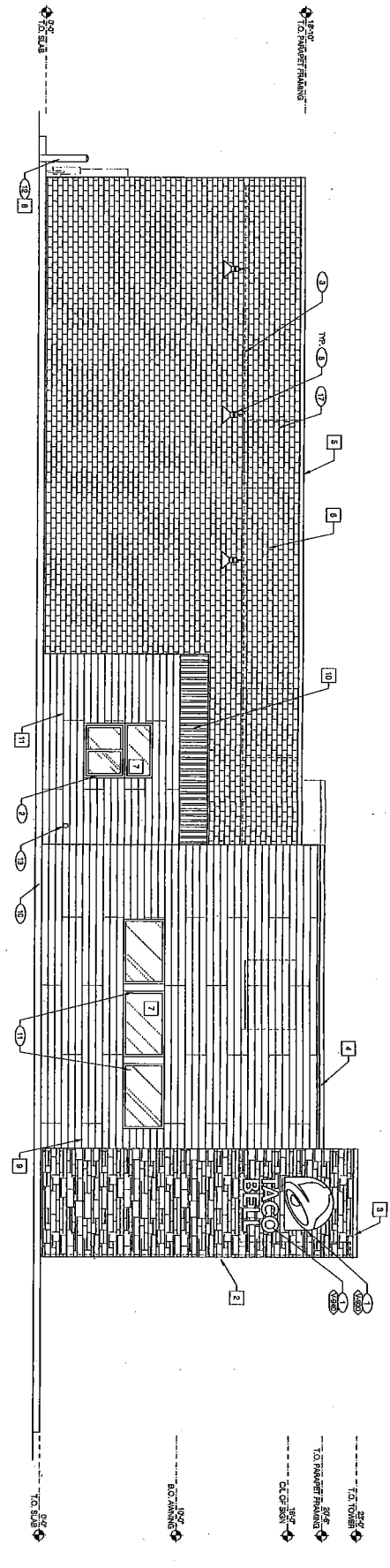


SHEET DATES

ISSUE DATE	APR. 25, 2017
REVISIONS	

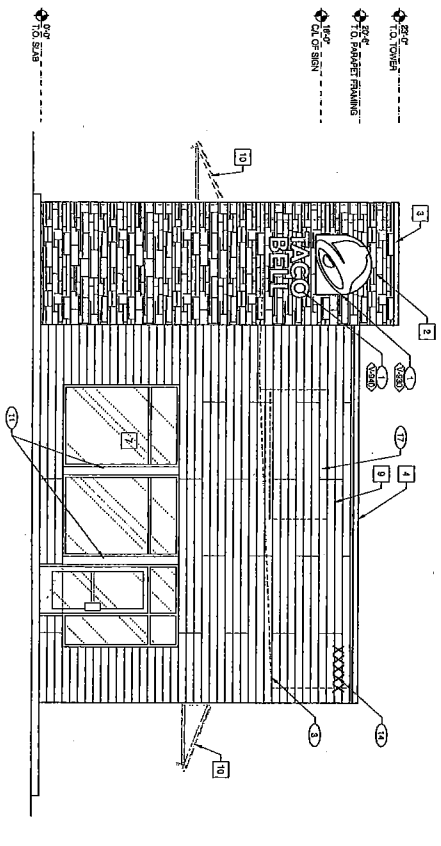
SHEET INFORMATION
TACO BELL CORPORATE DETAILS
SHEET NUMBER
C2.0 DT2

FRONT ELEVATION MATERIALS PERMISSIBLES
 GLASS AND DOORS = 48 SF
 METAL PANEL = 1,624 S.F.
 BRICK = 228 S.F. @ 20% = 456 S.F.
 TOTAL PERMISSIBLE AREA = 2,138 S.F.



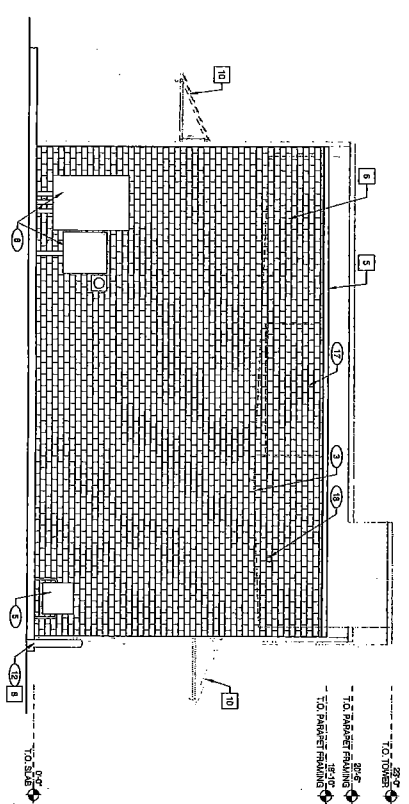
DRIVE-THRU (NORTH) ELEVATION 1/4" = 1'-0" A

FRONT ELEVATION MATERIALS PERMISSIBLES
 GLASS AND DOORS = 48 SF
 METAL PANEL = 1,624 S.F.
 BRICK = 228 S.F. @ 20% = 456 S.F.
 TOTAL PERMISSIBLE AREA = 2,138 S.F.



FRONT (WEST) ELEVATION 1/4" = 1'-0" C

REAR ELEVATION MATERIALS PERMISSIBLES
 GLASS AND DOORS = 48 SF
 METAL PANEL = 1,624 S.F.
 BRICK = 228 S.F. @ 20% = 456 S.F.
 TOTAL PERMISSIBLE AREA = 2,138 S.F.



REAR (EAST) ELEVATION 1/4" = 1'-0" B



300 CHERRY STREET
 DES MOINES, IA 50326
 PHONE (515) 281-8800
 WWW.EXCELDESIGN.COM

PROJECT INFORMATION
 PROJECT NUMBER 18-0890

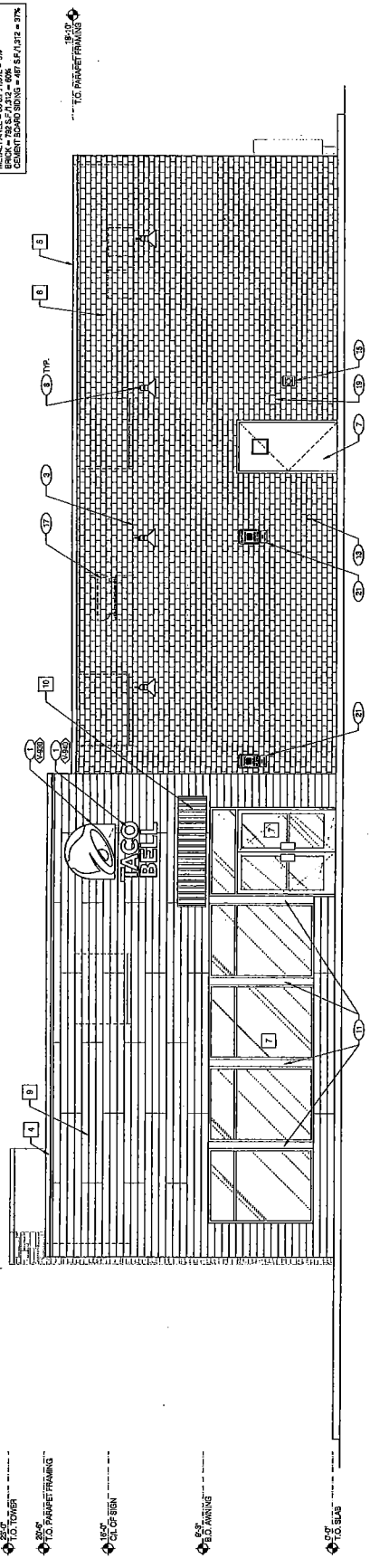
PROPOSED BUILDING FOR:
TACO BELL - DES MOINES
 5959 SE 14TH STREET • DES MOINES, IA 50320



SHEET DATE	FEBS 8, 2017
DATE	FEBS 8, 2017
REVISIONS	

SHEET INFORMATION
 EXTERIOR ELEVATIONS
 PROJECT NUMBER
A4.1

WALK-UP ELEVATION MATERIAL SPECIFICATIONS
TOTAL AREA = 1,871 SF.
METAL PANELS = 1,871 SF.
METAL PANELS = 1,871 SF.
METAL PANELS = 1,871 SF.
METAL PANELS = 1,871 SF.
METAL PANELS = 1,871 SF.



WALK-UP (SOUTH) ELEVATION 1/4"=1'-0"

NOTE: STORAGE UNDER SEPARATE PERMIT

USES	QTY	ITEM DESCRIPTION	ELED
WALK-UP	3	25' T.O. TOWER	X
WALK-UP	3	25' T.O. TOWER	X
WALK-UP	3	25' T.O. TOWER	X

GENERAL NOTES

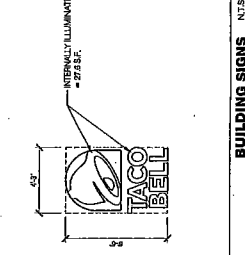
- DOOR NUMBERS - SEE SHEET A1.1.
- WINDOW NUMBERS - SEE SHEET A1.1.
- ALL ROOF TOP MECHANICAL EQUIPMENT IS SHIELDED FROM VIEW BY THE PARAPET.
- ALL LIGHTING SHALL BE DIRECTED DOWNWARD.
- PROVIDE SEAM AT ALL WALL AND ROOF PENETRATIONS.
- NOT SEAL SILL AT WINDOWS.
- APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

NOTE: CONTRACTOR SHALL VERIFY THE WORK COVERED BY THE BUILDING PERMIT IS IN ACCORDANCE WITH THE LOCAL CODES AND REGULATIONS. COORDINATE THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF ALL EXTERIOR LIGHTING WITH THE LOCAL UTILITY COMPANY.

SIGN SCHEDULE

NO.	DESCRIPTION
1	BUILDING SIGNAGE
2	DRIVE THRU WINDOW - REFER TO SHEET A1.1.
3	DASHED LINE INDICATES ROOF BEGINS.
4	NOT USED.
5	NOT USED.
6	GAS SERVICE - DO NOT PAINT.
7	ELECTRICAL SWITCH GEAR AND METER - PAINT TO MATCH 'NOVEMBER'.
8	HOLLOW METAL DOOR - PAINT TO MATCH 'NOVEMBER'.
9	ROOSEVELT LAMP - CENTER OF BRACKET AT 1/4"=1'-0".
10	CONCRETE CURB - REFER TO CIVIL DRAWINGS.
11	ALUMINUM TRIM - COLOR TO MATCH STOREFRONT.
12	STEEL BOLLARD WITH PLASTIC SLERVE - SEE CIVIL DRAWINGS.
13	BASE BESS LOCATION - REFER TO CLADDING AND DETAIL DRAWINGS.
14	BASE BRIDGE LOCATION - REFER TO CLADDING AND DETAIL DRAWINGS.
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BUILDING SIGNS



EXTERIOR FINISH SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR/NOTES
1	NOT USED		
2	CULTURED STONE	OWENS CORNING	PROFESSIONAL LITHO STONE
3	PREFINISHED METAL PARAPET CAP (POWER)	EXCEPTIONAL METALS	WHITAGE W/VE W/PR-AC20A
4	ROOFING METAL PARAPET CAP (FRONT)	EXCEPTIONAL METALS	MEDIUM BRONZE
5	PREFINISHED METAL PARAPET CAP (SIDES)	EXCEPTIONAL METALS	WHITAGE W/VE W/PR-AC20A
6	MORTARLESS CONCRETE BRICK NUMBER	NOVA-BRICK	SHERWIN WILLIAMS SWINER W/PLUSE PURPLE EGGSHELL
7	CONCRETE FILLER STEEL PIPE COLLAR	COMPETITIVELY BO	SMOOTH FACED - COLOR MARBLE WHITE
8	CONCRETE FILLER STEEL PIPE COLLAR	COMPETITIVELY BO	CLEAR ANODIZED ALUMINUM FINISH
9	FRIB CEMENT BOARD	INCH-MA	SEE CIVIL DRAWINGS
10	CORRUGATED METAL AWNING ROOF	INCH-MA	ROVER SAND, 'SUNCO'
11	FRIB CEMENT BOARD	INCH-MA	BY THEK, 1/8" THICK, 1/4" WIDE PANELS

GENERAL METAL AND FORMAL CONCRETE COMMERCIAL STORAGE REGULATIONS
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