

Date May 21, 2018

**RESOLUTION HOLDING HEARING ON APPEAL BY PENTA PARTNERS,
LLC OF THE CONDITIONS OF A SITE PLAN FOR PROPERTY LOCATED AT
2544 HUBBELL AVENUE**

WHEREAS, on May 7, 2018, by Roll Call No. 18-0770, the City Council received a communication from the City Plan and Zoning Commission advising that at a public hearing held on April 5, 2018, its members voted 12-0 to recommend **APPROVAL** of a request from Penta Partners, LLC (owner), represented by Travis Sisson (officer), for approval of a Site Plan "Classic Autoworx Site Improvements" for property located at 2544 Hubbell Avenue under design guidelines for vehicle display lots to allow the property to be used for vehicle sales, subject to the following conditions:

1. Compliance with all administrative review requirements of the City's Permit and Development Center.
2. Provision of a 20-foot paving setback along the western property line adjoining an "R" District.
3. Provision of a 20-foot paving setback from the front property line along Hubbell Avenue.
4. Provision of interior parking landscaping that complies with the City's Landscape Standards.
5. Provision of a minimum required 6-foot tall opaque screen along all adjoining "R" Districts.
6. Provision of a note that states there shall be no elevated display of motor vehicles
7. Provision of a note that states employee and customer parking area shall be clearly designated and shall not be used for the parking, storage or display of motor vehicles for sale, rental or hire.
8. Provision of a note that states all portions of the property used for the outside parking, display or storage of motor vehicles for sale, rental or hire shall be identified on the site plan and the perimeter shall be striped or otherwise conspicuously marked on the parking surface.
9. The two internal access drives to the property to the south shall be removed and curbing in these areas shall be restored.
10. Provision of a 30-foot wide sanitary sewer easement centered on the north/south sewer within the western portion of the property.
11. Revise note on Site Plan to specify all pole mounted lighting shall have a maximum 20-foot pole height; and

WHEREAS, Penta Partners, LLC timely appealed to the City Council pursuant to Municipal Code Section 82-210, seeking to have conditions 2, 3, 9, and 11 set forth above as determined by the Plan and Zoning Commission overturned and/or modified; and

WHEREAS, on May 7, 2018, by Roll Call No. 18-0770, it was duly resolved by the City Council that the appeal be set down for hearing on May 21, 2018 at 5:00 P.M. in the Council Chamber at City Hall; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place of hearing on said appeal; and

WHEREAS, in accordance with said notice, those interested in said appeal and the proposed site plan, both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council; and

WHEREAS, Section 82-210 of the Des Moines Municipal Code provides that upon appeal from the Plan and Zoning Commission, a majority vote of the City Council shall be necessary to overturn the action of the Plan and Zoning Commission regarding a site plan.

Date May 21, 2018

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, that upon due consideration of the facts and any statements of interested persons and arguments of counsel, any and all arguments and objections to the Plan and Zoning Commission approval of an amendment to Site Plan “Classic Autoworx Site Improvements” from Penta Partners, LLC for property located at 2544 Hubbell Avenue under design guidelines for vehicle display lots are hereby received, and the public hearing on the appeal and proposed site plan is closed.

MOVED by _____ to **APPROVE** the site plan, subject to the following conditions:

1. Compliance with all administrative review requirements of the City’s Permit and Development Center.
2. Provision of a 20-foot paving setback along the western property line adjoining an “R” District.
3. Provision of a 20-foot paving setback from the front property line along Hubbell Avenue.
4. Provision of interior parking landscaping that complies with the City’s Landscape Standards.
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10. Provision of a 30-foot wide sanitary sewer easement centered on the north/south sewer within the western portion of the property.
11. Revise note on Site Plan to specify all pole mounted lighting shall have a maximum 20-foot pole height.

FORM APPROVED:


Glenna K. Frank, Assistant City Attorney

(10-2018-7.36)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
COLEMAN				
GATTO				
GRAY				
MANDELBAUM				
WESTERGAARD				
TOTAL				

MOTION CARRIED APPROVED

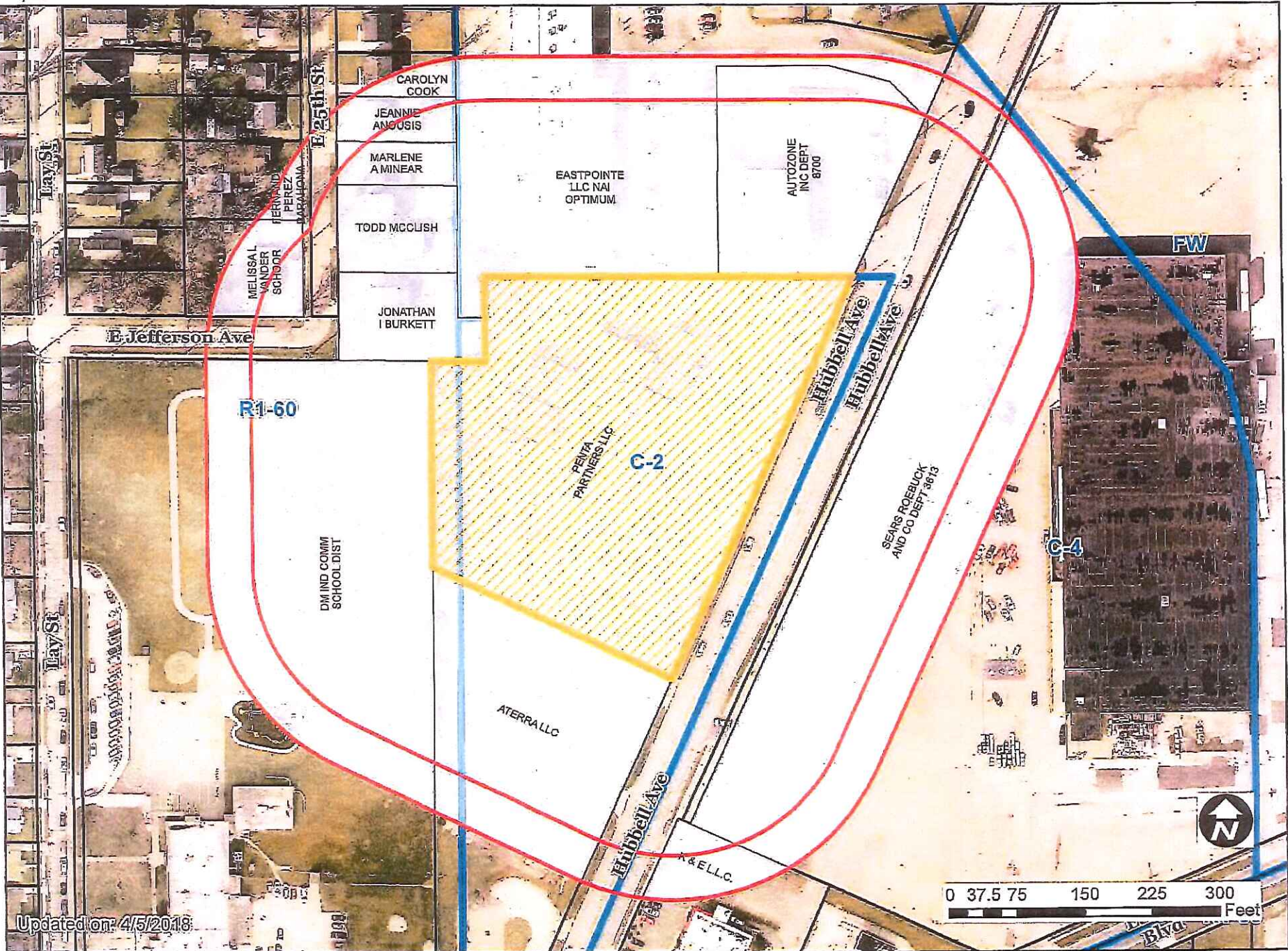
CERTIFICATE

I, DIANE RAUH, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

Mayor

City Clerk



Updated on: 4/5/2018

73

13 22



April 18, 2018

Cody Christensen
Permit & Development Administrator
Permit & Development Center

Mr. Christensen:

Communication from the City Plan and Zoning Commission advising that at their April 5, 2018 meeting, the following action was taken regarding a request from Penta Partners, LLC (owner) represented by Travis Sisson (officer) for review and approval of a Site Plan "Classic Autoworx Site Improvements" under design guidelines for vehicle display lots on property located at 2544 Hubbell Avenue, to allow the property to be used for vehicle sales.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 12-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles				X
Chris Cutler	X			
David Courard-Hauri	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page				X
Mike Simonson	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier				X

APPROVAL of the submitted Site Plan subject to the following conditions:

1. Compliance with all administrative review requirements of the City's Permit and Development Center.

2. Provision of a 20-foot paving setback along the western property line adjoining an "R" District.
3. Provision of a 20-foot paving setback from the front property line along Hubbell Avenue.
4. Provision of interior parking landscaping that complies with the City's Landscape Standards.
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9. The two internal access drives to the property to the south shall be removed and curbing in these areas shall be restored.
10. Provision of a 30-foot wide sanitary sewer easement centered on the north/south sewer within the western portion of the property.
11. Revise note on Site Plan to specify all pole mounted lighting shall have a maximum 20-foot pole height. (10-2018-7.36)

RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the submitted Site Plan subject to the following conditions:

1. Compliance with all administrative review requirements of the City's Permit and Development Center.
2. Provision of a 20-foot paving setback along the western property line adjoining an "R" District.
3. Provision of a 20-foot paving setback from the front property line along Hubbell Avenue.
4. Provision of interior parking landscaping that complies with the City's Landscape Standards.

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11. Revise note on Site Plan to specify all pole mounted lighting shall have a maximum 20-foot pole height.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The Site Plan would allow use of the property for a vehicle display lot. The site previously contained a vehicle display lot. However, since the property has been vacant for longer than six (6) months, it has lost its legal non-conforming status and must comply with the current regulations.
2. **Size of Site:** 3.33 acres.
3. **Existing Zoning (site):** "C-2" General Retail and Highway-Oriented Commercial District and "FSO" Freestanding Signs Overlay District.
4. **Existing Land Use (site):** The site contains an existing 15,930-square foot commercial building and a parking lot.
5. **Adjacent Land Use and Zoning:**

North – “C-4”; Uses include East Point Plaza shopping center and Auto Zone.

South – “C-2”; Use is an unoccupied vehicle display lot.

East – “C-4”; Uses include K-Mart and Taco Bell/KFC.

West – “R1-60”; Uses include a single-family dwelling and Phillips Elementary School.

6. General Neighborhood/Area Land Uses: The subject property is located along the Hubbell Avenue commercial corridor. The area includes numerous retail stores and fast-food restaurants.

7. Applicable Recognized Neighborhood(s): The subject property is located within the Fairmont Park Neighborhood. All neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda for the March 19, 2018. Additionally, separate notifications of the hearing for this specific item were mailed on March 26, 2018 (10 days prior to the hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the subject property. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on March 30, 2018. The Fairmont Park Neighborhood Association mailings were sent to Jeff Witte, 2501 Morton Avenue, Des Moines, IA 50317.

8. Relevant Zoning History: On April 15, 2004, the Plan and Zoning Commission approved a Site Plan under the Design Guidelines for Vehicle Display Lots for the property adjacent to the south at 2540 Hubbell Avenue (Docket 10-2004-7.60). At the time that the site plan was approved, the vehicle display was used in common with the vehicle display lot on the subject property. However, these two lots are no longer used in common.

On August 17, 2006, the Plan & Zoning Commission approved a Site Plan that allowed construction of a 5,220-square foot expansion to the existing building. That Site Plan was not subject to full compliance with Site Plan requirements since the proposed 5,220-square foot building addition did not constitute an expansion of more than 50% of the existing 10,552-square foot structure.

9. PlanDSM Future Land Use Plan Designation: Community Mixed Use.

10. Applicable Regulations: In acting upon any Site Plan application that includes improvements to property used for display, hire, rental or sales of motor vehicles in a commercial zoning district, the Plan and Zoning Commission shall apply the design standards in section 82-213 and the additional standards listed below. The decision to approve, approve subject to conditions or disapprove a proposed Site Plan must be based upon the conformance of the Site Plan with the design standards:

- 1) The construction and use of the site will have no significant detrimental impact on the use and enjoyment of adjoining residential uses, if any.

The subject property is located on the Hubbell Avenue commercial corridor. Staff believes that the proposed Site Plan would not have a detrimental impact on the nearby residential areas so long as it provides the minimum required pavement setbacks.

- 2) The proposed development shall satisfy the open space and bufferyard requirements for development in the "C-2" district set forth in the Landscape Standards in the adopted Site Plan policies.

The proposed Site Plan does not provide the minimum required 20% open space requirement or provide the minimum 20 feet of paving setback required from an "R" Residential District. The Site Plan provides 15% open space and a 10-foot paving setback from the "R" District to west. Staff believes that removing pavement in order to provide a 20-foot paving setback is reasonably necessary to protect the adjoining school and residential uses. Furthermore, removing pavement would help the Site Plan achieve the minimum required 20% open space.

- 3) Any portion of the property to be used for outside storage, display or parking of vehicles shall:

- a) Contain at least one-half acre of land.

The overall site contains 3.33 acres.

- b) Conform to the parking lot/display lot requirements for development in the "C-2" district set forth in the landscape standards in the adopted Site Plan policies.

The proposed Site Plan does not comply with the City's Landscape Standards with regards to minimum required open space, minimum required buffer yard, minimum interior lot plantings, and screening. Staff believes that is necessary to comply with the Landscape Standards to protect the adjoining school and residential uses. The Site Plan should provide 20-foot paving setbacks along the western property line adjoining an "R" District and along the front property line along Hubbell Avenue. The Site Plan must also comply with the interior parking lot standards and provides the minimum required screening.

- c) Be surfaced with an asphaltic or Portland cement binder pavement as shall be approved by the city engineer, so as to provide a durable and dustless surface and shall be so graded and drained as to dispose of all surface water accumulation within the area.

The Site Plan complies with this guideline.

- d) Incorporate curbs or other substantial permanent barriers to prevent encroachment of the vehicles into the required setback and landscape areas. Precast wheel stops and other barriers that can be readily moved are not acceptable.

The Site Plan provides curbs around the perimeter of the paved areas.

- 4) There shall be no elevated display of motor vehicles in any required front yard.

The Site Plan include must include a note that states there shall be no elevated display of motor vehicles.

- 5) The employee and customer parking area shall be clearly designated and shall not be used for the parking, storage or display of motor vehicles for sale, rental or hire.

The number and location of customer and employee parking is clearly identified on the Site Plan. However, the Site Plan must include a note stating that all spaces will be clearly delineated in the field.

- 6) All portions of the property used for the outside parking, display or storage of motor vehicles for sale, rental or hire shall be identified on the Site Plan and the perimeter shall be striped or otherwise conspicuously marked on the parking surface.

The Site Plan must include a note that states that the drive aisles and display areas will be clearly delineated in the field.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. Landscaping and Buffering:** As noted above, the Site Plan does not comply with the City's Landscape Standards with regards to minimum required open space, minimum required buffer yard, minimum interior lot plantings, and screening. Staff believes that is necessary to comply with the Landscape Standards to protect the adjoining school and residential uses.
- 2. Traffic/Street System:** The proposed Site Plan does not alter the existing one (1) drive approach from Hubbell Avenue. However, it demonstrates retention of the two internal access drives to the property to the south. Staff recommends that these be removed and that curbing in these areas must be restored in order to prevent vehicles from encroaching into this area.

3. **Utilities:** There is an existing City of Des Moines-owned 10-inch sanitary sewer running north/south across this western portion of this parcel. A 30-foot wide sanitary sewer easement centered on this sewer should be provided. This existing sewer must be protected during any construction activities and maintenance access must be provided at all times.
4. **Additional Information:** The Site Plan demonstrates that refuse collection containers would be screened by an enclosure located near the northwest corner of the site.

The Site Plan includes provisions that all rooftop mechanical equipment will be screened from street-level view and that all new site lighting will be low-glare "cutoff-type" fixtures with a maximum pole height of 20 feet.

SUMMARY OF DISCUSSION

Jason Van Essen presented the staff report and recommendation.

Jack Hilmes asked if there was a school next door to the west.

Jason Van Essen stated yes (Phillips Elementary).

CHAIRPERSON OPENED THE PUBLIC HEARING

Erin Ollendike with Civil Design Advantage, stated in regards to the 20-foot setback along the western property line, there is currently 10 feet that is heavily landscaped with plans to add more. This property has sat vacant for 3 years and finally has a tenant who wants to use this as a vehicle display lot as it was previously used. In regards to the parking set back along Hubbell Avenue, there is currently 15 feet with existing parking stalls and lighting along that corridor. Closing off the access to south would limit them to one-way in and out of the property. Lastly, in regards to the 20 foot height light poles, they are asking for that to be enforced on new light poles only, they wouldn't like to take out any existing poles.

Mike Simonson asked who owns the property to the south and is there an easement.

Erin Ollendike stated she wasn't aware of any easements.

Mike Simonson asked if they have been in contact with that property owner.

Erin Ollendike stated they have not. This is the first time we are seeing this comment so there hasn't been any time to have that discussion.

Mike Simonson asked if they are willing to install the landscape islands described in the staff report and recommendation.

Erin Ollendike stated the applicant is against the landscape islands inside the display lot but there have been landscape islands added around the perimeter.

CHAIRPERSON CLOSED THE PUBLIC HEARING

Mike Simonson stated the Commission is being asked to pick and choose out of the recommended conditions. If the applicant is just now learning about some of these recommendations, they might want to continue if they need more time to discuss with staff. Otherwise he would be inclined to support staff recommendation this evening.

Erin Ollendike stated they have previously sat down with staff and failed to come up with any agreements.

COMMISSION ACTION:

Greg Jones made a motion to approve the submitted Site Plan subject to the following conditions:

1. Compliance with all administrative review requirements of the City's Permit and Development Center.
2. Provision of a 20-foot paving setback along the western property line adjoining an "R" District.
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11. Revise note on Site Plan to specify all pole mounted lighting shall have a maximum 20-foot pole height.

Motion passed: 12-0

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Michael Ludwig".

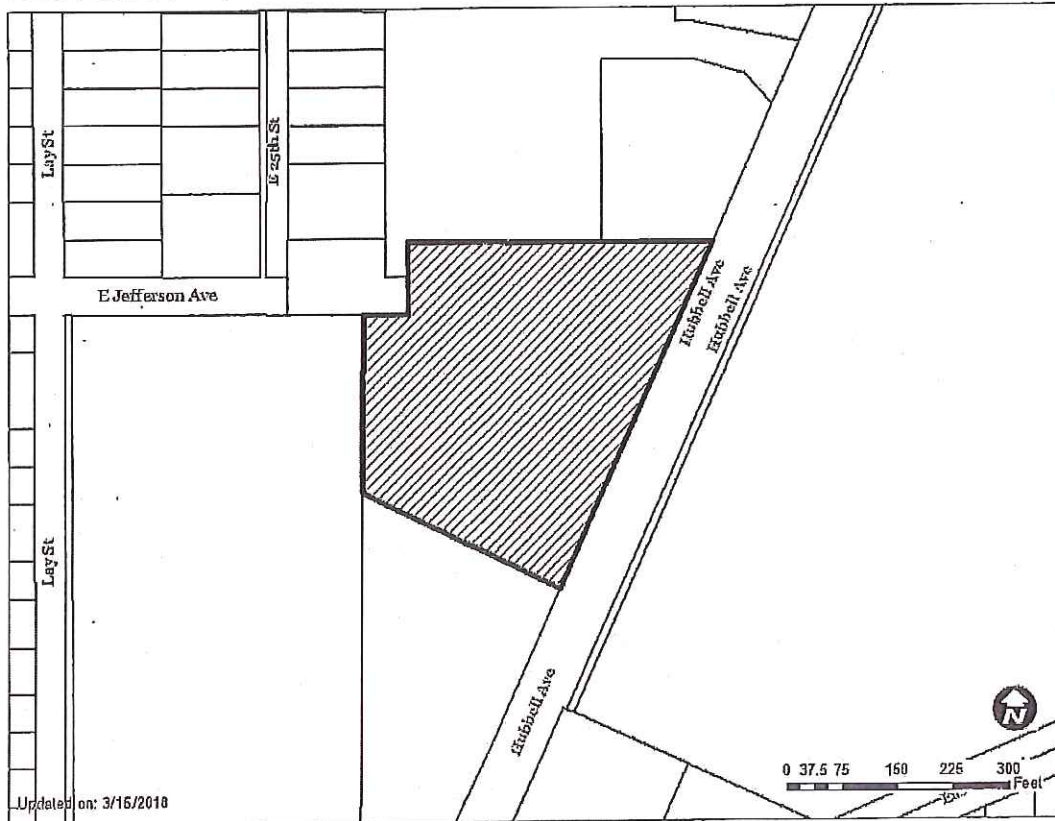
Michael Ludwig, AICP
Planning Administrator

MGL:fjh
Attachments

Penta Partners, LLC (owner) represented by Travis Sisson (officer) for on property located at 2544 Hubbell Avenue.				File # 10-2018-7.36	
Description of Action	Review and approval of a Site Plan "Classic Autoworx Site Improvements" under design guidelines for vehicle display lots, to allow the property to be used for vehicle sales.				
Plan/DSM Future Land Use	Current: Community Mixed Use, Park/Open Space, and Development Control Zone. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No planned improvements.				
Current Zoning District	"C-2" General Retail and Highway-Oriented Commercial District and "FSO" Freestanding Signs Overlay District.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Subject Property	0	0			
Outside Area (200 feet)					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

Penta Partners, LLC, Classic Autoworx Site Improvements, 2544 Hubbell Avenue

10-2018-7.36

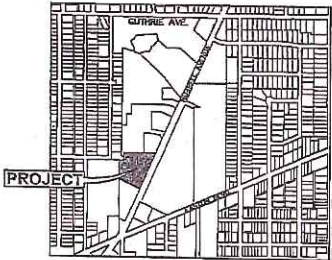


1 inch = 143 feet

SITE PLAN FOR: CLASSIC AUTOWORX SITE IMPROVEMENTS

DES MOINES, IOWA

VICINITY MAP
NOT TO SCALE



ABBREVIATED LEGAL DESCRIPTION

BEING COR 1/4 1/4 SEC 30 T22N R10W W/4 N/4 TO
POB VAD E 20TH ST CROSSING FIRST ADDITION TO EXISTING
PLANS AND BEG NE COR 1/4 1/4 SEC 30 T22N R10W
TO W/4 N/4 TO POB VAD E 20TH ST & W/4 SEC 30 T22N R10W
LN VAD E 20TH ST & W/4 LN HUBBELL AV N/4 N/4
ROOF AND W/4 LN HUBBELL AV N/4 N/4 TO W/4
VAD E 20TH ST & W/4 LN HUBBELL AV N/4 N/4
VAD E 20TH ST & W/4 LN HUBBELL AV N/4 N/4
N/4 SEC 30 T22N R10W LN VAD E 20TH ST & W/4 LN
HUBBELL AV ONLY BEG OF POB LN S OF SW 1/4
SW 1/4 N 1/2 SW 1/4 N 1/2 SW 1/4 N 1/2 SW 1/4 N
1/4 NE 1/4 S 1/2 NE 1/4 SEC 31 T22N R10W

ZONING

C-2 GENERAL RETAIL AND HIGHWAY
ORIENTED COMMERCIAL DISTRICT

PROJECT SITE ADDRESS

2544 HUBBELL AVENUE

EXISTING/ PROPOSED USE

EXISTING: VACANT - PREVIOUS AUTO SHOWROOM/ SALES
PROPOSED: UPHOLSTERY SHOP AND VEHICLE STORAGE

DEVELOPMENT SUMMARY

AREA: 144,854 ACRES (3,326 SF)
ZONING: C-2
SETBACKS:
FRONT: 25'
SIDE: 0'
REAR: 10'
FRONT YARD PARKING: 20'
MAXIMUM BUILDING HEIGHT: 45'
DEVELOPMENT CALCULATION:
TOTAL SITE = 144,854
BUILDING = 15,930 SF
VEHICLE PAVEMENT = 107,787 SF
OPEN SPACE PROVIDED = 21,137 SF (15%)
OPEN SPACE REQUIRED = 28,971 SF (20%)
IMPERVIOUS AREA:
EXISTING IMPERVIOUS AREA = 107,918 SF
PROPOSED IMPERVIOUS AREA = 107,711 SF
PAVEMENT REMOVED = 146 SF

PARKING:
AUTOMOBILE SALES AND SERVICE GARAGES: ONE PARKING
SPACE FOR EACH 600 SQUARE FEET OF GROSS FLOOR
AREA.
TOTAL REQUIRED = 27 SPACES
TOTAL PROVIDED = 35 SPACES
ACCESSIBLE SPACES = 2 STALLS (6.5%)
(STANDARD SPACES = 1)
(VAN SPACES = 1)

DATE OF SURVEY

SEPTEMBER 18, 2017

BENCHMARKS

1. IDOT BRASS DISK AT THE INTERSECTION OF
E. 20TH STREET AND UNIVERSITY AVENUE
ELEVATION=34.468

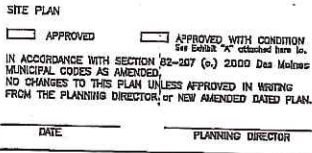
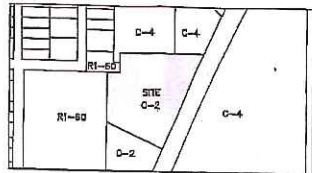
SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 10/03/2017
-SITE PLAN SUBMITTAL TO CITY #2: 03/02/2018

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	LANDSCAPE PLAN

ADJACENT ZONING
NOT TO SCALE



GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-508 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-401 STORM MANHOLE	CONIFEROUS TREE
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC MANHOLE OR VAULT
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWTOOTH (FULL DEPTH)	BENCHMARK
SLIT FENCE	SOIL BORING
USE AS CONSTRUCTED	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



UTILITY WARNING
ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE
SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES
SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER
IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER
DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN
THE EXACT LOCATION SHOWN.

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR., SUITE G, GRIMES, IOWA 50111
PH: (515) 369-1400 FAX: (515) 369-4410
PROJECT NO. 1708497

THIS DESIGN IS SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN.
USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE
DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS

ALL CONSTRUCTION MATERIALS, EQUIPMENTS, DETACHED TRAILERS OR SIMILAR
ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

THE MOST RECENT EDITION OF THE ILLINOIS STANDARD SPECIFICATIONS AND ALL
CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS
PROJECT UNLESS OTHERWISE NOTED.

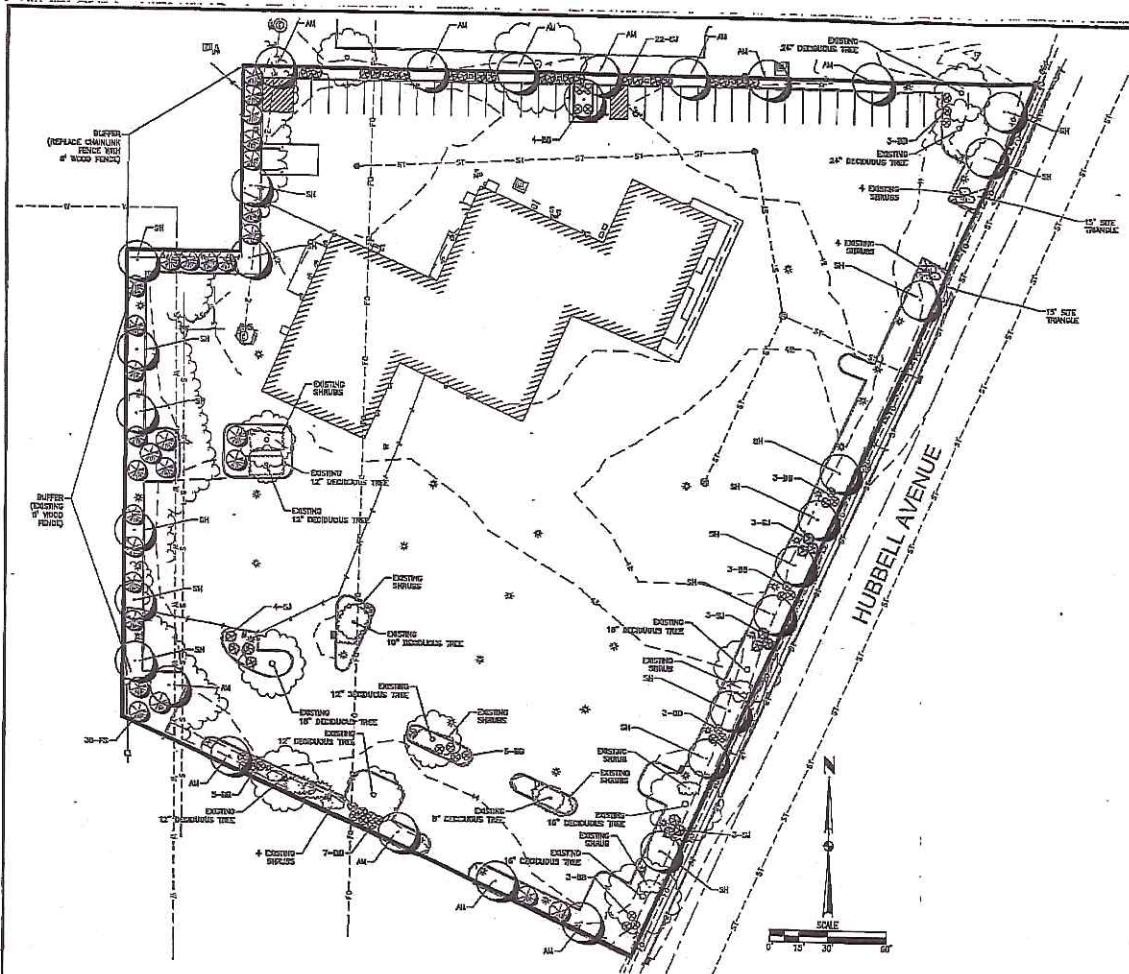
THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN
ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND
ANY ACCOMPANYING SPECIFICATIONS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS
PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION
AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
FOR CONSTRUCTION

DATE: 10/03/2017
SHEET 1-2

1-17-18



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE GRADING STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THE PROJECT UNLESS OTHERWISE NOTED.
3. TREE SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE DESIGN STANDARD FOR NURSERY STOCK AND SPEC.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFECTIVE WOUNDS AND OPEN SPACES, WITH WELL DEVELOPED ROOTS AND MOST CRITICAL ROOT TO HEIGHT, SHAPE, AND CHARACTER OF GROWTH OF THE SPECIES NEEDED.
5. SEED OR SOO ALL REQUIRED AREAS AS SPECIFIED BY OWNER.
6. FERTILIZER TO TOP OF GROW (RADIUS 1 1/2' FOR 3/4" IF SOO).
7. WOOD FROSTPROOF (PRE-SATURATED) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE WELDING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. CONTRACTOR HANDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A DEPTH OF 2" IN SPACE CUT EDGE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS.
11. ALL GRASSES SPECIFIED IN THE PUBLIC RECORD SHALL BE FICED UP BY THE CONTRACTOR AT THE END OF CONSTRUCTION.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

OPEN SPACE LANDSCAPE REQUIREMENTS

(1) EVERGREEN TREE, (1) EVERGREEN TREE AND (1) SHRUB PER 2,800 SF OF REQUIRED OPEN SPACE

PROJECT AREA = 144,854 SF
 OPEN SPACE REQUIRED (20%) = 28,971 SF
 OPEN SPACE PROVIDED (25%) = 21,157 SF

REQUIRED:
 OVERSTORY TREES = 12
 EVERGREEN TREES = 12
 SHRUBS = 12

PROVIDED:
 OVERSTORY TREES = 12 (10 EXISTING)
 EVERGREEN TREES = 12 (3 EXISTING)
 SHRUBS = 12 (3 EXISTING)

PARKING/ DISPLAY LOT PERIMETER LANDSCAPE REQUIREMENTS

HUBBELL AVENUE (470')
 ONE (1) OVERSTORY DECIDUOUS TREE AND THREE (3) SHRUBS PER 50 LINEAL FEET OF PAVED PARKING AREA

REQUIRED:
 OVERSTORY TREES = 10
 SHRUBS = 20

PROVIDED:
 OVERSTORY TREES = 10
 TOTAL SHRUBS = 23 (8 EXISTING)

NORTH (350')
 ONE (1) OVERSTORY DECIDUOUS TREE AND THREE (3) SHRUBS PER 50 LINEAL FEET OF PAVED PARKING AREA

REQUIRED:
 OVERSTORY TREES = 7
 SHRUBS = 21

PROVIDED:
 OVERSTORY TREES = 7
 TOTAL SHRUBS = 22

SOUTH (230')
 ONE (1) OVERSTORY DECIDUOUS TREE AND THREE (3) SHRUBS PER 50 LINEAL FEET OF PAVED PARKING AREA

REQUIRED:
 OVERSTORY TREES = 5
 SHRUBS = 15

PROVIDED:
 OVERSTORY TREES = 5 (2 EXISTING)
 TOTAL SHRUBS = 16 (4 EXISTING)

PARKING INTERIOR (35 SPACES) LANDSCAPE REQUIREMENTS

ONE (1) OVERSTORY DECIDUOUS TREE AND THREE (3) SHRUBS PER 20 PARKING STALLS WHICH MUST BE CONTAINED WITHIN A PLANTER BED OF NO SMALLER THAN 8'x11' OR 15'x3'.

PARKING SPACES PROVIDED = 35

REQUIRED:
 OVERSTORY TREES = 2
 SHRUBS = 6

PROVIDED:
 OVERSTORY TREES = 2 (1 EXISTING)
 SHRUBS = 7

SCREENING REQUIREMENTS (WEST)

SCREENING IS REQUIRED ADJACENT TO RESIDENTIAL ZONING DISTRICTS AND USES. HEIGHT OF SCREEN IS 8' AND SHALL CONSIST OF 75% OPAQUE FENCING MATERIAL AND MEET THE BUFFER REQUIREMENTS.

REQUIRED (358 LF)
 4 OVERSTORY DECIDUOUS TREE AND 8 EVERGREEN TREES PER 100 LF
 OVERSTORY TREES = 15
 EVERGREEN TREES = 32

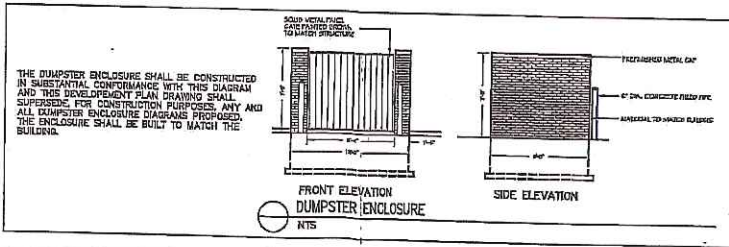
PROVIDED:
 OVERSTORY TREES = 8
 EVERGREEN TREES = 18

A 6' TALL WOOD FENCE IS PROVIDED ALONG A PORTION OF THE WESTERN BOUNDARY.

* TOTAL PROVIDED DOES NOT MEET THE REQUIREMENT DUE TO EXISTING CONDITIONS AND AVAILABLE ROOM FOR ADEQUATE PLANT SPACING.

PLANT SCHEDULE

PLANT	QUANTITY	SIZE	REMARKS
OVERSTORY TREES	10	12"	
EVERGREEN TREES	12	12"	
SHRUBS	23	12"	



THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THIS DIAGRAM AND THE RELEVANT PLAN DRAWING SHALL SUPERSEDE FOR CONSTRUCTION PURPOSES. ANY AND ALL EXEMPTION ENCLOSURE DETAILS PROPOSED, THE ENCLOSURE SHALL BE BUILT TO MATCH THE BUILDING.

1. I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL DRAWING WHICH IS NOT SHOWN IN RED IS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF IOWA. I AM A FULLY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF IOWA.

ELIMINARY FOR CONSTRUCTION

DATE: 3/3/2018
 BY: [Signature]
 THIS SHEET COVERED BY THIS SEAL

CLASSIC AUTOWORX SITE IMPROVEMENTS LANDSCAPE PLAN

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (616) 369-4400 FAX: (616) 369-4410

DATE: _____
 REVISIONS: _____
 PROJECT: _____
 SHEET: _____
 TOTAL SHEETS: _____

ENGINEER: EKO
 L.A.: RL

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