



Date October 14, 2019

RESOLUTION RECEIVING DEVELOPMENT PROPOSAL FROM CONNOLLY LOFTS ASSOCIATES, L.P. TO PURCHASE AND DEVELOP CITY-OWNED PROPERTY AT 401 SE 6TH STREET AND 400 SE 7TH STREET IN THE METRO CENTER URBAN RENEWAL AREA, AND SETTING DATE OF PUBLIC HEARING

WHEREAS, on March 20, 2000, by Roll Call Nos. 00-788 and 00-789, the City Council of the City of Des Moines approved the Urban Renewal Plan for the Metro Center Urban Renewal Project, and such Plan has been amended 24 times (the urban renewal plan as so amended is herein referred to as the "Plan"), encompassing an irregularly shaped area that includes the downtown core and the areas surrounding the downtown core; and

WHEREAS, City staff and Connolly Lofts Associates, L.P., represented by Frank Levy, Officer ("Developer"), have negotiated terms relating to the sale of City-owned property located at the intersections of SE 6th Street and East Martin Luther King Jr. Parkway, locally known as 401 SE 6th Street and 400 SE 7th Street (collectively "Property") and located in the Market District, for development of a 4-story, estimated 57-unit multi-family residential building, including approximately 4 dwelling units affordable to households at or below 50% of area median income, and an estimated 49 on-site parking spaces for residents (collectively "Improvements"); and

WHEREAS, the Developer and City staff have negotiated an Urban Renewal Development Agreement ("Development Agreement") for Developer to purchase and develop the Property, which Development Agreement is in substantially the form on file in the office of the City Clerk; and

WHEREAS, the Development Agreement, tendered herewith and to be executed by the Developer, proposes development of the Property as follows:

- 1. Purchase from the City and development of the Property, consisting of approximately 45,067 square feet of land and legally described as follows, for the above-described residential housing project:

PARCEL 2016-55 DESCRIPTION (PLAT OF SURVEY, POLK COUNTY RECORDER BOOK 17148, PAGE 240):

LOTS 1, 9, AND 10, A PORTION OF LOT 2, THE VACATED NORTH - SOUTH ALLEY WEST OF AND ADJACENT TO SAID LOTS 9 AND 10, ALL IN BLOCK 42, TOWN OF DE MOINE, AN OFFICIAL PLAT, DES MOINES, POLK COUNTY, IOWA; VACATED EAST ML KING JR PARKWAY SOUTH OF AND ADJOINING SAID LOTS 2 AND 9 AND THE INTERVENING ALLEY; VACATED RACCOON STREET NORTH OF AND ADJOINING SAID LOTS 1 AND 10 AND INTERVENING ALLEY; VACATED SE 7TH STREET BETWEEN RACCOON STREET AND EAST MARTIN LUTHER KING JR PARKWAY, ALL MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 1 IN BLOCK 42 OF SAID TOWN OF DE MOINE; THENCE N30°00'30"E, A DISTANCE OF 8.51 FEET; THENCE N74°57'52"E, A DISTANCE OF 321.96 FEET; THENCE S14°53'27"E, A DISTANCE OF 139.84 FEET; THENCE S74°57'52"W, A DISTANCE OF 277.81 FEET; THENCE NORTHWESTERLY ALONG A 77.50 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY, A DISTANCE OF 56.76 FEET, SAID CURVE HAVING A CHORD BEARING OF N79°48'35"W AND A CHORD DISTANCE OF 55.50 FEET TO THE WEST LINE OF LOT 2 IN BLOCK 42 OF



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SAID TOWN OF DE MOINE; THENCE N14°49'54"W ALONG THE WEST LINE OF LOTS 2 AND 1 IN BLOCK 42 OF SAID TOWN OF DE MOINE, A DISTANCE OF 110.18 FEET TO THE POINT OF BEGINNING.
SAID TRACT OF LAND CONTAINS 1.035 ACRES (45,067 SQUARE FEET).

2. Supplemental Economic Development Grant to be paid in 12 semi-annual installments, providing a declining percentage of project generated tax increment (TIF) funding starting at 100 percent in the first year of grant payments and declining to 75 percent in the sixth year of grant payments, in the estimated total amount of \$724,859.00, or \$432,161.00 on a net present value (NPV) basis.
3. Economic Development Forgivable Loan in the amount not to exceed \$444,366.00, advanced at the time of closing on Developer's purchase of the Property, which loan shall be forgiven if Developer constructs the required Improvements and qualifies for issuance of the Certificate of Completion; and

WHEREAS, said Development Agreement provides that the Developer will purchase the Property for the Purchase Price of \$830,000.00, subject to closing credit, if applicable, in the amount of the lowest of three bids estimating the cost of environmental remediation on the Property required by the Iowa Department of Natural Resources (IDNR), or other state or federal regulations, to be incurred by Developer and not to exceed \$200,000.00 regardless of bid amount; and

WHEREAS, the proposed development of the Property furthers the objectives of the Plan to preserve and create an environment which will protect the health, safety and general welfare of City residents, and maintain taxable values and employment opportunities within the Urban Renewal Project Area; and

WHEREAS, the economic development incentives for the development of the Improvements shall be provided by the City to Developer pursuant to the Urban Renewal Law and Chapter 15A of the Code of Iowa, and Developer's obligations to construct the Improvements will generate the following public gains and benefits: it will advance the improvement and redevelopment of the Project Area in accordance with the Urban Renewal Plan; it will establish conditions which attract further new investments and prevent the recurrence of blight and blighting conditions; it will encourage further private investment and will attract and retain residents and businesses in the Market District area; and it will further the City's efforts to retain and create job opportunities within the Project Area which might otherwise be lost; and

WHEREAS, City believes that the redevelopment of the Property pursuant to the proposed Development Agreement, and the fulfillment generally of the proposed Development Agreement, are in the vital and best interests of City and the health, safety, morals, and welfare of its residents, and in accord with the public purposes and provisions of the applicable state and local laws and requirements under which the project will be undertaken, and warrant the provision of the economic assistance set forth in the Agreement; and

WHEREAS, prior to hearing on the sale and Development Agreement, Developer will submit a good faith deposit in the amount of \$37,630.00 for the Property; and

WHEREAS, it is necessary and appropriate that the City Council take certain actions in accordance with Iowa Code Section 403.8 with respect to the Property in order to accept the proposal for the development of the Property and give full and fair opportunity for other potential developers to submit a proposal for the development of the Property; and



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WHEREAS, the City Council believes that the acceptance of the Developer's proposal and the Development Agreement to develop the Property and the advertisement for competing development proposals is in the best interests of the City of Des Moines, Iowa.

NOW THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. The Developer's proposal, which includes the terms stated above and the proposed Development Agreement in substantially the form on file with the City Clerk for development of the Property (hereinafter collectively "Proposal"), be and is hereby received and approved as to form for the purposes hereinafter stated.
2. For the purposes of defining the competitive bid process for purchase and development of the Property, said Proposal of Developer shall be deemed to be and to illustrate the minimum proposal acceptable to the City of Des Moines in terms of: general form of proposal and data required for competing proposals; Property description; purchase price, time for commencement and completion of improvements; time permitted for conceptual plan submission and review; development requirements for improvements; construction plans and certificate of completion; urban renewal covenants; remedies; parking lease agreement; and all miscellaneous provisions.
3. Competing proposals to the Developer's Proposal shall:
 - A. Provide a detailed description of the proposed development that shall be substantially similar to or superior than the developer proposed by Developer.
 - B. Devise a proposed method and sources of financing which must be adequate to assure financing of the development in a timely manner.
 - C. Provide a good faith deposit in the amount of \$37,630.00 for the Property, in acceptable form to the City of Des Moines.
4. It is hereby determined that the Developer possesses the qualifications and financial resources necessary to purchase and develop the Property in the manner stated in its Proposal and the proposed Development Agreement in accordance with the Plan.
5. It is hereby determined that the purchase price for the Property of \$830,000.00, to be paid by the Developer, meets the fair market value thereof for uses in accordance with the Plan and shall be the established minimum sales price for the competitive bid process, taking into account the restrictions upon the Property, and the terms, covenants, conditions and obligations assumed by the Developer for construction of the improvements on the Property in accordance with the terms of the proposed Development Agreement.
6. The City Clerk shall retain for public examination the Proposal and proposed Development Agreement in substantially the form on file and in the event of no timely qualified competing proposals, the City Clerk and staff shall submit the same to this Council for formal consideration, approval and execution at a public hearing at 5:00 p.m. in the Council Chambers, located at City Hall, 400 E. Robert D. Ray Drive, Des Moines, Iowa, during the regular City Council meeting of November 18, 2019.

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7. The City Clerk shall be authorized to publish, on or before October 18, 2019, the attached notice of the competitive bid process and the City's intent to accept the Developer's Proposal and to enter into the proposed Development Agreement if no competing proposals are received.
8. This resolution, the Proposal and proposed Development Agreement shall be on file at the office of the City Clerk, mailing and physical address: City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa.
9. Approval and acceptance of the Developer's Proposal is conditioned upon there being no better proposal submitted by a competitor for the development of the Property within the period hereinafter stated.
10. This competitive bid process, conducted in accordance with the terms of this resolution, is hereby determined to comply with the provisions of Iowa Code Section 403.8(2), requiring "reasonable competitive bidding procedures" for the sale of the Property and this competitive bid process is hereby determined to be the appropriate method for making the Property available for development in accordance with the Plan.
11. The submittal of proposals and statements by competing developers, including the form of Development Agreement executed by competing developers, shall be in substantial conformance with the provisions of this resolution.
12. All inquiries regarding the terms and conditions of this competitive bid process must be submitted in writing to the Office of Economic Development, mailing and physical address: Office of Economic Development, City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa. All responses to inquiries shall be made in writing and will be kept on file at the Office of the City Clerk, City Hall, and the Office of Economic Development, City Hall. No written inquiries shall be accepted after 5:00 p.m. on November 1, 2019.
13. Written competing proposals for the purchase and development of the Property must be received in the Office of Economic Development on or before 5:00 p.m., November 8, 2019. Said proposals shall be received in the Office of Economic Development located at City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa. Each proposal will then be submitted to City Council at the public hearing on November 18, 2019.
14. The Office of Economic Development staff is directed to receive competing proposals for the purchase and development of the Property and prepare a report on each competing proposal for the City Council, regarding the following, to wit:
 - A. The degree to which the proposal meets the objectives and requirements of the Plan, as amended.
 - B. The ability of the competing developer to commence and complete the development activity in an expeditious and timely manner.
 - C. Ambiguity or lack of information in the proposal shall be judged negatively.



Roll Call Number

Agenda Item Number

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15. Following public hearing on November 18, 2019, as set herein above, the City Council may take action to select the Developer's Proposal, a competing proposal, or no proposal, to continue the hearing, and/or to approve sale of the Property.

(Council Comm. No. 19-453)

MOVED BY _____ to adopt.

FORM APPROVED:

Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
COLEMAN				
GATTO				
GRAY				
MANDELBAUM				
WESTERGAARD				
TOTAL				

MOTION CARRIED

APPROVED

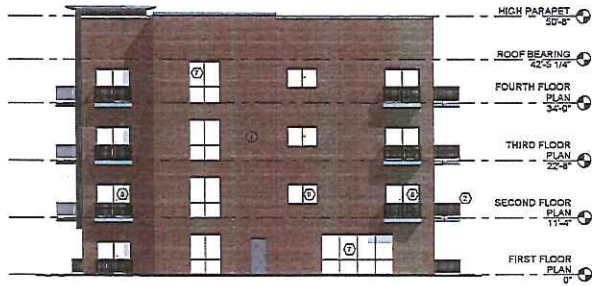
Mayor

CERTIFICATE

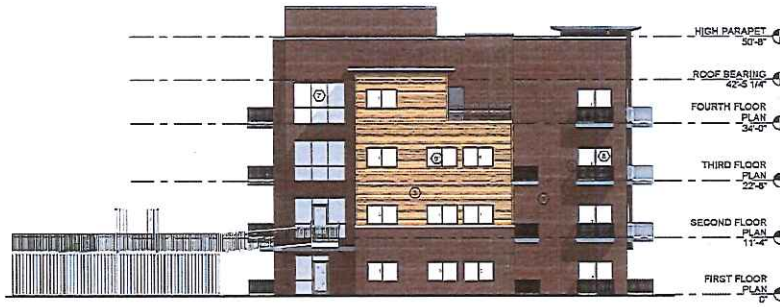
I, DIANE RAUH, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk



1 MARKETING EAST ELEVATION
3/32" = 1'-0"



2 MARKETING WEST ELEVATION
3/32" = 1'-0"

ELEVATION KEYNOTES

1. 4" DEPTH BRICK VENEER OVER AIR SPACE
2. PRE-FINISHED METAL DECORATIVE RAILINGS
3. PRE-FINISHED FIBER CEMENT LAP SIDING (COLOR 1)
4. PRE-FINISHED FIBER CEMENT LAP SIDING (COLOR 2)
5. PRE-FINISHED FIBER CEMENT TRIM BOARD
6. PRE-FINISHED METAL FASCIA TRIM
7. ALUMINUM STOREFRONT ENTRY SYSTEM WITH INSULATED GLASS
8. SLIDING VINYL PATIO DOOR WITH INSULATED GLASS
9. SLIDING VINYL WINDOW UNIT WITH INSULATED GLASS



3 MARKETING NORTH ELEVATION
3/32" = 1'-0"



4 MARKETING SOUTH ELEVATION
3/32" = 1'-0"

This drawing has been prepared for the architect, on a non-binding basis. It is not to be used for construction purposes. The drawing is provided as a guide only and is not intended to be used for construction purposes. It is the responsibility of the architect to verify all dimensions and details of the building and to ensure that the drawing is in accordance with the applicable building codes and regulations. The architect shall be responsible for all errors and omissions. © Copyright 2019 by Simonson & Associates, Inc. All rights reserved.

Connolly Lofts
401 S.E. 6th Street
Des Moines, Iowa
09/16/2019

As including 24x36 Sheet
12"x18" SHEET (HALF SIZE)
SCALE IS ONE-HALF OF WHAT IS NOTED
OTHER SHEET SIZES NOT TO SCALE
JOB NO. 151053

simonson

simonson & associates architects llc
1202 ingersoll avenue suite 107 des moines ia 50309
502 515 440 5455 www.simonsonaia.com

57B

SIMONSON

SIMONSON & ASSOCIATES ARCHITECTS LLC
1570 EIGHTH AVENUE SUITE 1174 DES MOINES, IA 50319
PHONE: 515 446 1464 WWW.SIMONSONARCH.COM

DATE: 09/16/2019
DRAWN BY: JACOB W. HARRIS
CHECKED BY: JACOB W. HARRIS
SCALE: AS SHOWN
OTHER SHEETS: SEE LIST TO SCALE
JOB NO.: 191002

Connolly Lofts

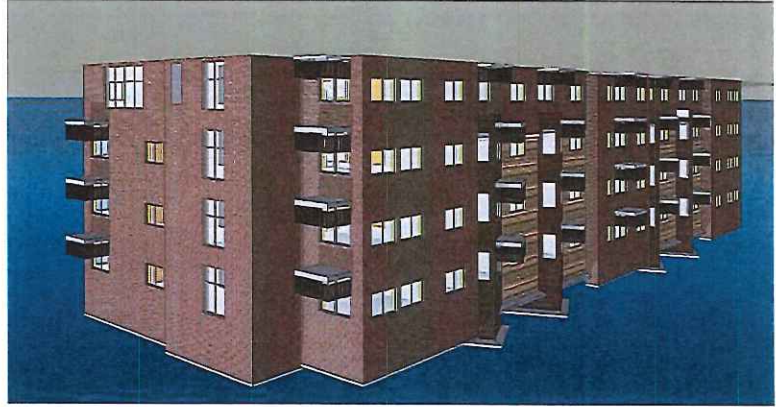
401 S.E. 6th Street
Des Moines, Iowa
09/16/2019

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③ SOUTHEAST PERSPECTIVE



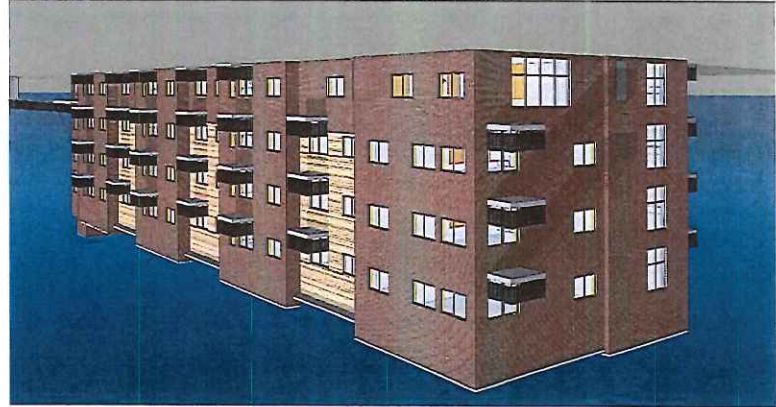
① SOUTHWEST PERSPECTIVE



④ NORTHEAST PERSPECTIVE



② NORTHWEST PERSPECTIVE



PRELIMINARY - NOT FOR CONSTRUCTION

CONNOLLY LOFTS SITE PLAN

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 SITE SURVEY / DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C6.2 DETAILS SHEET
- C7.1 SWPPP

PROPERTY DESCRIPTION:

PARCEL 204-65
 LOTS 18, 19D, & A PORTION OF LOT 2, THE VACATED NORTH-SOUTH ALLEY WEST OF AND ADJACENT TO SAID LOTS 3 AND 10, ALL IN BLOCK 42, TOWN OF DE MONIE, AN OFFICIAL PLAT, DES MONIE, POLK COUNTY, IOWA, VACATED EAST MAIN, JR PARKWAY SOUTH AND ADJOINING SAID LOTS 2 AND 3 AND THE INTERVENING ALLEY, VACATED RACCOON STREET NORTH OF AND ADJOINING SAID LOTS 1 AND 19 AND INTERVENING ALLEY, ALL MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 3 IN BLOCK 42 OF SAID TOWN OF DE MONIE, THENCE S14°32'27"E ALONG THE SOUTHEASTLY EXTENSION OF THE EAST LINE OF SAID LOT 3 A DISTANCE OF 21.00 FEET, THENCE S74°27'29"E, A DISTANCE OF 20.14 FEET, THENCE NORTHWESTERLY ALONG A 71.60 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY, A DISTANCE OF 56.76 FEET, SAID CURVE HAVING A CHORD BEARING OF S89°29'40"W AND A CHORD DISTANCE OF 55.35 FEET TO THE WEST LINE OF LOT 2 IN BLOCK 42 OF SAID TOWN OF DE MONIE, THENCE N41°09'44"W ALONG THE WEST LINE OF LOTS 3 AND 19 IN BLOCK 42 OF SAID TOWN OF DE MONIE, A DISTANCE OF 106.16 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, THENCE S73°25'42"E ALONG THE NORTH LINE OF SAID BLOCK 42, A DISTANCE OF 73.00 FEET, THENCE W1°07'09"W, A DISTANCE OF 146.00 FEET, THENCE S11°04'12"E, A DISTANCE OF 240.00 FEET, THENCE S14°32'27"E, A DISTANCE OF 146.00 FEET TO THE NORTHEAST CORNER OF LOT 10 IN BLOCK 42 OF SAID TOWN OF DE MONIE, THENCE S14°32'27"E ALONG THE EAST LINE OF SAID LOTS 10 AND 9, A DISTANCE OF 111.00 FEET TO THE POINT OF BEGINNING, SAID TRACT OF LAND CONTAINS 1.235 ACRES (65,569 SQUARE FEET).

ADDRESS:
 401 SE 6TH AND 400 SE 7TH
 DES MONIE, IOWA

OWNER:
 NEWBURY PROPERTY MANAGEMENT
 710 FOSTER DR
 DES MONIE, IOWA 50312
 (515) 274-4642

PREPARED FOR:
 NEWBURY PROPERTY MANAGEMENT
 710 FOSTER DR
 DES MONIE, IOWA 50312
 (515) 274-4642

ZONING:
 D-38 COMMERCIAL MIXED USE DISTRICT/COUNTDOWN OVERLAY DISTRICT
 VACANT LAND
 PROPOSED USE: 51 UNIT APARTMENT BUILDING
 BUILDING HEIGHT: 5B7
 SETBACK REQUIREMENTS:
 FRONT YARD = 0
 SIDE YARD = 0
 REAR YARD = 0

PARKING REQUIREMENTS (BY UNIT):
 PARKING REQUIRED: NONE
 PARKING PROVIDED: 48 OFF-STREET INCLUDING 2 ACCESSIBLE SPACES
 PLUS 11 ON-STREET PARKING SPACES = 60 SPACES

OPEN SPACE REQUIREMENTS:
 TOTAL AREA = 65,569 SF
 OPEN SPACE PROVIDED = 13,102 SF (22.61%)

IMPERVIOUS SURFACE:
 TOTAL IMPERVIOUS AREA = 34,849 SF
 DISTURBED AREA = 1.02 ACRES

BENCHMARK:
 CITY OF DE MONIE #5575 - SW CORNER TRAFFIC SIGNAL BASE ELEVATION = 11.40'
 CITY OF DE MONIE #5572 - NW CORNER TRAFFIC SIGNAL BASE ELEVATION = 11.40'



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, DISTRICT RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH SDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF DES MONIE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAIL PLANS SHALL COVER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT D.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRIAGES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRIAGES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING GRADING CHANNELS, STORM SEWERS, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS INDIVIDUALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF DES MONIE.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED DUE TO THE ADJUSTMENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION. AT THE END OF EACH WORK DAY.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED INTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
17. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL REQUIRE A RIGHT-OF-WAY PERMIT.
18. A SIDEWALK CURVE APPROACH PERMIT IS REQUIRED.

PAVING NOTES:

1. THE PAVING/GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF DES MONIE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SDAS.
2. SUBGRADE PREPARATION AND PAVEMENTS SHALL BE ACCORDING TO THE FOLLOWING RECOMMENDATIONS IN THE SOIL REPORT, APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
3. SEE DETAILS FOR ALL PAVEMENT THICKNESSES.
4. ALL PEDESTRIAN WALKWAYS THAT ENCLOSE INTO ARE TO BE VEHICULAR TRAVELING PATH SHALL HAVE A.D.A. DETECTABLE WARNING PLANKING AS PER A.D.A. REGULATIONS. PAVEL TYPE & COLOR SHALL BE PER CITY STANDARD.
5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMP, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

1. QUANTITY CALCULATIONS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH ALL CITY BUREAU STORM WATER EXTENSION FACILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (PHONE 515-274-4642) TO PERFORM SAID AS-BUILT SURVEY. IF DETECTION POINTS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADING. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
5. ACTIVE EXISTING FIBER LINES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH R4-M TYPE CONNECTIONS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND FLASH CURB.
7. ALL RIP RAP CALLED OUT ON PLANS SHALL BE ORDERED WITH ENGINEER FABRIC.
8. SANITARY SEWER SERVICE CONNECTIONS SHALL BE TRACED AT A SLOPE OF NO LESS THAN 2% SERVICES SHALL MAINTAIN 10" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITH 10" OF THE CROSSLING.
9. MANHOLE AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
10. WATERMANS SHALL BE CAD. SIZE OF WATERMAIN AS SHOWN ON PLANS.
11. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
12. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF DES MONIE.
13. TRACHER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND SHOWN TO THE SURFACE AT EVERY HUBBARD VALVE AND AT PLACE OF BUILDING.
14. ALL HYDRANT WELLS SHALL BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF DES MONIE SHALL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
15. THE MINIMUM HUBBARD LEAD SHALL BE 2.5 FEET.

UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC.
2. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
3. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.

WETLAND NOTES:

1. BISHOP ENGINEERING DOES NOT PROVIDE WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

1. SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

UTILITY MAPS PROVIDED BY:

1. ELECTRIC (DES MONIE ENERGY)
2. STORM AND SANITARY (CITY OF DES MONIE)
3. FIBER OPTIC (DES MONIE)
4. CABLE (BENTON & BOWLEN)
5. GAS (AMERICAN ENERGY)
6. WATER (DES MONIE WATER WORKS)
7. OTHERS (PROVIDER / CONTACT INFO)

APPROVAL:

SITE PLAN APPROVED APPROVED WITH CONDITIONS SEE EXHIBIT 'A'

IN ACCORDANCE WITH SECTION 82-207 (c.), 2000 DES MONIE MUNICIPAL CODE. AS NOTED, NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE PLANNING DIRECTOR.

DATE _____ PLANNING DIRECTOR _____

SITE PLAN NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF DES MONIE CODES, ORDINANCES, REGULATIONS, POLICE STANDARDS, AND SPECIFICATIONS.
2. PROPOSED IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT SDAS STANDARD SPECIFICATIONS.
3. THIS SITE PLAN SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF THE SITE PLAN APPROVAL.
4. ANY NEW ROOFING MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
5. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
6. ANY NEW LIGHTING MUST BELOW GLARE OUT-TYPE FIXTURES TO REDUCE THE GLARE LIGHT POLLUTION ON SURROUNDING PROPERTIES.
7. THE REQUIRED LANDSCAPING SHALL BE MAINTAINED FOR THE LIFE OF THE OCCUPANCY.
8. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SOODING.
9. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS.
10. PROPOSED PAVEMENT SHALL BE 6" THICK RCP PAVEMENT WITH STANDARD 6" HIGH INTEGRAL CURB AND GUTTER SECTION.
11. SUBGRADE SHALL BE WORKED JUST PRIOR TO PAVING IN TWO 8" INCH LISTS WITH MOISTURE AND DENSITY CONTROL. FOR A DEPTH OF NOT LESS THAN TWELVE INCHES BELOW THE BOTTOM OF SLAB. MEET SDAS REQUIREMENTS FOR PAVEMENT SUBGRADE. SUBGRADE TO MEET SPECIFICATIONS FOR HOT GRANULAR SUBBASE (SECTION 402)
12. ALL PARCELS WILL BE COMBINED INTO ONE TAXABLE PARCEL.

DOWNTOWN OVERLAY DISTRICT GUIDELINES:

1. BUILDING ENTRANCE SHALL BE ORIENTED TOWARDS A PRIMARY PUBLIC STREET. HAVE FRONTAGE ON PRINCIPAL STREETS OF NOT LESS THAN 75', AND AT LEAST 75% OF THE BUILDING FRONTAGE SHOULD BE WITHIN 1 FOOT OF THE PROPERTY LINE FOR COMMERCIAL BUILDINGS AND 15 FOOT FROM THE PROPERTY LINE FOR RESIDENTIAL BUILDINGS.
2. SURFACE PARKING OR LOADING AREAS ADJACENT TO PUBLIC STREETS SHALL BE SCREENED OR PROVIDED AN URBAN EDGE CONSISTING OF LANDSCAPING, FENCING, RETAILING WALL, OR OTHER APPROVED METHOD.
3. BLACK LED MULTIBAND SERIES LIGHT FIXTURES WITH A BLACK POLE IS REQUIRED FOR ALL STREET LIGHTS ASSOCIATED WITH THE PROJECT AREA, AND UNDERGROUNDING OF OVERHEAD UTILITY LINES SHALL BE REQUIRED.
4. STREETSCAPE SHALL CONSIST OF 3X12 PARKWAY PLANTERS WITH 1 OVERSTORY TREE EVERY 20 LINEAL FEET LOCATED, 1 FOOT BACK OF CURB WITH A 6" SIDEWALK. STREETLIGHT POLES SHALL BE NO CLOSER THAN 15 FEET TO A TREE. ALTERNATE DIMENSIONS OF PLANTERS ARE ONLY CONSIDERED WHEN SITE CONSTRAINTS ARE PROHIBITIVE TO THE STANDARD DIMENSIONS.

CONDITIONS OF APPROVAL DECEMBER 7TH, 2017

PLANNING AND ZONING COMMISSION MEETING:

1. COMPLIANCE WITH ALL ADMINISTRATIVE REVIEW COMMENTS OF THE CITY'S PERMIT AND DEVELOPMENT CENTER.
2. COMPLIANCE WITH ALL FINAL REVIEW COMMENTS OF THE URBAN DESIGN REVIEW BOARD.
3. REVIEW AND APPROVAL OF THE FINALIZED BUILDING ELEVATIONS AND MATERIALS BY THE PLANNING ADMINISTRATOR.
4. ALL WALL MOUNTED MECHANICAL GRILLS SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING.
5. ALL UTILITY METERS AND OTHER UTILITIES SHALL BE PLACED ON SIDE OR REAR FACADES THAT ARE INTERNAL TO THE SITE.
6. ALL TRANSFORMERS AND GROUND-MOUNTED EQUIPMENT SHALL BE NOTED ON THE SITE PLAN IN A LOCATION APPROVED BY THE PLANNING ADMINISTRATOR.
7. ALL SERVICES LINES TO THE BUILDING AND ALL UTILITY LINES IN THE ADJOINING RIGHTS-OF-WAY SHALL BE LOCATED UNDERGROUND.
8. PROVISION OF REQUIRED INTERIOR LOT LANDSCAPING AND ADDITIONAL LANDSCAPING AROUND THE SHIPPING CONTAINER SHEDS.

LIGHTING NOTES:

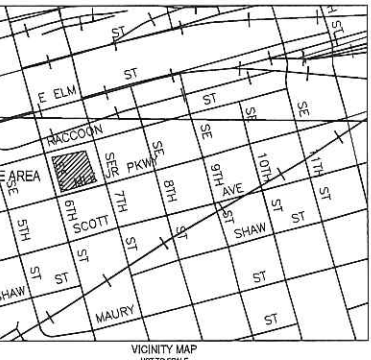
1. PARKING LOT LIGHTING SHALL BE PEDESTRIAN IN SCALE HAVING POLES NO TALLER THAN 20 FEET WITH CUT-OFF DOWN DIRECTIONAL LIGHT FIXTURES.
2. MIDWINTER ENERGY WILL SUPPLY THE EQUIPMENT AND DO THE INSTALLATION. THE PROPERTY OWNER IS RESPONSIBLE FOR THE COST OF THAT WORK FOR ALL PROPOSED STREET LIGHTS.

FIRE CODE MODIFICATION:

THIS PROJECT SHALL INCORPORATE ALTERNATIVE SPRINKLER SYSTEM DESIGN AND INSTALLATION MEETING NFPA 13.

ZONING BOARD OF ADJUSTMENT:

ON FEBRUARY 22, 2017, BY DOCKET 2016-07-0017, THE ZONING BOARD OF ADJUSTMENT GRANTED AN EXCEPTION OF 124 FEET LESS THAN THE MINIMUM REQUIRED 24 FEET OF ABLE WIDTH REQUIRED FOR 16-FOOT SQUARE ANGLE PARKING SPACES TO ALLOW CONSTRUCTION OF AN OFF-STREET PARKING LOT WHERE THE DRIVE ANGLE PROVIDING ACCESS FOR THE SQUARE ANGLE PARKING SPACES WOULD BE 22.1 FEET WIDE. SUBJECT TO COMPLIANCE WITH ALL APPLICABLE BUILDING CODES AND CITY POLICIES WITH ISSUANCE OF REQUIRED PERMITS BY THE PERMIT AND DEVELOPMENT CENTER.



LEGEND:

- SH- SANITARY SEWER
- ST- STORM SEWER
- W- WATER LINE
- G- GAS LINE
- UE- UNDERGROUND ELECTRIC
- OE- OVERHEAD ELECTRIC
- TE- TELEPHONE LINE
- FO- FIBER OPTIC
- CATV- CABLE TV
- C/STORM MANHOLE
- C/BIOME
- C/SURFACE INTAKE
- C/FLARED END SECTION
- C/SANITARY MANHOLE
- C/CLEANOUT
- C/FIRE HYDRANT
- C/SPRINKLER
- C/IRRIGATION CONTROL VALVE
- C/WATER MANHOLE
- C/WELL
- C/WATER VALVE
- C/WATER SHUT OFF
- C/YARD HYDRANT
- C/ELECTRIC MANHOLE
- C/ELECTRIC METER
- C/ELECTRIC RISER
- C/ELECTRIC WALT
- C/POWER POLE
- C/TRANSFORMER POLE
- C/LIGHT POLE
- C/ELECTRIC JUNCTION BOX
- C/ELECTRIC PANEL
- C/TRANSFORMER
- C/GROUND LIGHT
- C/GUY WIRE
- C/ELECTRIC MANHOLE
- C/GAS METER
- C/GAS VALVE
- C/AIR CONDITIONING UNIT
- C/TELEPHONE RISER
- C/TELEPHONE WALL T
- C/TELEPHONE MANHOLE
- C/TRAFFIC SIGNAL MANHOLE
- C/FIBER OPTIC RISER
- C/FIBER OPTIC FALL T
- C/CABLE RISER
- C/SIGN
- C/DIOTES NUMBER OF PARKING STALLS
- C/PROPERTY CORNER - FOUND AS NOTED
- C/PROPERTY CORNER - PLACED 1/4" IRON PIPE WITH YELLOW PLASTIC CAP IS IN 4773
- C/SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

AC	ACRES
ASPH	ASPHALT
WAD	WOOD
CONC	CONCRETE
B	BEST
EX	EXISTING
ENCL	ENCLOSURE
F	FLOOR
FL	FLOW LINE
FRAC	FRACTURAL
M	MEASURED DISTANCE
WH	WALL
OPC	ORANGE PLASTIC CAP
P	FLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
POL	POINT OF COMMENCEMENT
PRE	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASMENT
RIGHT	RIGHT OF WAY
RCP	RCP PLASTIC CAP
SF	SQUARE FEET
SAU	SANITARY
TYF	TYPICAL
YFC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: CHARLES A. BISHOP, P.E. 11053 DATE: _____
 LICENSE RENEWAL DATE: DEC. 31, 2020
 PAGES OR SHEETS COVERED BY THIS SEAL: 001, 002, 001A, 001B, 001C, 001D, 001E, 001F, 001G, 001H, 001I, 001J, 001K, 001L, 001M, 001N, 001O, 001P, 001Q, 001R, 001S, 001T, 001U, 001V, 001W, 001X, 001Y, 001Z



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CONNOLLY LOFTS
 401 SE 6TH AND 400 SE 7TH
COVER SHEET

REFERENCE NUMBER:

DRAW BY:	BAW
DESIGNED BY:	CEB

REVISION DATE:

10/19/16	1ST SUB
11/22/16	2ND SUB
01/26/17	3RD SUB
02/23/17	4TH SUB
02/23/17	5TH SUB
11-08-2017	
12-07-2017	
1-5-2018	
8-04-2019	

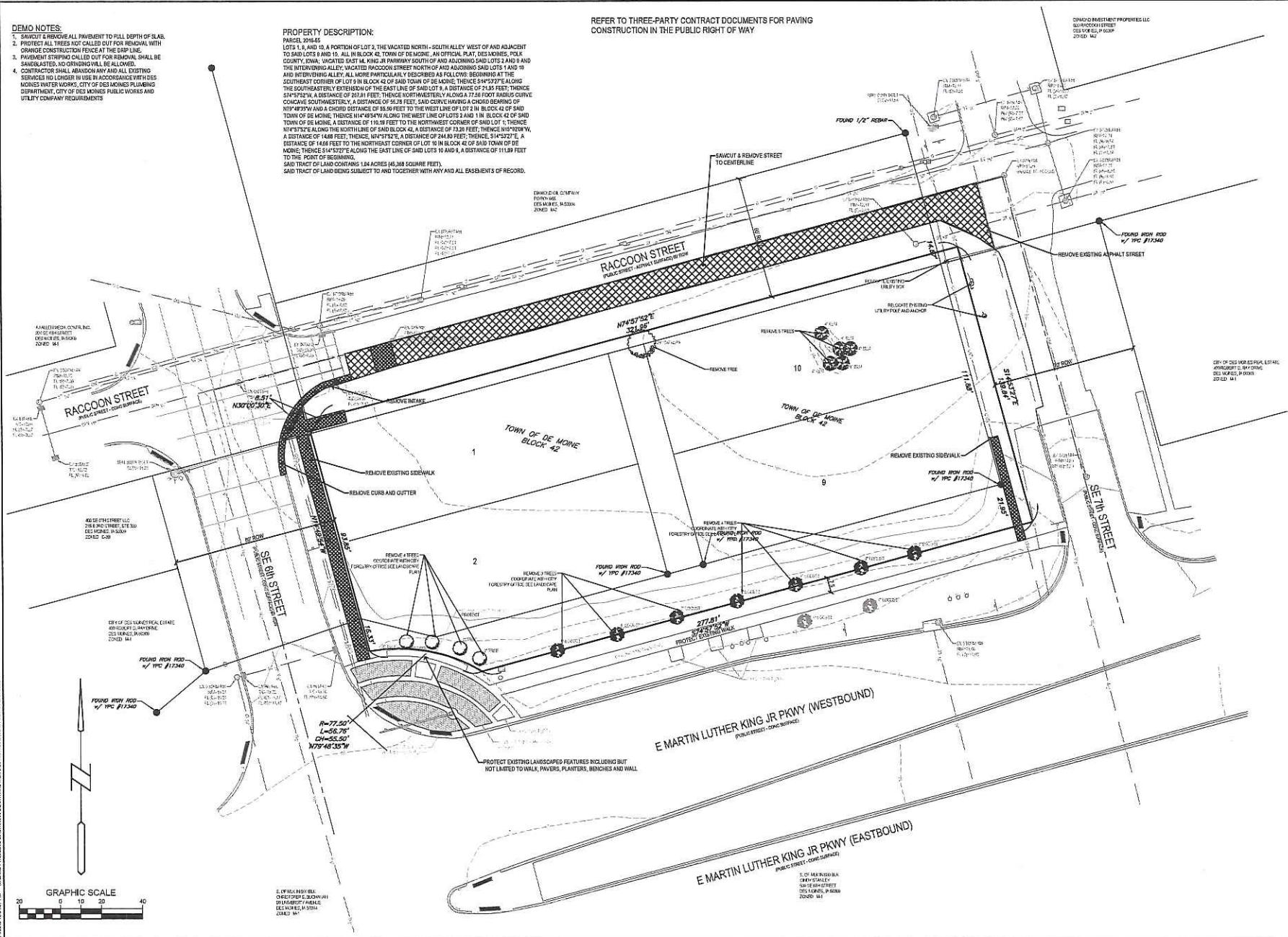
PROJECT NUMBER:
150568
 SHEET NUMBER:
C0.1

PRELIMINARY- NOT FOR CONSTRUCTION

DEMO NOTES:
 1. SAWCUT AND REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE CURB LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SAWCUT LATER. NO GRINDING WILL BE ALLOWED.
 4. CONTRACTOR SHALL REMOVE ANY AND ALL EXISTING SERVICES NO LONGER IN USE IN ACCORDANCE WITH THE NATIONAL WATER MAINS, CITY OF DES MOINES PLUMBING DEPARTMENT, CITY OF DES MOINES PUBLIC WORKS AND UTILITY COMPANY REQUIREMENTS.

PROPERTY DESCRIPTION:
 PARCEL 204040
 LOTS 1, 9, AND 10, A PORTION OF LOT 2, THE VACATED NORTH-SOUTH ALLEY WEST OF AND ADJACENT TO SAID LOTS 8 AND 10, ALL IN BLOCK 42, TOWN OF DE MOINE, AN OFFICIAL PLAT, DES MOINES, POLK COUNTY, IOWA, VACATED EAST 1/4 KING JR PARKWAY SOUTH OF AND ADJOINING SAID LOTS 2 AND 9 AND THE INTERVENING ALLEY, VACATED RACCOON STREET NORTH OF AND ADJOINING SAID LOTS 1 AND 10 AND INTERVENING ALLEY, ALL MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 9 IN BLOCK 42 OF SAID TOWN OF DE MOINE, THENCE S44°52'27"E ALONG THE SOUTHEASTERLY EXTENSION OF THE EAST LINE OF SAID LOT 1, A DISTANCE OF 71.85 FEET; THENCE S24°24'14"W, A DISTANCE OF 203.81 FEET; THENCE NORTHWESTERLY ALONG A 77.58 FOOT RADIIUS CURVE, CONCAVE SOUTHWESTERLY, A DISTANCE OF 58.78 FEET; SAID CURVE HAVING A CHORD BEARING OF N17°40'59"W, A CHORD DISTANCE OF 58.96 FEET TO THE WEST LINE OF LOT 2 IN BLOCK 42 OF SAID TOWN OF DE MOINE, THENCE N14°43'54"W ALONG THE WEST LINE OF LOTS 2 AND 1 IN BLOCK 42 OF SAID TOWN OF DE MOINE, A DISTANCE OF 116.98 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE NORTHWESTERLY ALONG THE NORTH LINE OF SAID BLOCK 42, A DISTANCE OF 52.30 FEET; THENCE N10°20'00"W, A DISTANCE OF 14.88 FEET; THENCE N4°21'52"E, A DISTANCE OF 244.83 FEET; THENCE S14°52'27"E, A DISTANCE OF 14.88 FEET TO THE NORTHEAST CORNER OF LOT 10 IN BLOCK 42 OF SAID TOWN OF DE MOINE; THENCE S14°52'27"E ALONG THE EAST LINE OF SAID LOTS 10 AND 9, A DISTANCE OF 111.89 FEET TO THE POINT OF BEGINNING.
 SAID TRACT OF LAND CONTAINS 1.84 ACRES (80,308 SQUARE FEET).
 SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD.

REFER TO THREE-PARTY CONTRACT DOCUMENTS FOR PAVING CONSTRUCTION IN THE PUBLIC RIGHT OF WAY

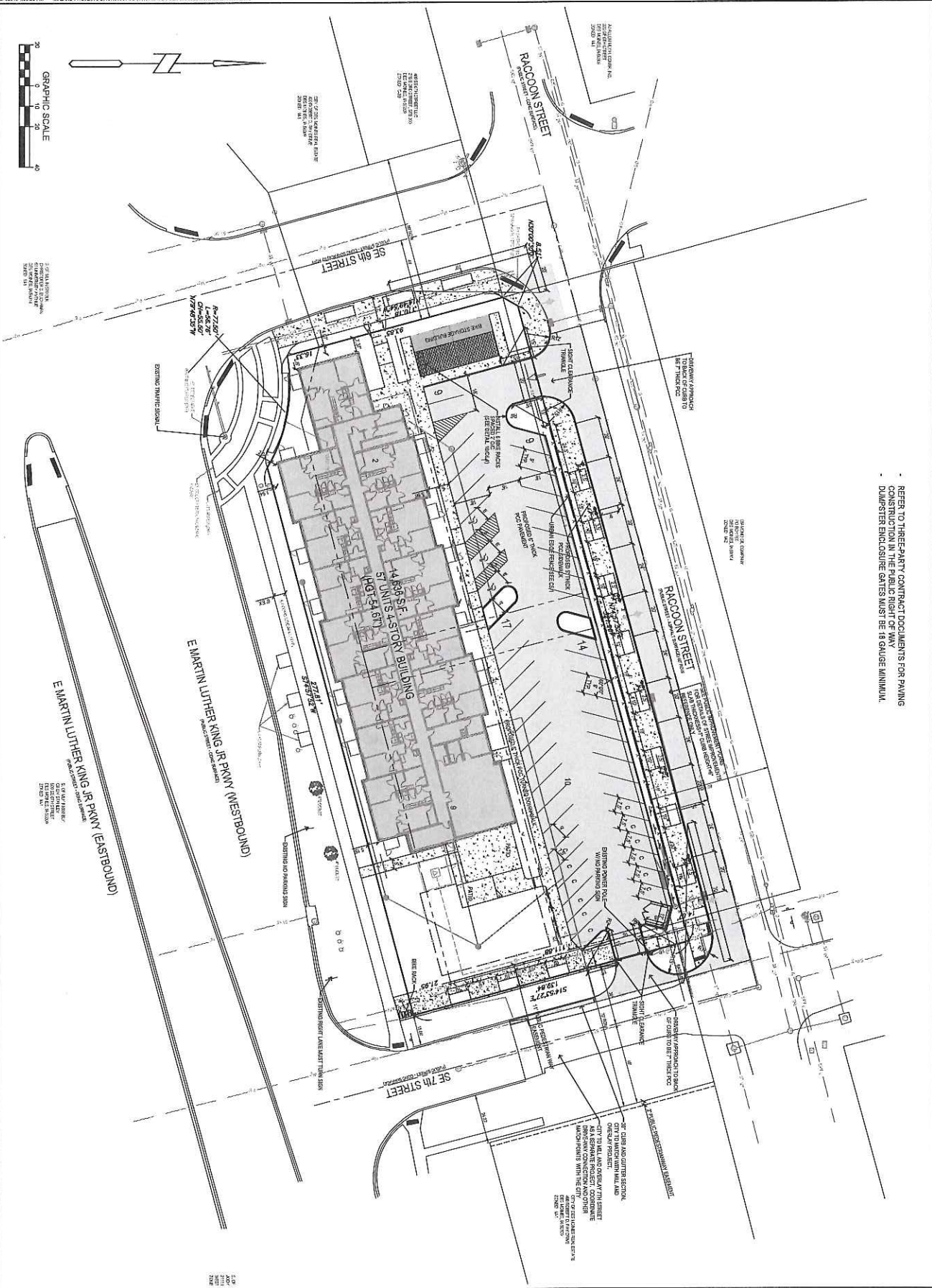


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 Civil Engineering & Land Surveying

CONNOLLY LOFTS
 401 SE 6TH AND 400 SE 7TH
 SITE SURVEY / DEMO PLAN

REFERENCE NUMBER:
 DRAWN BY:
 BA
 CHECKED BY:
 CE
 REVISION DATE:
 10/19/18 1ST SUB
 11/22/18 2ND SUB
 12/20/18 3RD SUB
 01/28/19 4TH SUB
 02/23/19 5TH SUB
 11-08-2017
 12-07-2017
 1-8-2018
 9-04-2019
 PROJECT NUMBER:
 150568
 SHEET NUMBER:
 C1.1

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REFER TO THREE-PARTY CONTRACT DOCUMENTS FOR PAVING CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY. DIMENSIONS ENCLOSED GATES MUST BE 16 GAUGE MINIMUM.

PROJECT NUMBER:	150568
SHEET NUMBER:	C2.1
DATE:	8-04-2018
DESIGNED BY:	10/22/18 SJB
CHECKED BY:	12/20/18 SJB
DATE:	02/23/17 SJB
DATE:	11-08-2017
DATE:	1-3-2018
DATE:	8-04-2018

CONNOLLY LOFTS
 401 SE 6TH AND 400 SE 7TH

LAYOUT PLAN

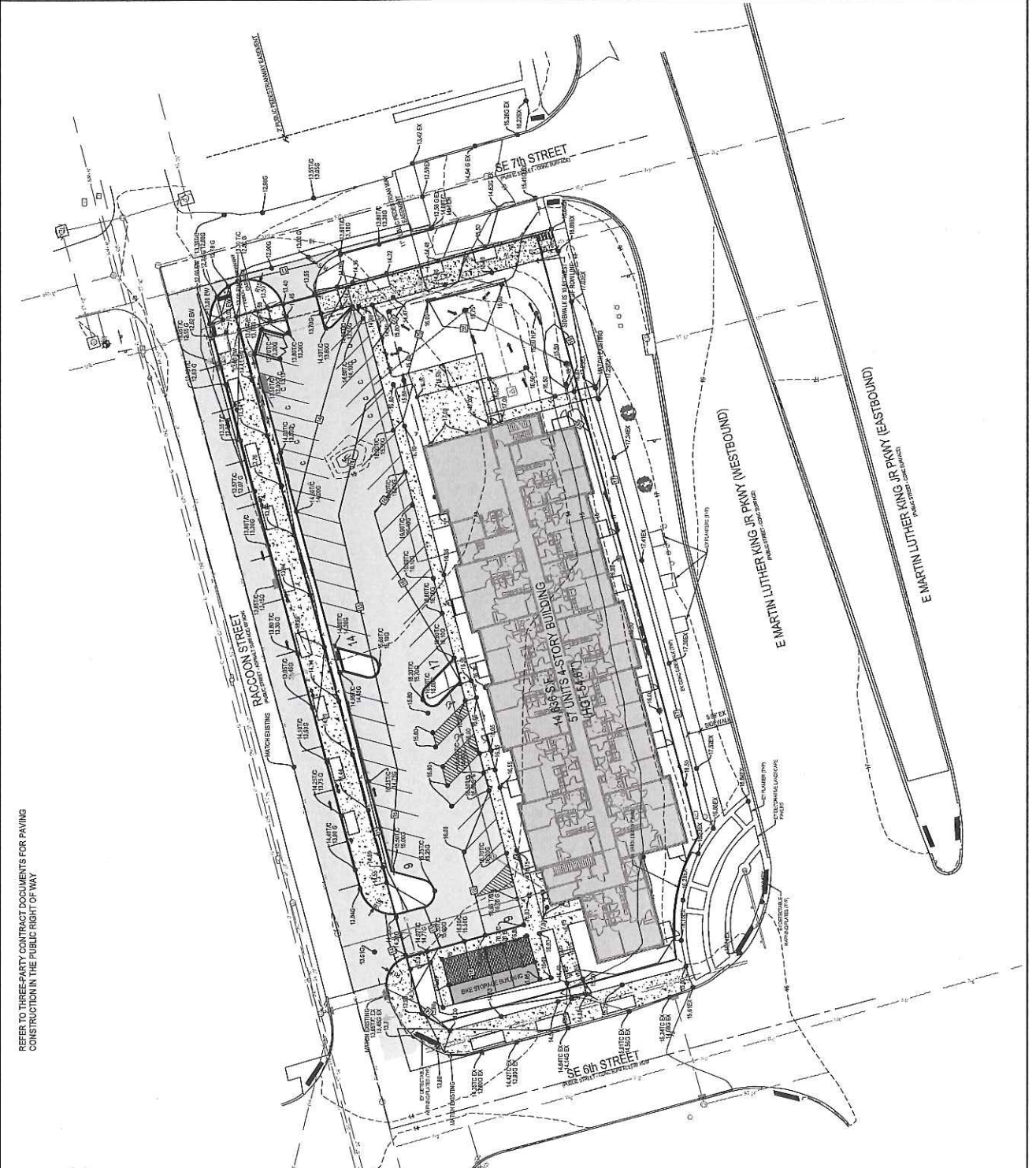
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- TOPSOIL NOTES:**
1. TOPSOIL TO BE 6" MIN. THICK ON ALL UNPAVED AREAS.
 2. REFER TO SPECIFICATIONS TO AGRICULTURAL TYPICAL WALL (SEE SHEET 100) FOR FURTHER INFORMATION.
 3. TOPSOIL SHALL BE FREE OF ALL ROCKS AND DEBRIS LARGER THAN 1/4" IN SIZE.
 4. TOPSOIL IS DEFINED AS FERTILE, FRANK LOAM, CAPABLE OF SUPPORTING ROOT GROWTH OF GRASSES AND PLANTS OF THE AREA.
 5. IN CASE OF ANY DISCREPANCIES, REFER TO THE ORIGINAL CONTRACT DOCUMENTS FOR FURTHER INFORMATION.
 6. REFER TO THE SPECIFICATIONS TO AGRICULTURAL TYPICAL WALL (SEE SHEET 100) FOR FURTHER INFORMATION.
 7. REFER TO THE SPECIFICATIONS TO AGRICULTURAL TYPICAL WALL (SEE SHEET 100) FOR FURTHER INFORMATION.
 8. REFER TO THE SPECIFICATIONS TO AGRICULTURAL TYPICAL WALL (SEE SHEET 100) FOR FURTHER INFORMATION.
 9. REFER TO THE SPECIFICATIONS TO AGRICULTURAL TYPICAL WALL (SEE SHEET 100) FOR FURTHER INFORMATION.
 10. REFER TO THE SPECIFICATIONS TO AGRICULTURAL TYPICAL WALL (SEE SHEET 100) FOR FURTHER INFORMATION.

REFER TO THREE-PARTY CONTRACT DOCUMENTS FOR PAVING CONSTRUCTION IN THE PUBLIC RIGHT OF WAY



GRADING LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FINISHED GROUND ELEVATION
- TOP OF CURB ELEVATION
- OUTLET ELEVATION
- BOTTOM OF WALL ELEVATION
- TOP OF WALL ELEVATION
- TOP OF FLOOR ELEVATION
- BOTTOM OF FLOOR ELEVATION

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

GRAPHIC SCALE

0 10 20 30

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CONNOLLY LOFTS
 401 SE 6TH AND 400 SE 7TH
GRADING PLAN

REFERENCE NUMBER:
 DRAWN BY: BA
 CHECKED BY: CB
 PROJECT NUMBER:
 150568
 SHEET NUMBER:
 C3.1

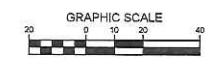
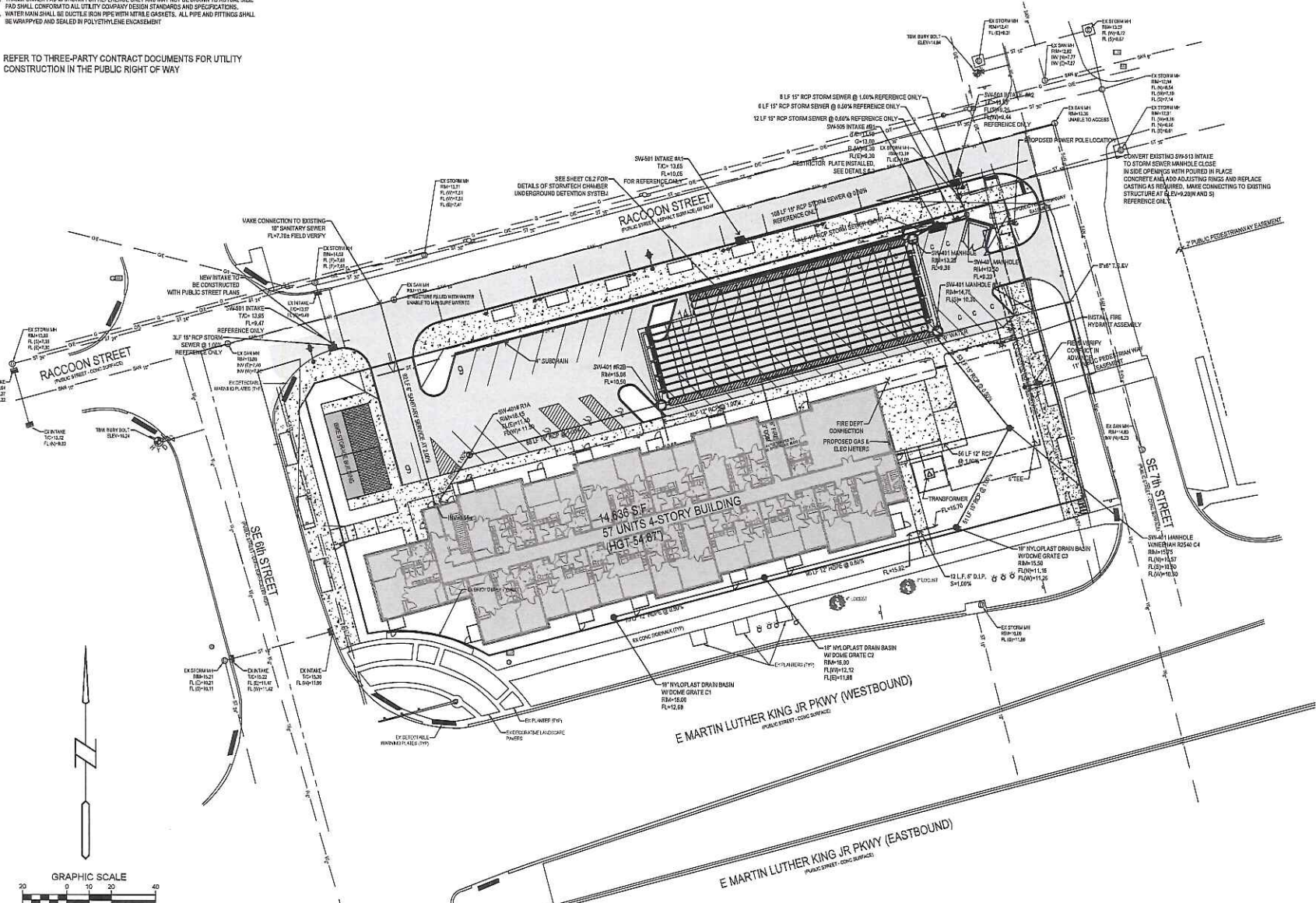
REVISION DATES:
 11/22/16 2ND SUB
 12/29/16 3RD SUB
 04/22/17 5TH SUB
 11-06-2017
 1-5-2018
 9-6-2018

PRELIMINARY- NOT FOR CONSTRUCTION

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- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.0' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP SHALL BE CLASS B RCP.
 6. STORM SEWER CALLED OUT AS 14-12 MAY BE EITHER 14" OR CLASS B RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP, FOR 14-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 9. WATER MAIN SHALL BE DUCTILE IRON PIPE WITH METRIC GASKETS. ALL PIPE AND FITTINGS SHALL BE WARMPIPED AND SEALED IN POLYETHYLENE ENCASEMENT.

REFER TO THREE-PARTY CONTRACT DOCUMENTS FOR UTILITY CONSTRUCTION IN THE PUBLIC RIGHT OF WAY



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CONNOLLY LOFTS
 401 SE 6TH AND 400 SE 7TH
UTILITY PLAN

REFERENCE NUMBER:	
DRAWN BY:	BA
CHECKED BY:	CB
REVISION DATE:	10/19/16 1ST SUB 11/22/16 2ND SUB 12/20/16 3RD SUB 01/26/17 4TH SUB 02/23/17 5TH SUB 11-08-2017 12-07-2017 1-8-2018 9-04-2018
PROJECT NUMBER:	150568
SHEET NUMBER:	C4.1

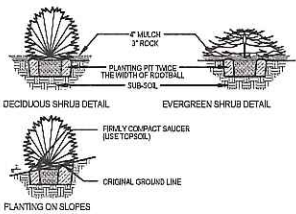
PRELIMINARY - NOT FOR CONSTRUCTION

LANDSCAPE NOTES:

1. ALL SOODING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOO ALL UNDISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE, SOO LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STATE SOO ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNERS REPRESENTATIVE.
8. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE FOOTBALL OF STREET TREES PRIOR TO PLANTING.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
12. ALL EDGING SHALL BE DURABLE 4" STEEL EDGING - COLOR GREEN, OR APPROVED EQUAL.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
14. ALL SHRUBS AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
15. BEDS REQUIRING ROCK SHALL INCORPORATE TYPAR 3801 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 2" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
16. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

TREE TRANSPLANTING NOTES:

PRIOR TO REMOVING ANY OF THE EXISTING HOME/COMMUNITY TREES ALONG M.A. BOULEVARD, CONTRACTOR SHALL CONTACT THE CITY OF DES MOINES ARBORIST AT 573-6416 IN ORDER TO DEVELOP AN ACCEPTABLE TREE MOVING PLAN. SAID PLAN SHALL DETAIL METHODS OF TRANSPLANT, WARRANTIES FOR THE TREES TO BE MOVED, AND PROPOSED LOCATION FOR THE TREES. TREES ARE TO BE RELOCATED ALONG M.A. FINAL LOCATIONS TO BE AGREED UPON BETWEEN OWNER AND CITY STAFF.



SHRUB PLANTING (TYP)
SCALE: NOT TO SCALE

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
HR	5	ALEXANDER HOP HORSEBEAN	DESPIRA VIRGATA	3.0" CAL.	B&B	MATCHED SPECIMENS
HR	3	COMMON HAZELBERRY	CELASTRO OCCIDENTALIS	2.5" CAL.	B&B	MATCHED SPECIMENS
SH	5	BRONZE FERNWOOD	CECOPHYA THYRSIFLORA 'NORWEGIAN SKIRLAK'	3.0" CAL.	B&B	MATCHED SPECIMENS
EO	3	ENGLISH OAK	QUERCUS ROBUR	3.0" CAL.	B&B	MATCHED SPECIMENS
RO	5	RED OAK	QUERCUS RUBRA	2.5" CAL.	B&B	MATCHED SPECIMENS
RF	2	FOURLEAF CLOVER	TRIFOLIUM REPENS 'FOLIUM'	1.5" CAL.	B&B	MATCHED SPECIMENS
BN	3	BLACK HILLS SPRUCE	PICEA MILLERIANA	6"	B&B	FULL FORM TO GROUND
CS	2	COLONIAL SPRUCE	PICEA MARMILANDICA	6"	B&B	FULL FORM TO GROUND
HR	27	RUBY SPICE C. ETHERIA	CESTRUM ALAUCOLA 'RUBY SPICE'	#1	CONT	FULL FORM - MATCHED
LL	9	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'LIME LIGHT'	#2	CONT	FULL FORM - MATCHED
LL	9	TRIPLE FLOWER LILAC	SYRIACA MOPAN 'TRIPLE FLOWER'	#2	CONT	FULL FORM - MATCHED
SK	4	MISSOURI LILAC	SYRIACA PATULA 'MISSOURI'	#2	CONT	FULL FORM - MATCHED
DY	11	BENSON'S YEW	TAXUS MEDIA 'BENSON'S'	36"	B&B	FULL FORM - MATCHED
TY	25	YALE YEW	TAXUS MEDIA 'YALE YEW'	36"	B&B	FULL FORM - MATCHED
DY	13	DWARF EMERALD YEW	TAXUS MEDIA 'EMERALD YEW'	36"	B&B	FULL FORM - MATCHED
WR	4	WIRE AND BURLAP WEDGELA	WEDGELA FLOREALE 'ANGELUS'	#5	CONT	FULL FORM - MATCHED
WR	4	WIRE AND BURLAP WEDGELA	WEDGELA FLOREALE 'ANGELUS'	#5	CONT	FULL FORM - MATCHED
GL	28	GRAND LORNAE	ROSEMOYNIUM 'GRAND LORNAE'	#5	CONT	FULL FORM - MATCHED
EA	3	EMERALD GREEN ARBORETAE	TRIFOLIUM OCCIDENTALIS 'EMERALD GREEN'	#5	CONT	FULL FORM - MATCHED
PC	11	DWARF ALBERTA SPRUCE	PICEA ALBERTA 'DWARF ALBERTA'	#5	CONT	FULL FORM - MATCHED
LE	5	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'LIME LIGHT'	#5	CONT	FULL FORM - MATCHED
SS	12	SPENHARDT'S SWISS ORNAMENT	PAVONIA VESICATA 'SPENHARDT'S'	#1	CONT	FULLY ROOTED IN CONTAINER
TH	45	THYTED HAZEL	COSSYPIUM COCAUTUM	#1	CONT	FULLY ROOTED IN CONTAINER
MS	8	MADON ORNAMENT	ASOTRIFOLIUM 'MADON ORNAMENT'	#1	CONT	FULLY ROOTED IN CONTAINER
LB	158	LITTLE BLUESTEM	SCIRPUS PASTORIS 'LITTLE BLUESTEM'	#1	CONT	FULLY ROOTED IN CONTAINER
RF	15	FOURLEAF CLOVER	TRIFOLIUM REPENS 'FOLIUM'	#1	CONT	FULLY ROOTED IN CONTAINER
BZ	50	BLUE ZINER SEDGE	CAREX FLACCIDA 'BLUE ZINER'	#1	CONT	FULLY ROOTED IN CONTAINER
SO	19	SOO OATS GRAMAHA	BISETULA CURVIPENDULA	#1	CONT	FULLY ROOTED IN CONTAINER

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA, IOWA REGISTRATION NO. 449.
BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2020



LANDSCAPE REQUIREMENTS:

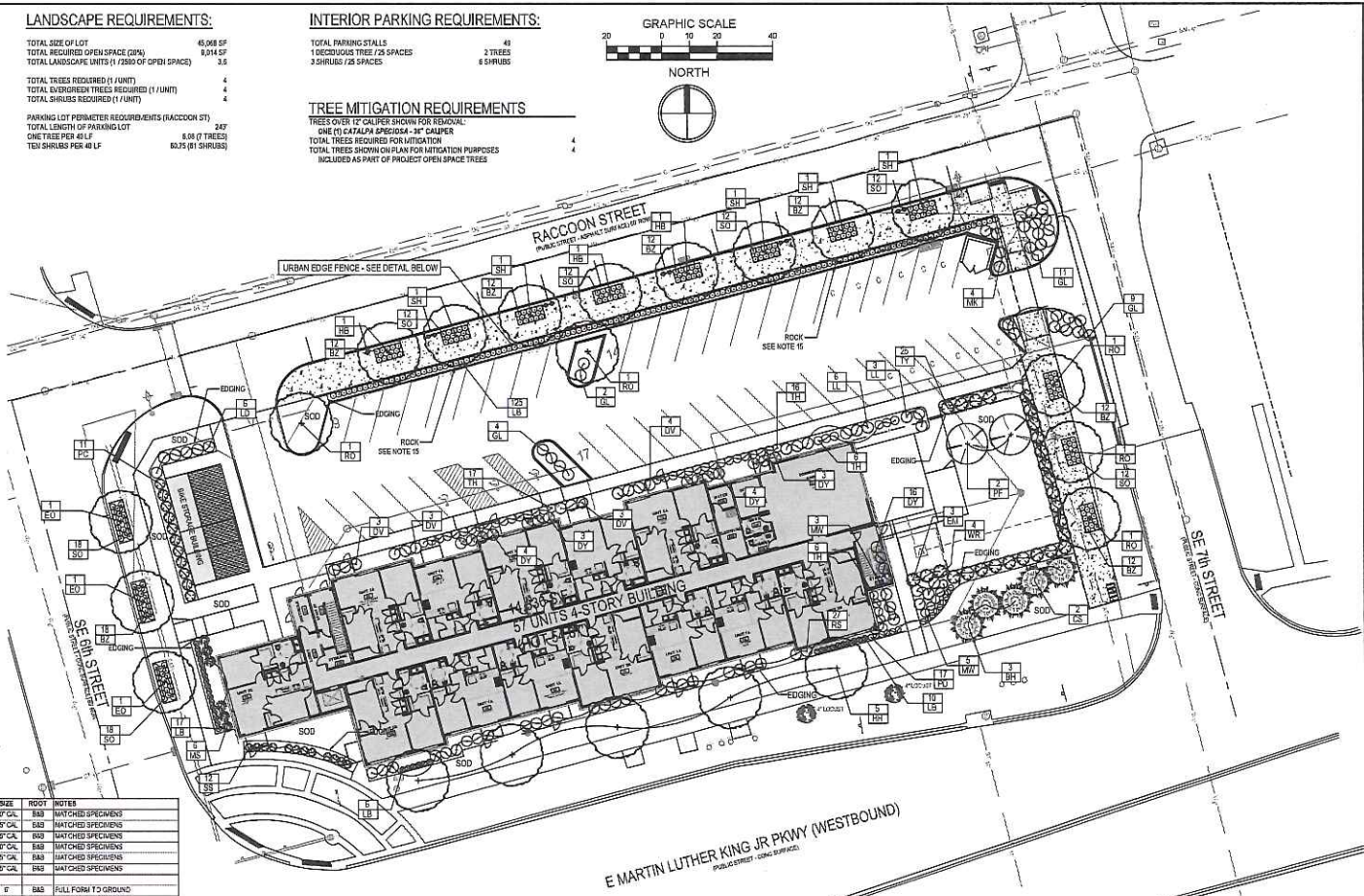
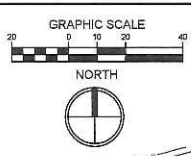
TOTAL SIZE OF LOT: 45,000 SF
TOTAL REQUIRED OPEN SPACE (20%): 9,000 SF
TOTAL LANDSCAPE UNITS (1/2500 OF OPEN SPACE): 3.6
TOTAL TREES REQUIRED (1 UNIT): 4
TOTAL EVERGREEN TREES REQUIRED (1/1 UNIT): 4
TOTAL SHRUBS REQUIRED (1/1 UNIT): 4
PARKING LOT PERIMETER REQUIREMENTS (ACCORD TO): 247
ONE TREE PER 400: 6.0 (0 TREES)
TEN SHRUBS PER 400: 60.2 (61 SHRUBS)

INTERIOR PARKING REQUIREMENTS:

TOTAL PARKING STALLS: 48
1 DECIDUOUS TREE / 25 SPACES: 2 TREES
3 SHRUBS / 25 SPACES: 8 SHRUBS

TREE MITIGATION REQUIREMENTS

TREES OVER 1" CALIPER SHOWN FOR REMOVAL:
ONE (1) CATALPA SPECIOSA - 1" CALIPER
TOTAL TREES REQUIRED FOR MITIGATION:
TOTAL TREES SHOWN ON PLAN FOR MITIGATION PURPOSES INCLUDED AS PART OF PROJECT OPEN SPACE TREES

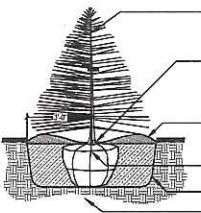


BASIS FOR DESIGN / BIDDING:

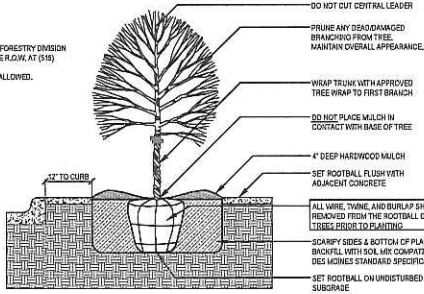
- AMERSTAR MORTGAGE FENCE
- APPROX. 300 LINEAR FEET TOTAL
- 3" OVERALL HEIGHT
- MAJESTIC 4" TALL STYLES AS SHOWN
- 4" AIR GAP
- COLOR - BLACK
- INSTALL PER MANUFACTURER'S SPECIFICATIONS

FOR ADDITIONAL INFORMATION, CONTACT:
AMERSTAR FENCE
PHONE: 888-333-2422
ONLINE: AMERSTARFENCE.COM

URBAN EDGE FENCE
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)
SCALE: NOT TO SCALE



DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE

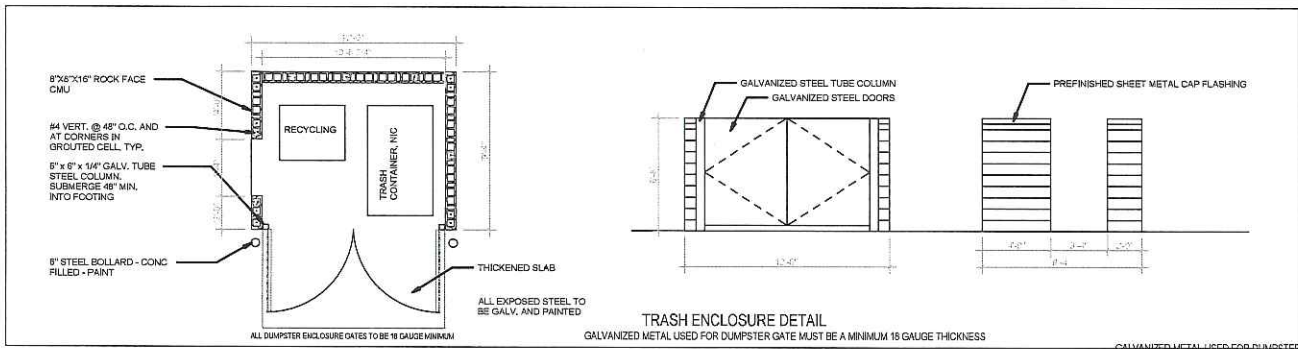
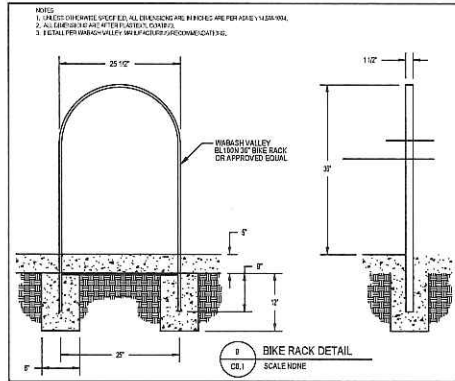
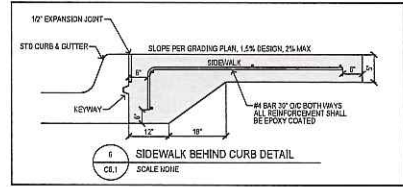
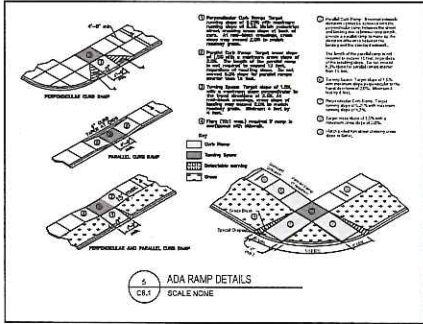
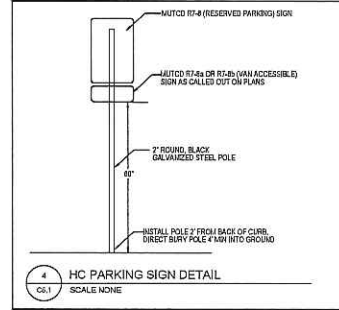
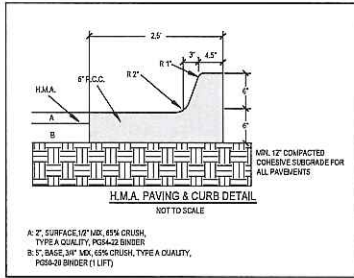
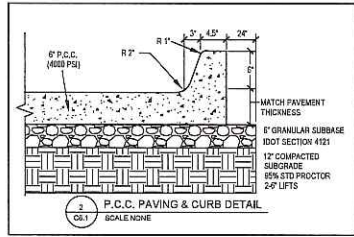
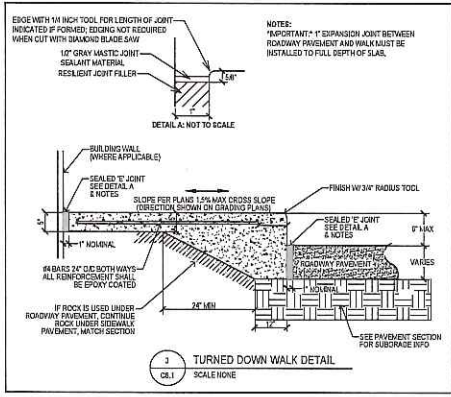
Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50323-8837
P: 515-281-8700 F: 515-281-8707
Established 1959
Civil Engineering & Land Surveying

CONNOLLY LOFTS
401 SE 6TH AND 400 SE 7TH

LANDSCAPE PLAN

REFERENCE NUMBER:
DRAWN BY: BA
CHECKED BY: CB
REVISION DATE:
10/19/16 1ST SUB
11/22/16 2ND SUB
12/20/16 3RD SUB
01/28/17 4TH SUB
02/23/17 5TH SUB
11-08-2017
12-07-2017
1-5-2018
9-04-2018
PROJECT NUMBER:
150568
SHEET NUMBER:
C5.1

14 AND PROJECTS 2016/150189 SE 7TH AND 400 SE 7TH (SEE LOCATION MAP ATTACHED)



Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50323-3635
Phone: 652.7649 Fax: 652.765.017
Civil Engineering & Land Surveying Established 1959


CONNOLLY LOFTS
401 SE 6TH AND 400 SE 7TH
DETAILS SHEET

REFERENCE NUMBER:	
DRAWN BY:	BA
CHECKED BY:	CB
REVISION DATE:	10/19/18 1ST SUB 11/22/18 2ND SUB 12/20/18 3RD SUB 01/28/19 4TH SUB 02/23/19 5TH SUB 11-08-2017 12-07-2017 1-5-2018 8-04-2018
PROJECT NUMBER:	150568
SHEET NUMBER:	C6.1

ALL PROJECTS 2018/2025 SE 6TH AND 400 SE 7TH CONSTRUCTION PERMITS ONLY


PROJECT INFORMATION

Project Name: CONNOLLY LOFTS
 Location: DES MOINES - IA
 Date: 02/23/17
 Drawing No: SW-505-#B1



ADVANCED DRAINAGE SYSTEMS, INC.

CONNOLLY LOFTS
DES MOINES - IA



STORMWATER CHAMBER SPECIFICATIONS

IMPORTANT: VERIFY THE FITTING AND INSTALLATION OF THE STORMWATER SYSTEM

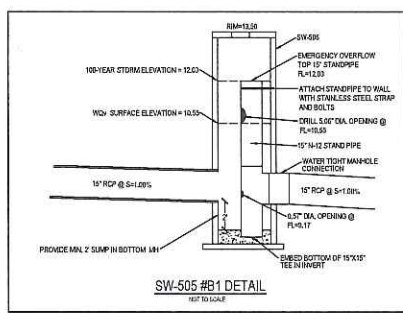
1. VERIFY THE FITTING AND INSTALLATION OF THE STORMWATER SYSTEM
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20. VERIFY THE FITTING AND INSTALLATION OF THE STORMWATER SYSTEM

NOTES FOR CONSTRUCTION EQUIPMENT

1. VERIFY THE FITTING AND INSTALLATION OF THE STORMWATER SYSTEM
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20. VERIFY THE FITTING AND INSTALLATION OF THE STORMWATER SYSTEM

Sheet: SW-505-#B1

Station	Flow	Velocity	Depth	Time	Volume
1+00	100	1.5	1.0	1.0	100
1+10	100	1.5	1.0	1.0	100
1+20	100	1.5	1.0	1.0	100
1+30	100	1.5	1.0	1.0	100
1+40	100	1.5	1.0	1.0	100
1+50	100	1.5	1.0	1.0	100
1+60	100	1.5	1.0	1.0	100
1+70	100	1.5	1.0	1.0	100
1+80	100	1.5	1.0	1.0	100
1+90	100	1.5	1.0	1.0	100
2+00	100	1.5	1.0	1.0	100
2+10	100	1.5	1.0	1.0	100
2+20	100	1.5	1.0	1.0	100
2+30	100	1.5	1.0	1.0	100
2+40	100	1.5	1.0	1.0	100
2+50	100	1.5	1.0	1.0	100
2+60	100	1.5	1.0	1.0	100
2+70	100	1.5	1.0	1.0	100
2+80	100	1.5	1.0	1.0	100
2+90	100	1.5	1.0	1.0	100
3+00	100	1.5	1.0	1.0	100
3+10	100	1.5	1.0	1.0	100
3+20	100	1.5	1.0	1.0	100
3+30	100	1.5	1.0	1.0	100
3+40	100	1.5	1.0	1.0	100
3+50	100	1.5	1.0	1.0	100
3+60	100	1.5	1.0	1.0	100
3+70	100	1.5	1.0	1.0	100
3+80	100	1.5	1.0	1.0	100
3+90	100	1.5	1.0	1.0	100
4+00	100	1.5	1.0	1.0	100
4+10	100	1.5	1.0	1.0	100
4+20	100	1.5	1.0	1.0	100
4+30	100	1.5	1.0	1.0	100
4+40	100	1.5	1.0	1.0	100
4+50	100	1.5	1.0	1.0	100
4+60	100	1.5	1.0	1.0	100
4+70	100	1.5	1.0	1.0	100
4+80	100	1.5	1.0	1.0	100
4+90	100	1.5	1.0	1.0	100
5+00	100	1.5	1.0	1.0	100
5+10	100	1.5	1.0	1.0	100
5+20	100	1.5	1.0	1.0	100
5+30	100	1.5	1.0	1.0	100
5+40	100	1.5	1.0	1.0	100
5+50	100	1.5	1.0	1.0	100
5+60	100	1.5	1.0	1.0	100
5+70	100	1.5	1.0	1.0	100
5+80	100	1.5	1.0	1.0	100
5+90	100	1.5	1.0	1.0	100
6+00	100	1.5	1.0	1.0	100
6+10	100	1.5	1.0	1.0	100
6+20	100	1.5	1.0	1.0	100
6+30	100	1.5	1.0	1.0	100
6+40	100	1.5	1.0	1.0	100
6+50	100	1.5	1.0	1.0	100
6+60	100	1.5	1.0	1.0	100
6+70	100	1.5	1.0	1.0	100
6+80	100	1.5	1.0	1.0	100
6+90	100	1.5	1.0	1.0	100
7+00	100	1.5	1.0	1.0	100
7+10	100	1.5	1.0	1.0	100
7+20	100	1.5	1.0	1.0	100
7+30	100	1.5	1.0	1.0	100
7+40	100	1.5	1.0	1.0	100
7+50	100	1.5	1.0	1.0	100
7+60	100	1.5	1.0	1.0	100
7+70	100	1.5	1.0	1.0	100
7+80	100	1.5	1.0	1.0	100
7+90	100	1.5	1.0	1.0	100
8+00	100	1.5	1.0	1.0	100
8+10	100	1.5	1.0	1.0	100
8+20	100	1.5	1.0	1.0	100
8+30	100	1.5	1.0	1.0	100
8+40	100	1.5	1.0	1.0	100
8+50	100	1.5	1.0	1.0	100
8+60	100	1.5	1.0	1.0	100
8+70	100	1.5	1.0	1.0	100
8+80	100	1.5	1.0	1.0	100
8+90	100	1.5	1.0	1.0	100
9+00	100	1.5	1.0	1.0	100
9+10	100	1.5	1.0	1.0	100
9+20	100	1.5	1.0	1.0	100
9+30	100	1.5	1.0	1.0	100
9+40	100	1.5	1.0	1.0	100
9+50	100	1.5	1.0	1.0	100
9+60	100	1.5	1.0	1.0	100
9+70	100	1.5	1.0	1.0	100
9+80	100	1.5	1.0	1.0	100
9+90	100	1.5	1.0	1.0	100
10+00	100	1.5	1.0	1.0	100



City Code Section 105-130(3) Land Owner Manager
Stormwater Facilities Maintenance Requirements

All stormwater management facilities, including pipes, ditches and culverts, shall be routinely inspected and maintained in substantial compliance with the approved Stormwater Management Plan.

Structures, culverts and ditches shall be promptly removed from such facilities.

Culvert plantings and vegetation within the Stormwater Management Facilities shall be maintained in accordance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the weather permits.

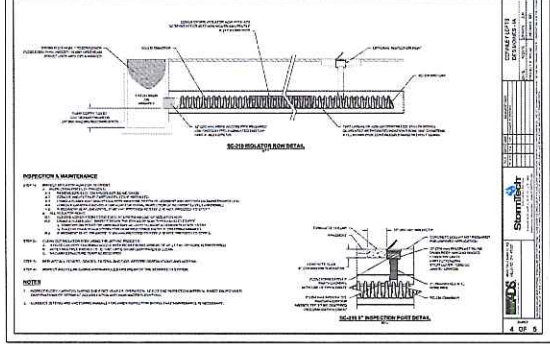
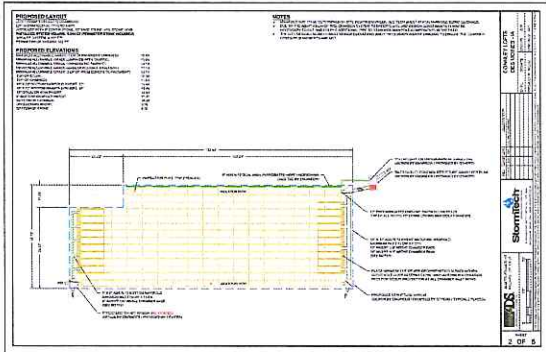
Other grass, shrubs, trees or other plants, soil, rocks, concrete, or similar materials, shall be placed within a culvert, or retention or detention pond without the plan written consent of the City Engineer.

Each portion of the Stormwater Management Facilities shall be altered or removed without the plan written consent of the City Engineer.

Excesses of sediments, siltation and trash must be maintained and kept for at least five years and made available upon request to the City Engineer.

City Engineer shall inspect the facilities annually. When sediment is found to be approximately 2 inches in depth, clean the entire facility flow with JetVac as per Stormtech recommendations.

DESIGN VOLUMES
 100 YEAR STORM: 3.04 CF
 100 YEAR STORM ELEVATION +12.00
 100 YEAR STORM VOLUMES: 9.80
 100 YEAR STORM ELEVATION: 12.00
 BASIN BOTTOM ELEVATION: 5.44

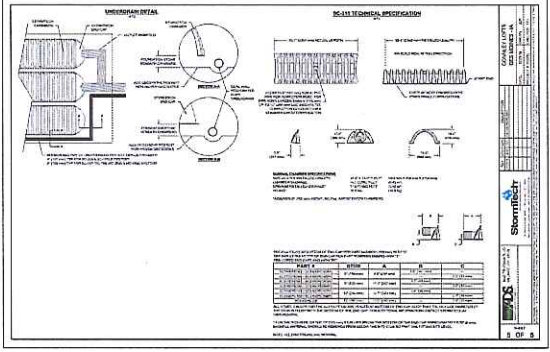


ACCEPTABLE FILL MATERIALS- STORMTECH SC-18 CHAMBER SYSTEM

MATERIAL LOCATION	DESCRIPTION	ACCEPTED MATERIALS/ CONSTRUCTION	CONSTRUCTION TOLERANCE/ REQUIREMENTS
1. Chamber walls	Concrete	Concrete	±0.05
2. Chamber floor	Concrete	Concrete	±0.05
3. Chamber walls	Concrete	Concrete	±0.05
4. Chamber floor	Concrete	Concrete	±0.05
5. Chamber walls	Concrete	Concrete	±0.05
6. Chamber floor	Concrete	Concrete	±0.05
7. Chamber walls	Concrete	Concrete	±0.05
8. Chamber floor	Concrete	Concrete	±0.05
9. Chamber walls	Concrete	Concrete	±0.05
10. Chamber floor	Concrete	Concrete	±0.05
11. Chamber walls	Concrete	Concrete	±0.05
12. Chamber floor	Concrete	Concrete	±0.05
13. Chamber walls	Concrete	Concrete	±0.05
14. Chamber floor	Concrete	Concrete	±0.05
15. Chamber walls	Concrete	Concrete	±0.05
16. Chamber floor	Concrete	Concrete	±0.05
17. Chamber walls	Concrete	Concrete	±0.05
18. Chamber floor	Concrete	Concrete	±0.05
19. Chamber walls	Concrete	Concrete	±0.05
20. Chamber floor	Concrete	Concrete	±0.05

NOTES:

1. Verify the fit and finish of the chamber walls and floor.
2. Verify the fit and finish of the chamber walls and floor.
3. Verify the fit and finish of the chamber walls and floor.
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18. Verify the fit and finish of the chamber walls and floor.
19. Verify the fit and finish of the chamber walls and floor.
20. Verify the fit and finish of the chamber walls and floor.



Bishop Engineering
 Planning Your Successful Development

1801 104th Street
 Des Moines, Iowa 50323-2025
 Phone: (515)724-6707 Fax: (515)724-6117
 Civil Engineering & Land Surveying

CONNOLLY LOFTS
 401 SE 6TH AND 400 SE 7TH

STORMWATER DETAILS SHEET

REFERENCE NUMBER:
 BA

DRAWN BY:
 CB

CHECKED BY:
 CB

REVISION DATE:

10/16/16	1ST SUB
11/25/16	2ND SUB
12/20/16	3RD SUB
01/25/17	4TH SUB
02/23/17	5TH SUB
11-08-2017	
12-07-2017	
1-5-2018	
9-04-2019	

PROJECT NUMBER:
 150568

SHEET NUMBER:
 C6.2

STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:

P#ANCEL 201656
 LOTS 1, 2, AND 10, A PORTION OF LOT 2, THE VACATED NORTH-SOUTH ALLEY WEST OF AND ADJACENT TO SAID LOTS 1 AND 10, ALL IN BLOCK 42, TOWN OF DES MOINE, AN OFFICIAL PLAT, DES MOINES, POLK COUNTY, IOWA, VACATED EAST 14. INDIAN PARKWAY SOUTH OF AND ADJOINING SAID LOTS 1 AND 10 AND THE INTERVENEING ALLEY, VACATED RACCOON STREET NORTH OF AND ADJOINING SAID LOTS 1 AND 10 AND INTERVENEING ALLEY, ALL MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 9 IN BLOCK 42 OF SAID TOWN OF DES MOINE, THENCE S14°52'27"E ALONG THE SOUTHEASTERLY EXTENSION OF THE EAST LINE OF SAID LOT 4, A DISTANCE OF 21.85 FEET, THENCE S74°17'52"W, A DISTANCE OF 20.31 FEET, THENCE NORTHWESTERLY ALONG A 77.50 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY, A DISTANCE OF 56.76 FEET, SAID CURVE HAVING A CHORD BEARING OF N7°48'18"W AND A CHORD DISTANCE OF 56.69 FEET TO THE WEST LINE OF LOT 2 IN BLOCK 42 OF SAID TOWN OF DES MOINE, THENCE N14°49'54"W ALONG THE WEST LINE OF LOTS 2 AND 10, BLOCK 42 OF SAID TOWN OF DES MOINE, A DISTANCE OF 110.18 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, THENCE N84°32'27"E ALONG THE NORTH LINE OF SAID BLOCK 42, A DISTANCE OF 73.20 FEET, THENCE N1°02'00"W, A DISTANCE OF 14.68 FEET, THERE, N7°32'27"E, A DISTANCE OF 14.68 FEET, THENCE S14°52'27"E, A DISTANCE OF 14.68 FEET TO THE NORTHWEST CORNER OF LOT 10 IN BLOCK 42 OF SAID TOWN OF DES MOINE, THENCE S14°52'27"E ALONG THE EAST LINE OF SAID LOTS 10 AND 8, A DISTANCE OF 111.89 FEET TO THE POINT OF BEGINNING, SAID TRACT OF LAND CONTAINS 1.84 ACRES ± 45.20 SQUARE FEET.

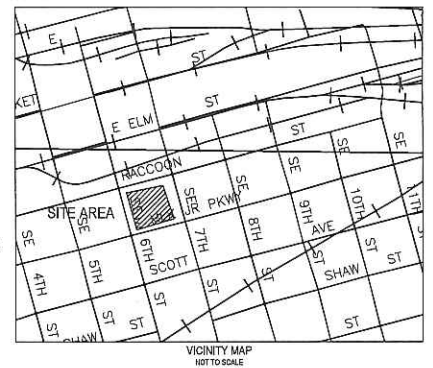
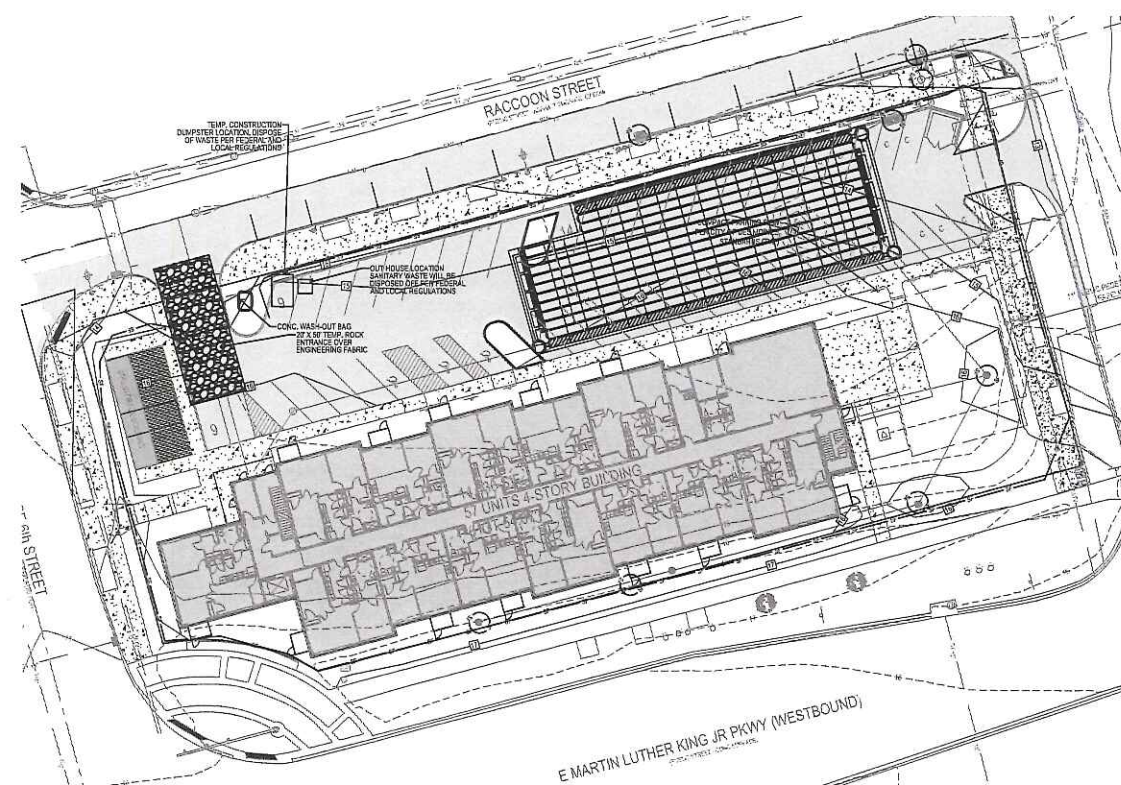
ADDRESS:
 401 SE 6TH AND 400 SE 7TH
 DES MOINE, IOWA

OWNER:
 HERVEY PROPERTY MANAGEMENT
 736 FOSTER DR
 DES MOINES, IOWA 50312
 (515) 214-4482

SITE AREA:
 TOTAL AREA=44,089 SF
 DISTURBED AREA=4,389 S.F.

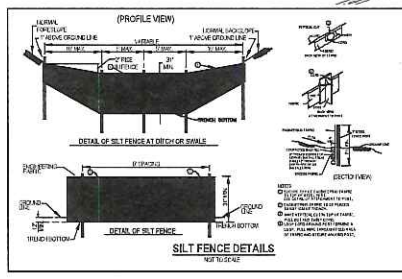
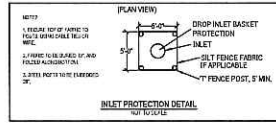
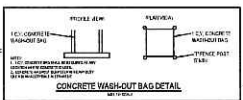
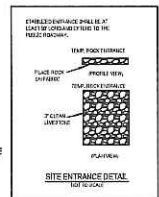
BENCHMARK:
 CITY OF DM BM #5572 - SW CORNER TRAFFIC SIGNAL
 BASE ELEVATION = 16.46'
 CITY OF DM BM #5572 - NW CORNER TRAFFIC SIGNAL
 BASE ELEVATION = 16.46'

STACKPILE AREA OFFSITE



- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORMWATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTES. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL BE USED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY, DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO.2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INLET PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY PROTECTION FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
 - INSTALL INTERNAL BASKETS ON INTAKE STRUCTURES WHEN PAVING IS COMPLETE.
 - ALL SOIL STOCKPILES ARE LOCATED OFFSITE.
- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO SILT FENCE, INLET PROTECTION, AND TEMPORARY STOCKPILES.

- LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SILT FENCE
 - SAW - SANITARY SEWER
 - ST - STORM SEWER
 - W - WATER LINE
 - CS - GAS LINE
 - UE - UNDERGROUND ELECTRIC
 - OE - OVERHEAD ELECTRIC
 - TELE - TELEPHONE LINE
 - FB - FIBER OPTIC
 - CAV - CABLE TV
 - STORM MAINHOLE
 - CURB INTAKE
 - SURFACE INTAKE
 - FLARED BIO SECTION
 - SANITARY MAINHOLE
 - CLEANDIT
 - FIRE HYDRANT
 - SPRINKLER
 - IRRIGATION CONTROL VALVE
 - WATER MAINHOLE
 - WELL
 - WATER VALVE
 - WATER SHUT OFF
 - WARD HYDRANT
 - ELECTRIC MAINHOLE
 - ELECTRIC METER
 - ELECTRIC RISER
 - ELECTRIC VALVE
 - POWER POLE
 - TRANSFORMER POLE
 - LIGHT POLE
 - ELECTRIC JUNCTION BOX
 - ELECTRIC PANEL
 - TRANSFORMER
 - GROUND LIGHT
 - ODP WIRE
 - ELECTRIC MAINHOLE
 - GAS METER
 - GAS VALVE
 - AIR CONDITIONING UNIT
 - TELEPHONE RISER
 - TELEPHONE VALVE
 - TELEPHONE MAINHOLE
 - TELEPHONE SIGNAL MAINHOLE
 - FIBER OPTIC RISER
 - FIBER OPTIC FAULT
 - CABLE TV RISER
 - SIGN



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-8015
 Phone: (515) 276-6467 Fax: (515) 276-4177
 Civil Engineering & Land Surveying
 Established 1959

CONNOLLY LOFTS
 401 SE 6TH AND 400 SE 7TH
SWPPP

REFERENCE NUMBER:	
DRAWN BY:	BA
CHECKED BY:	CB
REVISION DATE:	10/19/18 1ST SUB
	11/22/18 2ND SUB
	12/20/18 3RD SUB
	01/28/17 4TH SUB
	02/23/17 5TH SUB
	11-08-2017
	12-07-2017
	1-5-2018
	9-04-2019
PROJECT NUMBER:	150568
SHEET NUMBER:	C7.1

