



**Roll Call Number**

**Agenda Item Number**

29 A

Date January 13, 2020

**RECEIVE AND FILE COMMUNICATION FROM THE  
PLAN AND ZONING COMMISSION REGARDING  
PRELIMINARY PLAT "LEVEL" ON PROPERTY LOCATED  
AT 220 MAPLE STREET**

**WHEREAS**, on December 19, 2019, the City of Des Moines Plan and Zoning Commission voted 12-0 for **APPROVAL** of a Preliminary Plat "Level" on property located at 220 Maple Street, owned by Bridge District II, L.L.C., represented by Kris Sadoris (officer), to allow Outlot C of Bridge District Plat 2 to be re-platted as a development lot, subject to:

1. Compliance with all administrative review comments of the City's Permit and Development Center; and
2. Provision of all necessary pedestrian and vehicular cross access easements.

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, that the attached communication from the City Plan and Zoning Commission is hereby received and filed.

MOVED by \_\_\_\_\_ to receive and file.

FORM APPROVED:

  
 \_\_\_\_\_  
 Judy K. Parks-Kruse  
 Assistant City Attorney

(13-2020-1.25)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED APPROVED

**CERTIFICATE**

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

January 7, 2020

Honorable Mayor and City Council  
City of Des Moines, Iowa

Date 1/13/20  
Agenda Item 29A  
Roll Call # \_\_\_\_\_

Members:

Communication from the City Plan and Zoning Commission advising that at their meeting held December 19, 2019 the following action was taken regarding a request from Bridge District II, LLC (owner) represented by Kris Sadoris (officer) for review and approval of the following for property located at 220 Maple Street: A) Review and approval of a Preliminary Plat "Level" to allow Outlot C of Bridge District Plat 2 to be re-platted as a development lot. B) Review and approval of a PUD Development Plan for "Level", to allow development of a 5-story, 121-unit multiple-family dwelling with 53 indoor parking spaces and 153 surface off-street parking spaces.

**COMMISSION ACTION:**

After public hearing, the members voted 12-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
David Courard-Hauri	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato				X
Steve Wallace				X
Greg Wattier				X
Emily Webb	X			

**APPROVAL** of Part A) approval of the proposed Preliminary Plat subject to compliance with all administrative review comments of the City's Permit and Development Center.

1. Compliance with all administrative review comments of the City's Permit and Development Center.

2. Provision of all necessary pedestrian and vehicular cross access easements.

Part B) **APPROVAL** of the proposed Development Plan subject to the following conditions:

1. Compliance with all administrative review comments of the City's Permit and Development Center.
2. All site lighting shall be directed downward and shielded from adjoining properties. Any pole mounted lighting along private walkways shall not exceed 15 feet in height and any pole mounted lighting in a parking area shall not exceed 20 feet in height.
3. Provision of black LED street light fixtures and black metal poles.
4. All necessary external mechanical equipment shall be roof-mounted and screened on all sides equal to the height of the equipment.
5. All utility meters, transformers, and other utilities shall be placed along internal side or rear facades of the buildings.
6. Any trash enclosure shall be constructed of masonry walls that match the primary building with solid steel gates.
7. Review and approval of the finalized landscaping plan by the Planning Administrator.
8. Provision of all necessary pedestrian and vehicular cross access easements.
9. Review and approval of the finalized building elevations and materials by the City's Planning Administrator.

(10-2020-7.56) & (13-2020-1.25)

## **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Part A) Staff recommends approval of the proposed Preliminary Plat subject to compliance with all administrative review comments of the City's Permit and Development Center.

1. Compliance with all administrative review comments of the City's Permit and Development Center.
2. Provision of all necessary pedestrian and vehicular cross access easements.

Part B) Staff recommends approval of the proposed Development Plan subject to the following conditions:

1. Compliance with all administrative review comments of the City's Permit and Development Center.
2. All site lighting shall be directed downward and shielded from adjoining properties. Any pole mounted lighting along private walkways shall not exceed 15 feet in height and any pole mounted lighting in a parking area shall not exceed 20 feet in height.
3. Provision of black LED street light fixtures and black metal poles.

4. All necessary external mechanical equipment shall be roof-mounted and screened on all sides equal to the height of the equipment.
5. All utility meters, transformers, and other utilities shall be placed along internal side or rear facades of the buildings.
6. Any trash enclosure shall be constructed of masonry walls that match the primary building with solid steel gates.
7. Review and approval of the finalized landscaping plan by the Planning Administrator.
8. Provision of all necessary pedestrian and vehicular cross access easements.
9. Review and approval of the finalized building elevations and materials by the City's Planning Administrator.

## STAFF REPORT TO THE PLANNING COMMISSION

### I. GENERAL INFORMATION

1. **Purpose of Request:** The Bridge District PUD Conceptual Plan and associated rezoning was approved by the City Council on September 23, 2019. The PUD created a unified PUD zoning district for the previously approved Velocity, Bridge District I, Bridge District II, and Bridge District III projects and allows the proposed 5-story multiple-family residential building.

The City Council's action requires all PUD Development Plans to be reviewed by the Plan and Zoning Commission and approved by the City Council. PUD Development Plans are typically reviewed administratively through the site plan review process. The subject site plan and building elevations are also being reviewed by the City's Urban Design Review Board as the applicant has entered into a development agreement with the City. The application will go before that board on December 17, 2019.

2. **Size of Site:** 3.53 acres (153,725 square feet).
3. **Existing Zoning (site):** "PUD" Planned Unit Development, "GGP" Gambling Games Prohibition District and "FSO" Freestanding Sign Overlay District.
4. **Existing Land Use (site):** Vacant land.
5. **Adjacent Land Use and Zoning:**

**North** – "D-R": Use is Interstate 235.

**South** - "Bridge District PUD": Use is the balance of the Bridge District development which includes rowhouse and multiple-family residential uses.

**East** - "R-4": Uses are multiple-family residential.

**West** - "D-R": Uses are the Des Moines River and trail.

6. **General Neighborhood/Area Land Uses:** The site is located at the northern periphery of the Historic East Village Neighborhood. The immediate area consists of a mix of

residential and light industrial uses as well as vacant land. It is generally bound by Interstate 235 to the north, East 4th Street to the east, Des Moines Street to the south and Robert D. Ray Drive to the west.

- 7. Applicable Recognized Neighborhood(s):** The subject property is located in the Historic East Village Neighborhood. The neighborhood was notified of the Commission meeting by mailing of the Preliminary Agenda on December 2, 2019 and the Final Agenda on December 13, 2019. Additionally, separate notifications of the hearing were mailed on December 9, 2019 (10 days prior to the hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for every owner of property or condominium within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Historic East Village Neighborhood Association mailings were sent to Taylor Frame, P.O. Box 93904, Des Moines, IA 50393.

- 8. Relevant Zoning History:** On September 23, 2019, the City Council approved rezoning the subject property to PUD and conditionally approved the Bridge District PUD Conceptual Plan by Roll Calls 19-1546, 19-1547 and 19-1548, and Ordinance Number 15,806.

The rezoning and PUD Conceptual Plan were reviewed by the Plan and Zoning Commission on August 15, 2019.

- 9. PlanDSM Land Use Plan Designation:** The subject site is designated as “Downtown Mixed Use” on the Future Land Use Map.

- 10. Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, every Development Plan and required documents submitted pursuant to Division 13 of the Zoning Ordinance shall be reviewed by the Planning Director, who shall approve the Development Plan if it complies with the standards of Division 13 and if it complies with the Conceptual Plan. In this case, the Development Plan is being referred to the Plan and Zoning Commission and the City Council for review and approval in accordance with the requirements of the PUD Conceptual Plan.

Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission shall determine if such Preliminary Plat conforms to the standards and requirements outlined in Chapter 354 of the Iowa Code, and the City Subdivision Ordinance and shall approve, conditionally approve or reject such plat within 45 days after the date of submission to the City Permit and Development Center. Unless the applicant agrees in writing to an extension of time, the Preliminary Plat shall be deemed approved if the Commission does not act within such 45-day period. The Commission's action for approval or conditional approval shall be null and void unless the final plat is submitted to the City Permit and Development Center within 270 days after the date of such action; provided, however, that the Permit and Development Administrator may grant, upon written request of the applicant, up to a 90-day extension for submittal of the final plat to the City Permit and Development Center.

## II. ADDITIONAL APPLICABLE INFORMATION

1. **PUD Conceptual Plan Standards:** The following are relevant standards from the Conceptual Plan that must be considered in the review of the proposed Development Plan.

- A) Landscaping must be provided in compliance with the City of Des Moines Landscaping Standards for the C-3 District.

*The C-3 standards require parkway and parking lot plantings. Additionally, development in the downtown of this nature is expected to provide foundation plantings and well landscaped open spaces if open space is provided. The submitted Development Plan includes 55 overstory trees, 11 evergreen trees, 5 understory trees, 122 shrubs, 128 annuals/perennials and 187 ornamental grass. Staff is generally supportive of the proposed landscaping, but recommends that additional plantings along the north property line so that a consistent run of material is provided. In addition, staff would like further discussion on the possibilities of providing street trees in the adjoining rights-of-way. There could be conflicts in accomplishing this, but it should be fully vetted.*

- B) Public sidewalks must be installed along all perimeter streets in conformance with the approved site plan.

*Public walks are proposed along all street frontages.*

- C) Pedestrian sidewalk access must be provided between the public right-of-way and the primary building entry(s) in accordance with the approved site plan.

*Sidewalks are proposed that would connect all building access points to the public sidewalk system.*

- D) Building shall be developed for each project phase/component and provide consistency and compatibility of character across the development while providing for flexibility in individual building design and fostering creativity.

*Staff believes that the proposed building would be compatible with the character of the existing buildings in the Bridge District PUD. Staff recommends approval subject to review of the finalized building elevations and materials by the Planning Administrator. This will allow staff to work with the applicant on any changes that the City's Urban Design Review Board requires.*

- E) Building exteriors shall be clad in durable materials such as brick, metal, stone, architectural precast concrete, cement board, etc.
1. Exterior insulation systems shall not be used.
  2. Industrial pre-engineered buildings shall not be allowed.

*The proposed building would be clad with a mix of precast panels, metal panels and cement board, which complies with these standards.*

- F) Rooftop mechanical equipment shall be enclosed or otherwise screened from public rights-of-way. Roof-mounted utilities must be screened with an element equal in height of the equipment, and constructed with an exterior finish and color matching the primary building exterior.

*Given the high visibility this building will have from all directions, staff believes that screening needs to be provided on all sides of any rooftop mechanical equipment.*

- G) All buildings should have frontage on principal street(s) (not Interstates), public plaza, park or greenways of not less than 70 percent of the lot with the following exceptions:
1. Frontage is used for an existing utility corridor or levee wall easement.
  2. The curvature of the road precludes efficient frontage.

*The building fronts Maple Street and a private drive that functions as a street. It occupies that frontage except where driveways are need to the east and west of the building to provide access to the parking lot. The proposal complies with these standards.*

- H) All buildings shall have a parapet or flat roof. Tower element are allowed.

*The proposed building complies with this standard.*

- 2. Grading & Storm Water Management:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City's Stormwater Management requirements to the satisfaction of the City's Permit and Development Center. The development would include a storm water basin in the northeast quadrant of the site.
- 3. Additional Information:** The subject property is currently platted as an "outlot." The proposed Preliminary Plat would allow the lot to be re-platted as a "lot" that can be developed.

## **SUMMARY OF DISCUSSION**

Jacqueline Easley asked if any member of the audience or the commission desired to speak on the item. None were present or requested to speak.

## **COMMISSION ACTION:**

Dory Briles made a motion for approval of Part A) **APPROVAL** of the proposed Preliminary Plat subject to compliance with all administrative review comments of the City's Permit and Development Center.

1. Compliance with all administrative review comments of the City's Permit and Development Center.
2. Provision of all necessary pedestrian and vehicular cross access easements.

Part B) **APPROVAL** of the proposed Development Plan subject to the following conditions:

1. Compliance with all administrative review comments of the City's Permit and Development Center.
2. All site lighting shall be directed downward and shielded from adjoining properties. Any pole mounted lighting along private walkways shall not exceed 15 feet in height and any pole mounted lighting in a parking area shall not exceed 20 feet in height.
3. Provision of black LED street light fixtures and black metal poles.
4. All necessary external mechanical equipment shall be roof-mounted and screened on all sides equal to the height of the equipment.
5. All utility meters, transformers, and other utilities shall be placed along internal side or rear facades of the buildings.
6. Any trash enclosure shall be constructed of masonry walls that match the primary building with solid steel gates.
7. Review and approval of the finalized landscaping plan by the Planning Administrator.
8. Provision of all necessary pedestrian and vehicular cross access easements.
9. Review and approval of the finalized building elevations and materials by the City's Planning Administrator.

Motion passed 12-0

Respectfully submitted,



Michael Ludwig, AICP  
Planning Administrator

MGL:tjh  
Attachments



Bridge District II, LLC (owner) represented by Kris Saddoris (officer) for property located at 220 Maple Street.		File # 10-2020-7.56		
<b>Description of Action</b>	Review and approval of a Preliminary Plat "Level" to allow Outlot C of Bridge District Plat 2 to be re-plated as a development lot. Review and approval of a PUD Development Plan for "Level", to allow development of a 5-story, 121-unit multiple-family dwelling with 53 indoor parking spaces and 153 surface off-street parking spaces.			
<b>PlanDSM Future Land Use</b>	Current: Downtown Mixed Use. Proposed: N/A.			
<b>Mobilizing Tomorrow Transportation Plan</b>	No planned improvements.			
<b>Current Zoning District</b>	Bridge District "PUD" Planned Unit Development, "CDO" Capitol Dominance Overlay District, "GGP" Gambling Games Prohibition District, "D-O" Downtown Overlay District and "FSO" Freestanding Signs Overlay District.			
<b>Proposed Zoning District</b>	N/A.			
<b>Consent Card Responses</b>	In Favor	Not In Favor	Undetermined	% Opposition
<b>Outside Area (200 feet)</b>	0	0		
<b>Within Subject Property</b>				
<b>Plan and Zoning Commission Action</b>	Approval	X	<b>Required 6/7 Vote of the City Council</b>	Yes
	Denial			No

Bridge District II, LLC, 220 Maple Street

10-2020-7.56 & 13-2020-1.25



1 inch = 134 feet

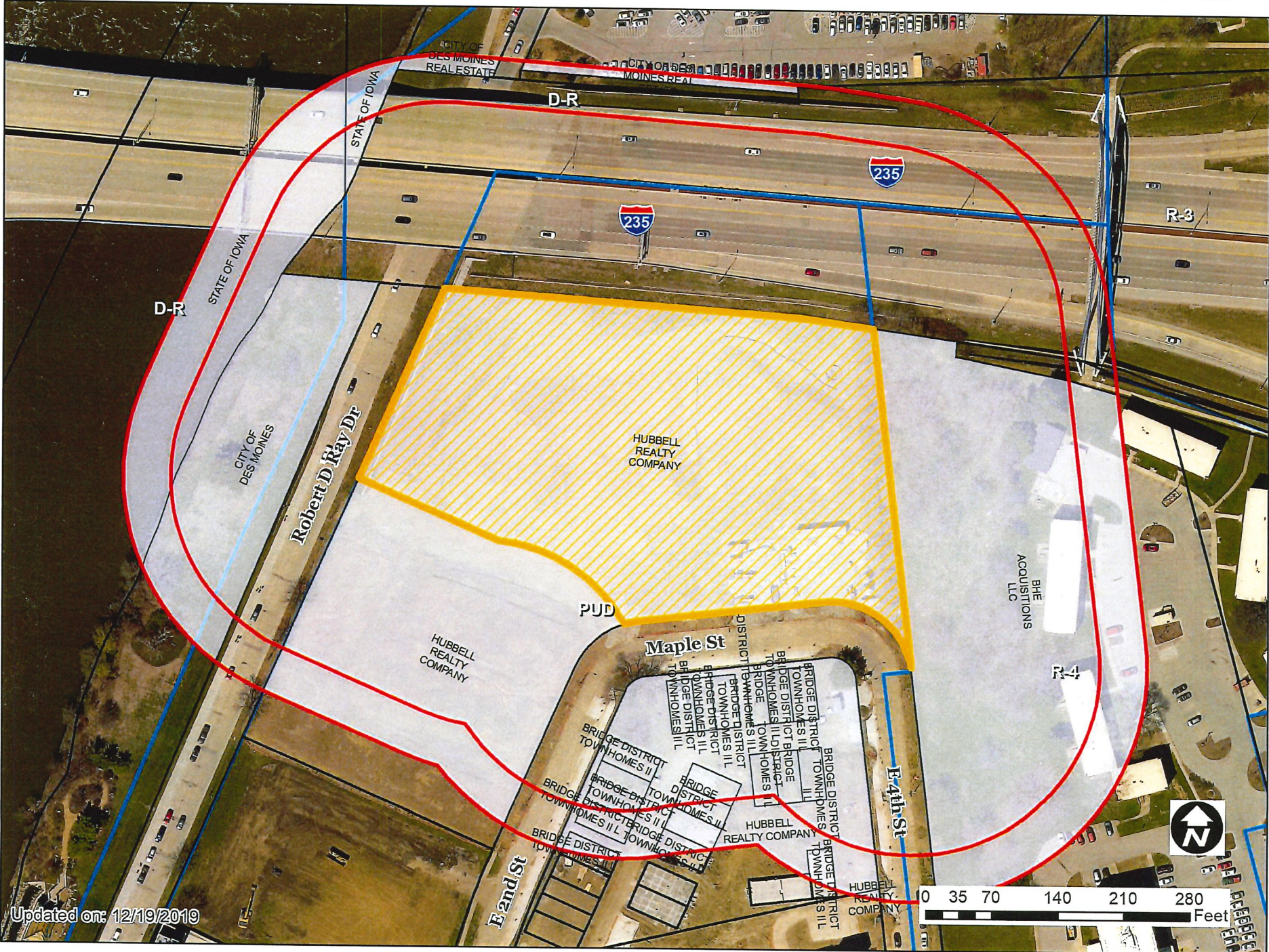
Bridge District II, LLC (owner) represented by Kris Sadoris (officer) for property located at 220 Maple Street.			File # 13-2020-1.25	
<b>Description of Action</b>	Review and approval of a Preliminary Plat "Level" to allow Outlot C of Bridge District Plat 2 to be re-plated as a development lot. Review and approval of a PUD Development Plan for "Level", to allow development of a 5-story, 121-unit multiple-family dwelling with 53 indoor parking spaces and 153 surface off-street parking spaces.			
<b>PlanDSM Future Land Use</b>	Current: Downtown Mixed Use. Proposed: N/A.			
<b>Mobilizing Tomorrow Transportation Plan</b>	No planned improvements.			
<b>Current Zoning District</b>	Bridge District "PUD" Planned Unit Development, "CDO" Capitol Dominance Overlay District, "GGP" Gambling Games Prohibition District, "D-O" Downtown Overlay District and "FSO" Freestanding Signs Overlay District.			
<b>Proposed Zoning District</b>	N/A.			
<b>Consent Card Responses</b>	In Favor	Not In Favor	Undetermined	% Opposition
<b>Outside Area (200 feet)</b>	0	0		
<b>Within Subject Property</b>				
<b>Plan and Zoning Commission Action</b>	Approval	X	<b>Required 6/7 Vote of the City Council</b>	Yes
	Denial			No

Bridge District II, LLC, 220 Maple Street

10-2020-7.56 & 13-2020-1.25

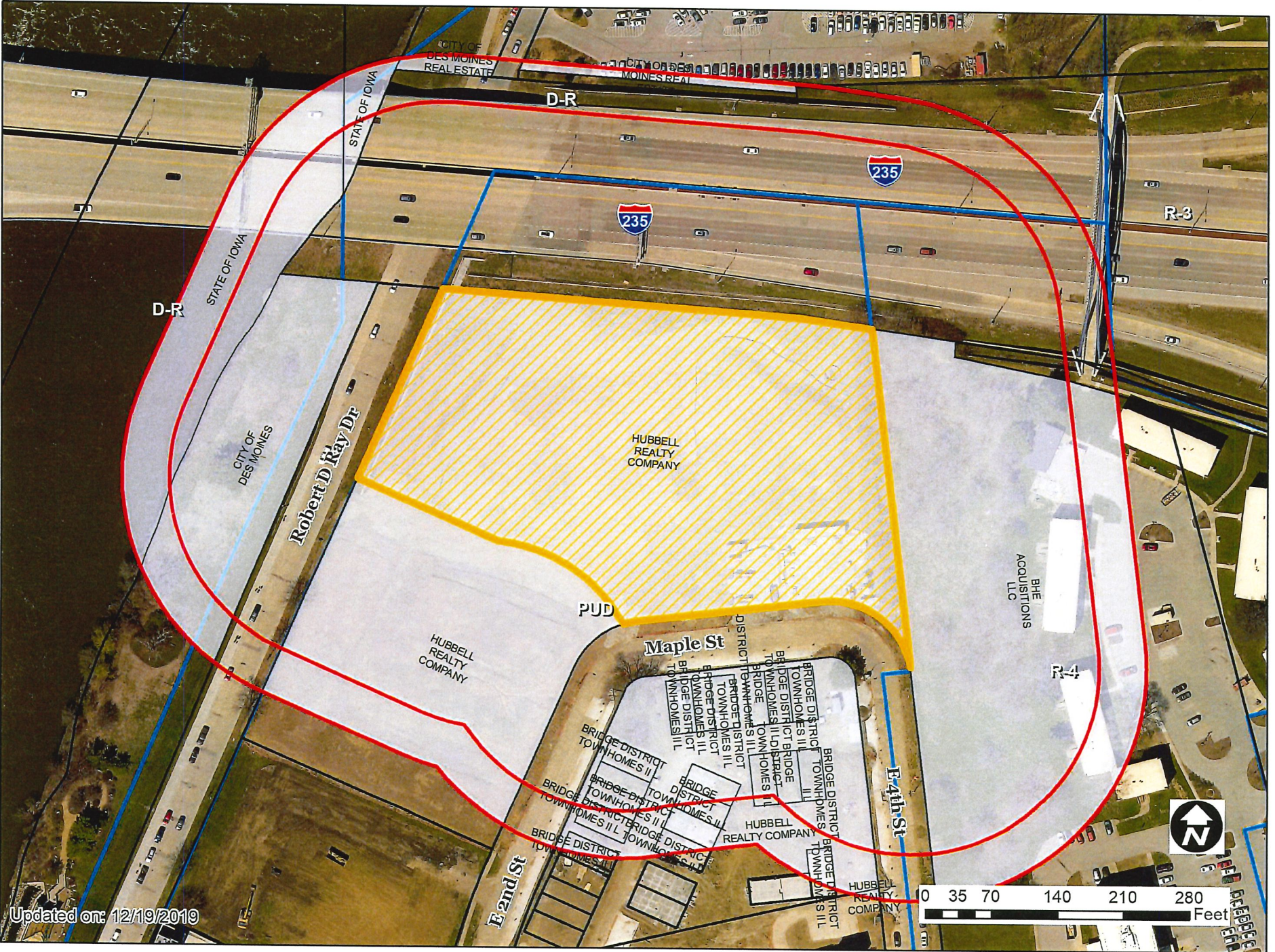


1 inch = 134 feet



Updated on: 12/19/2019

1 inch = 134 feet



Updated on: 12/19/2019

1 inch = 134 feet



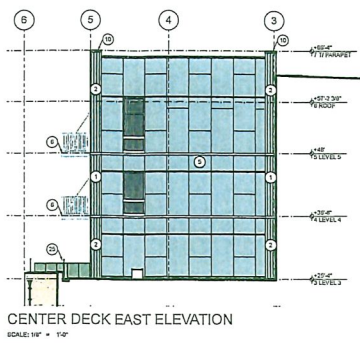
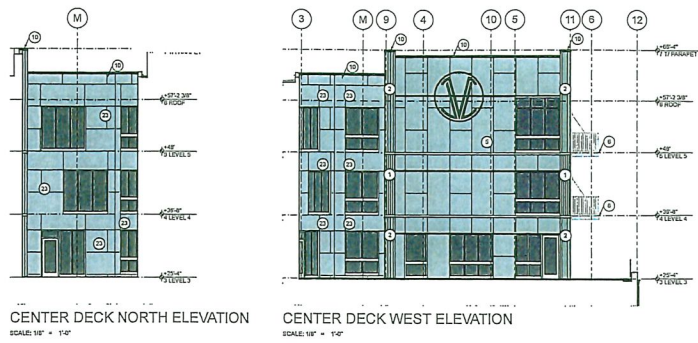
HOUSING







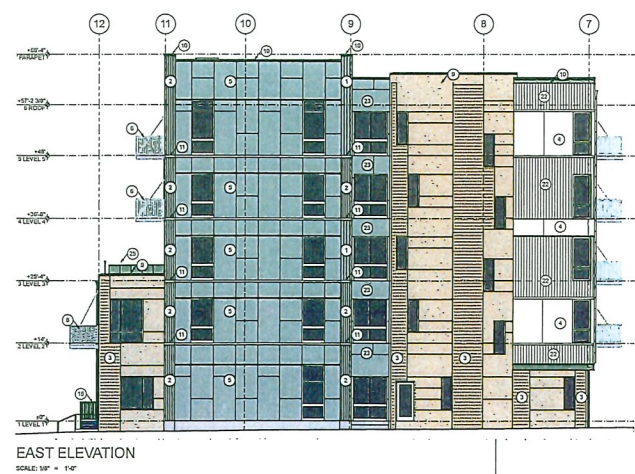
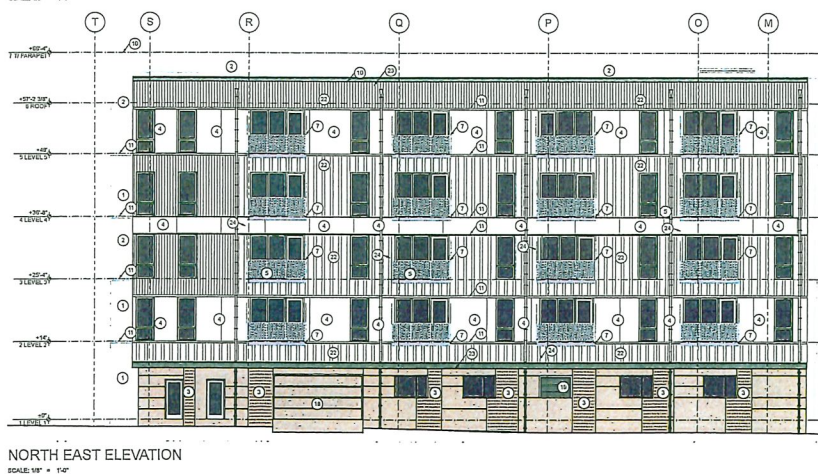




**EXTERIOR MATERIAL LEGEND**

	CEMENT BOARD 1		METAL PANEL 2
	CEMENT BOARD 2		METAL PANEL 3
	CEMENT BOARD 3		PRECAST PANEL
	METAL PANEL 1		PRECAST FORMLINER

- URDB ELEVATION KEYNOTES**
1. METAL PANEL 1
  2. METAL PANEL 2
  3. REINFORCED CONCRETE WALL WITH FORMLINER AND REVEALS
  4. FLOOR CEMENT PANEL 1
  5. FLOOR CEMENT PANEL 2
  6. BALCONY TYPE 1 - PRE-MANUFACTURED, ENGINEERED ALUMINUM BALCONY WITH ALUMINUM FINISH GUARDRAIL
  7. BALCONY TYPE 2 - PRE-MANUFACTURED, ENGINEERED WHITE ALUMINUM BALCONY WITH ALUMINUM FINISH GUARDRAIL ON DECK AND REINFORCED METAL WELLS ON FRONT WHITE
  8. BALCONY TYPE 3 - PRE-MANUFACTURED, ENGINEERED ALUMINUM BALCONY WITH REINFORCED METAL GUARDRAIL ON DECK AND REINFORCED METAL WELLS ON FRONT WHITE
  9. PREFINISHED DOPING CAP - P1
  10. PREFINISHED DOPING CAP - P2
  11. SPRAVE METAL FLASHING REVEAL - F3
  12. ALUMINUM BUSHING SYSTEM
  13. ALUMINUM DOORS WITH 1" BOTTOM SILL
  14. PRECAST CONCRETE COLUMN
  15. CONCRETE STEEL WALL REINFORCER
  16. STEEL STOOD LANDING ATTACHED TO CONCRETE LANDING
  17. SOLID METAL DOOR, PAINTED
  18. OVERHEAD GARAGE DOOR
  19. GARAGE VENTILATION EXTERIOR
  20. FIRE DEPARTMENT CONNECTION
  21. MECHANICAL INTAKE/EXHAUST
  22. METAL PANEL 3
  23. FIBER CEMENT PANEL 3
  24. CONDUITPOST - TRIM WALL SUPPLIER
  25. ALUMINUM GUARDRAIL TO MATCH BALCONY TYPE 1
  26. ALUMINUM GUARDRAIL WITH GLASS IN-fill PANELS
  - A. ALUM



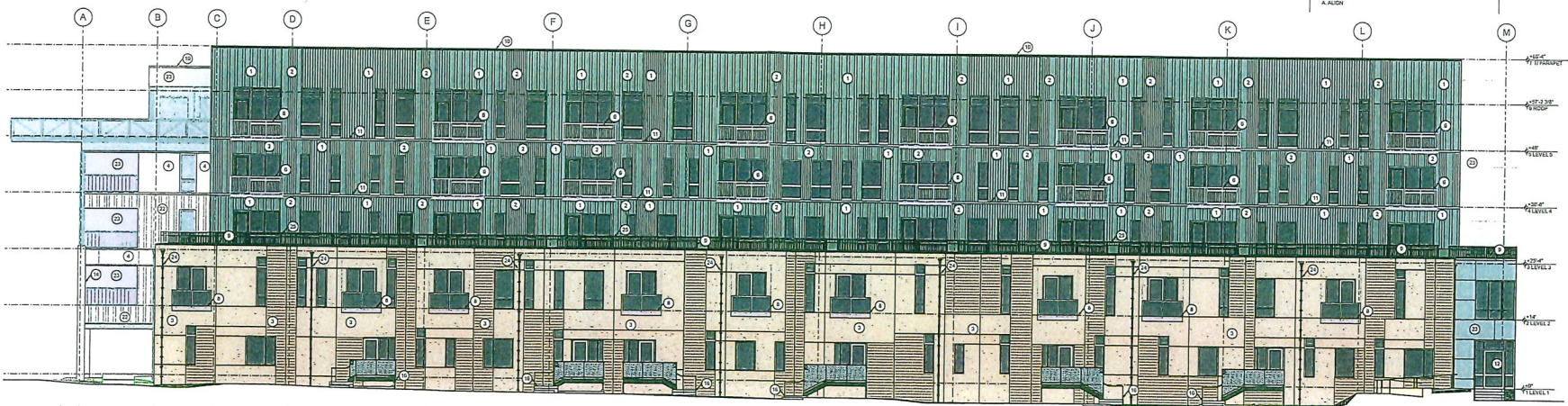
EXTERIOR MATERIAL LEGEND

	CEMENT BOARD 1		METAL PANEL 2
	CEMENT BOARD 2		METAL PANEL 3
	CEMENT BOARD 3		PRECAST PANEL
	METAL PANEL 1		PRECAST FORMLINER

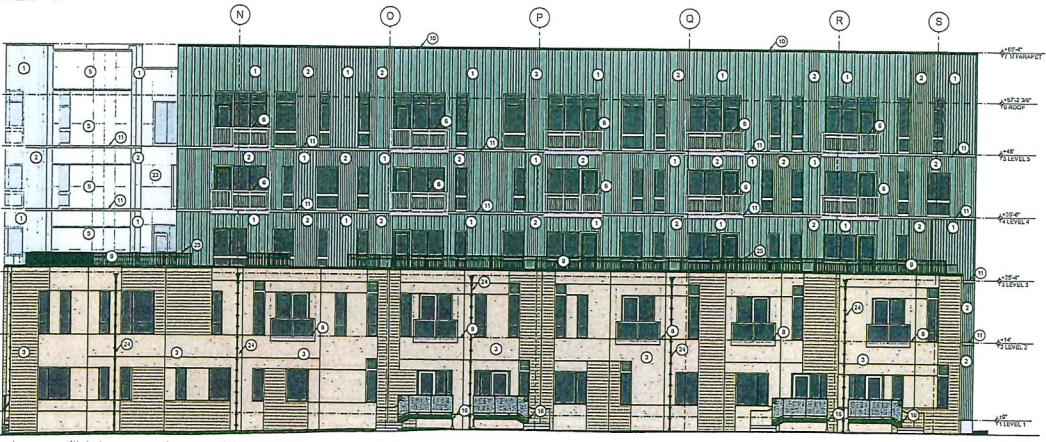
URDB ELEVATION KEYNOTES

1. METAL PANEL 1
2. METAL PANEL 2
3. PRECAST CONCRETE WALL WITH FORMLINER AND REVEALS
4. FIBER CEMENT PANEL 1
5. FIBER CEMENT PANEL 2
6. BALCONY TYPE 1 - PRE-MANUFACTURED, ENGINEERED ALUMINUM BALCONY WITH ALUMINUM PICKET GUARDRAIL
7. BALCONY TYPE 2 - PRE-MANUFACTURED, ENGINEERED FINITE ALUMINUM BALCONY WITH ALUMINUM PICKET GUARDRAIL ON RECESSED FORMERED REIN. W/FL. ON FRONT, WHITE ALUMINUM BALCONY WITH PERFORATED METAL GUARDRAIL ON RECESSED GLASS W/FL. ON FRONT BLACK
8. BALCONY TYPE 3 - PRE-MANUFACTURED, ENGINEERED ALUMINUM BALCONY WITH PERFORATED METAL GUARDRAIL ON RECESSED GLASS W/FL. ON FRONT BLACK
9. PREFABRICATED COPING CAP - F1
10. PREFABRICATED COPING CAP - F2
11. BRUSH METAL FLASHING REVEAL - F3
12. ALUMINUM STROOP/ROOF STRIP
13. ALUMINUM DOORS WITH 12" BOTTOM STILE
14. PRECAST CONCRETE EQUINE
15. CONCRETE STEEL WALL BELOW ENGINEER
16. STEEL STROOP LANDING ATTACHED TO CONCRETE LANDING
17. HOUSING METAL DOOR PAINTED
18. OVERHEAD GARAGE DOOR
19. GARAGE VENTILATION LOWER
20. FIRE DEPARTMENT CONNECTION
21. MEDICAL INTAKE EXHAUST
22. METAL PANEL 3
23. FIBER CEMENT PANEL 3
24. CONSPIRACY - THRU WALL SCRAPPER
25. ALUMINUM GUARDRAIL TO MATCH BALCONY TYPE 1
26. ALUMINUM GUARDRAIL WITH GLASS W/FL PANELS A. ALDH

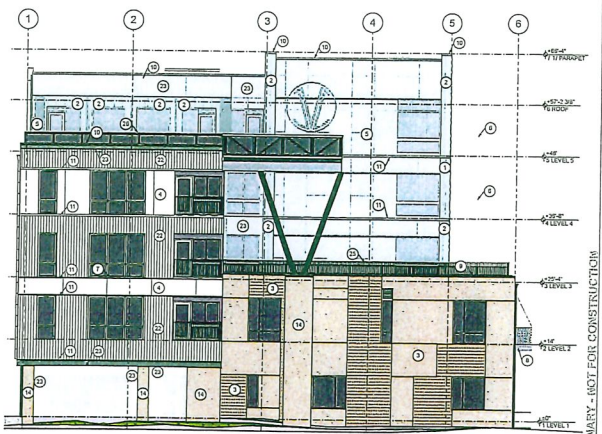
**GNITSHOT ARCHITECTURE**  
303 EAST COUNTY AVENUE, SUITE 1000, MILWAUKEE, WI 53202



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION  
**LVL - BRIDGE DISTRICT**  
 \*\*\*ADDRESS\*\*\*  
 2016.41  
 P-2 SUBMISSION  
 2016.11.20  
 PERFORM SCHEDULE DESCRIPTION DATE  
 BUILDING ELEVATIONS  
**URDB**





DATE	
REVISIONS	
PROJECT SUBMITTAL	11/09/2015

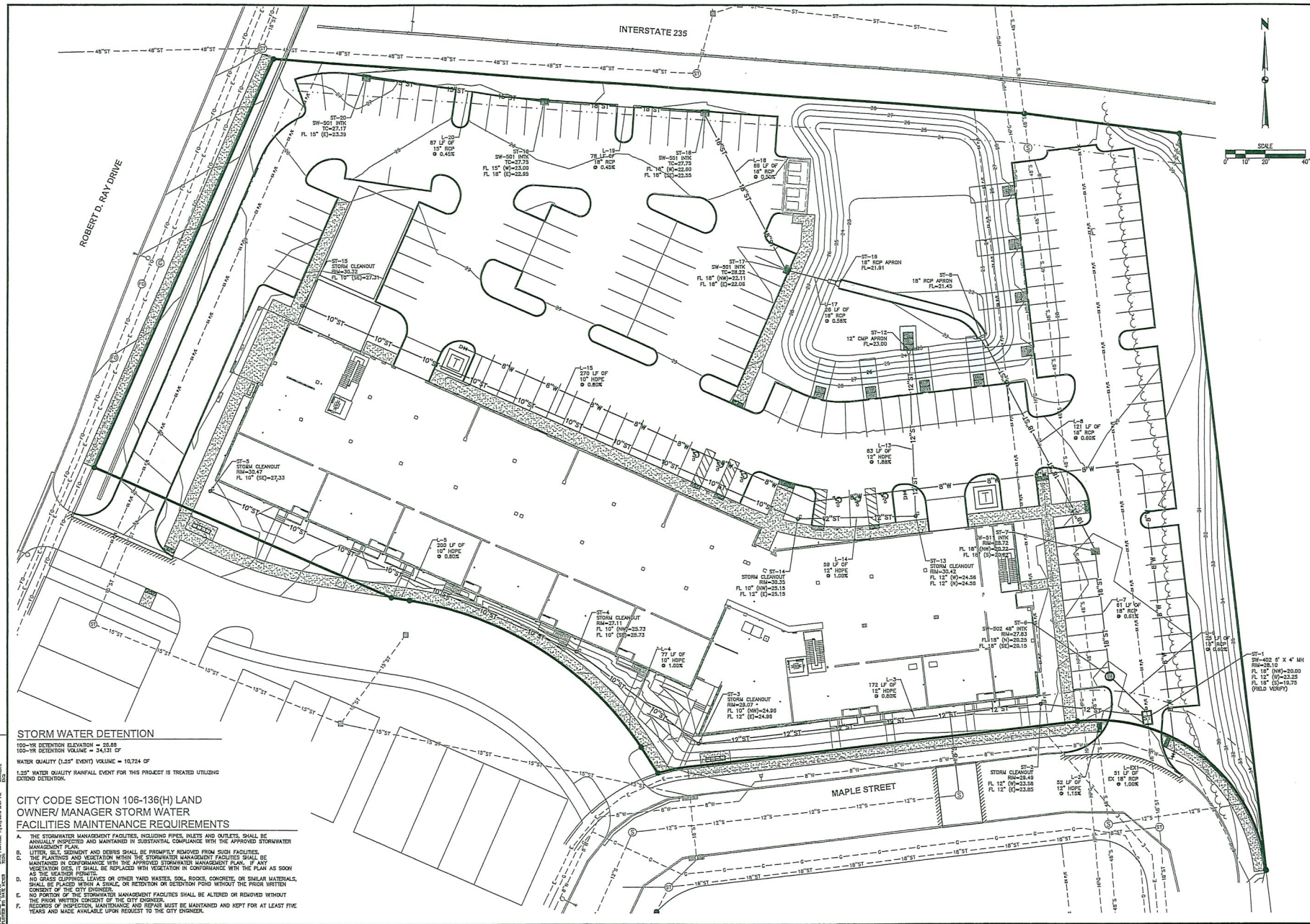
3405 S.E. CROSSROADS DRIVE, SUITE G  
 PHONE: (515) 388-4400 FAX: (515) 389-4410



DES MOINES, IOWA CIVIL DESIGN ADVANTAGE ENGINEER

**LEVEL  
UTILITY PLAN**

**C5.1**  
1812.645

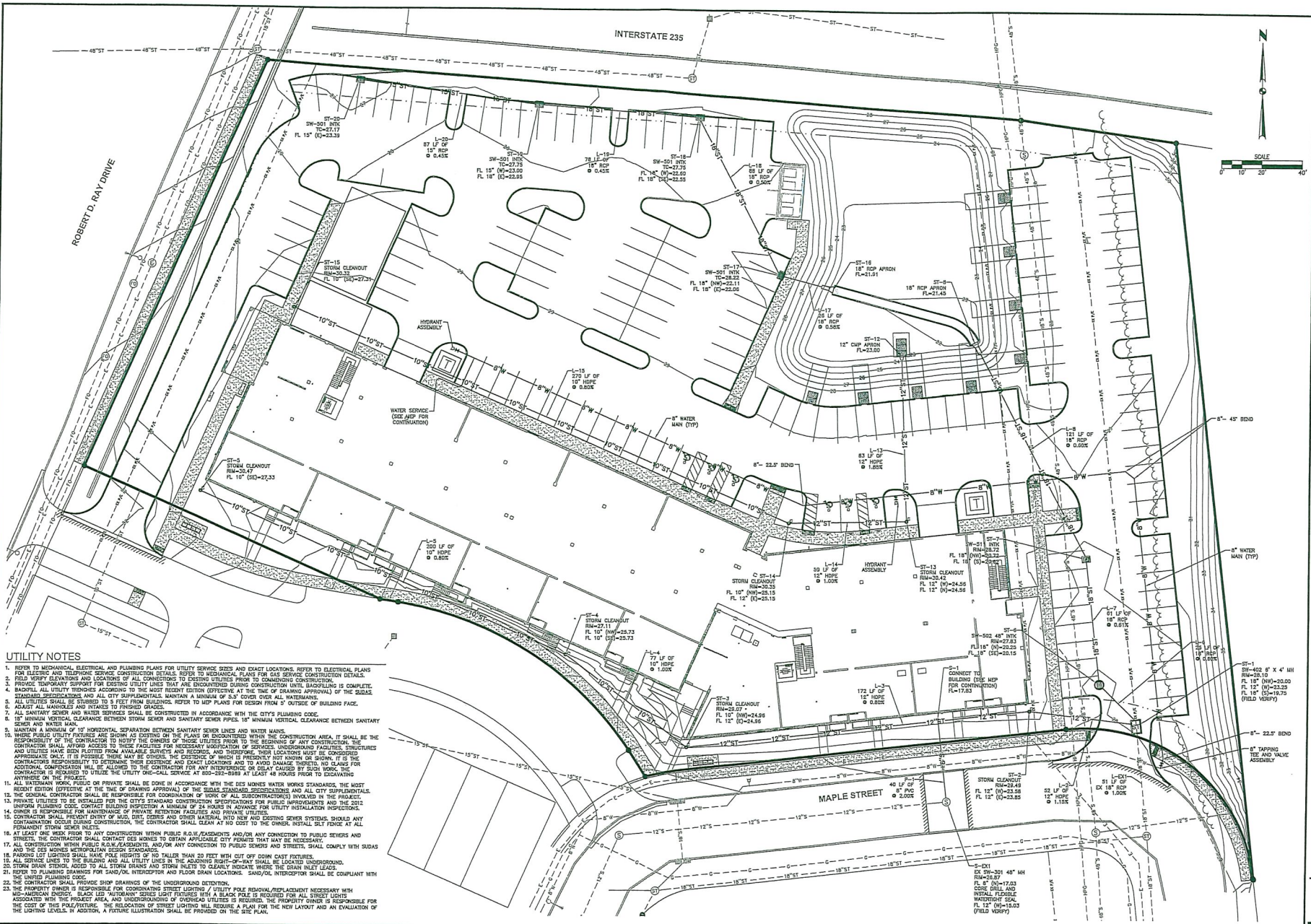


**STORM WATER DETENTION**

100-YR DETENTION ELEVATION = 35.83  
 100-YR RETENTION VOLUME = 24,317 CF  
 WATER QUALITY (2nd EVENT) VOLUME = 10,734 CF  
 1.5\"/>

**CITY CODE SECTION 106-136(H) LAND  
OWNER/MANAGER STORM WATER  
FACILITIES MAINTENANCE REQUIREMENTS**

- THE STORMWATER MANAGEMENT FACILITIES, INCLUDING PIPES, INLETS AND OUTLETS, SHALL BE ANNUALLY INSPECTED AND MAINTAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN.
- LITTER, SILT, SEDIMENT AND DEBRIS SHALL BE PROMPTLY REMOVED FROM SUCH FACILITIES.
- THE PLANTINGS AND VEGETATION WITHIN THE STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN. IF ANY VEGETATION DIES, IT SHALL BE REPLACED WITH VEGETATION IN CONFORMANCE WITH THE PLAN AS SOON AS THE WEATHER PERMITS.
- NO GRASS CLIPPINGS, LEAVES OR OTHER YARD WASTE, SOIL, ROCKS, CONCRETE OR SIMILAR MATERIALS, SHALL BE PLACED WITHIN A SINGLE OR RETENTION OR DETENTION POND WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.
- NO PORTION OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE ALTERED OR REMOVED WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.
- RECORDS OF INSPECTION, MAINTENANCE AND REPAIR MUST BE MAINTAINED AND KEPT FOR AT LEAST FIVE YEARS AND MADE AVAILABLE UPON REQUEST TO THE CITY ENGINEER.



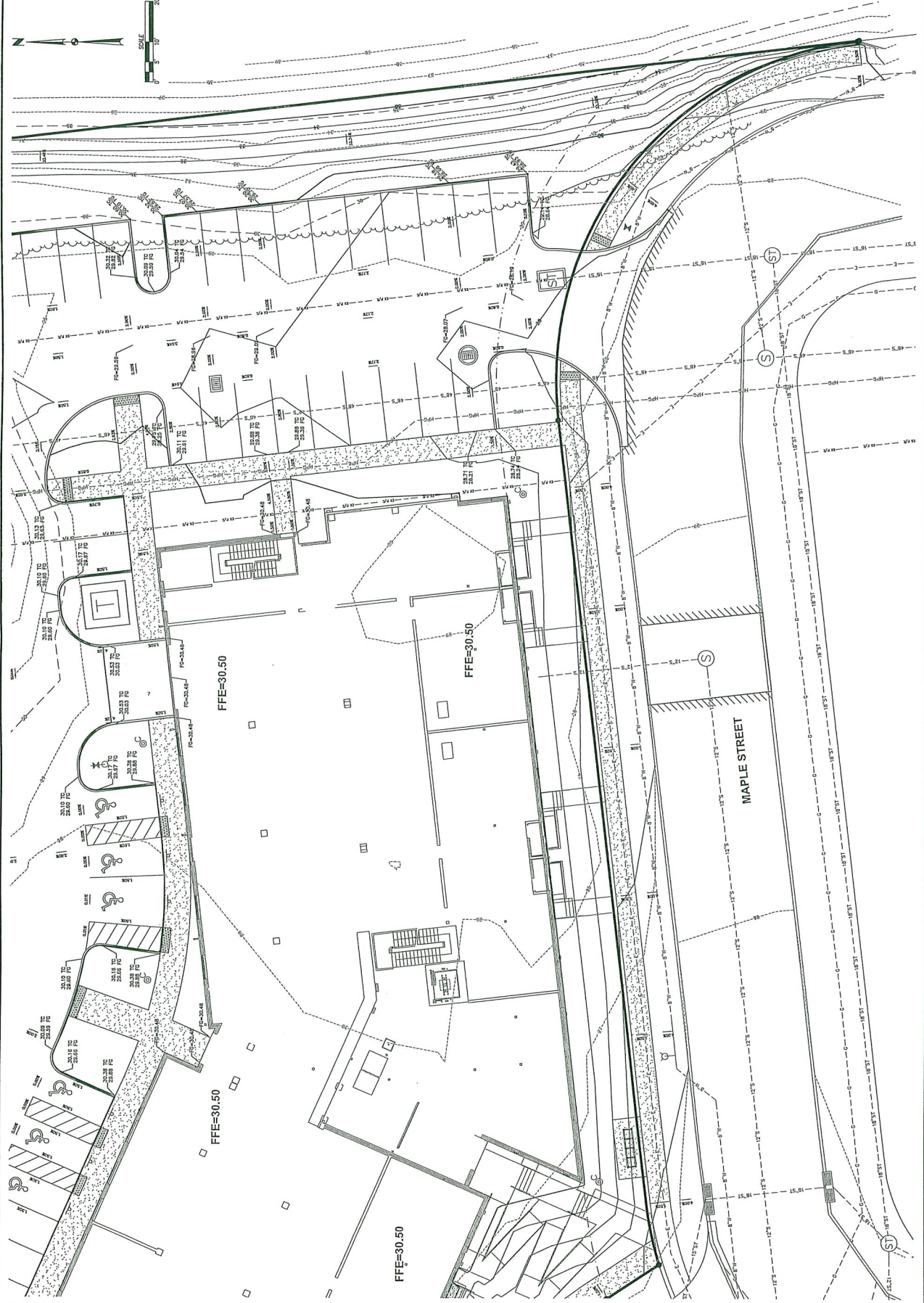
**UTILITY NOTES**

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION EFFECTIVE AT THE TIME OF DRAWING APPROVAL) OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 3" COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE SUBMITTED TO 5 FEET FROM BUILDINGS. REFER TO HEP PLANS FOR SECTION FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL HANDHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY SERVICES ARE SHOWN AS EXISTING ON THE PLANS OR INDICATED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ACCESS TO THESE UTILITIES FOR NECESSARY VERIFICATION OF SERVICES. UNDERGROUND FACILITIES, CONDUITSES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES PRIOR TO ANY CONSTRUCTION. IF THE CONTRACTOR IS UNABLE TO VERIFY THE LOCATION OF SUCH UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE ADDITIONAL INFORMATION NECESSARY TO VERIFY THE LOCATION OF SUCH UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE ADDITIONAL INFORMATION NECESSARY TO VERIFY THE LOCATION OF SUCH UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE ADDITIONAL INFORMATION NECESSARY TO VERIFY THE LOCATION OF SUCH UTILITIES.
11. ALL WATER MAIN WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 ILLINOIS WATER MAINS STANDARDS, THE MOST RECENT EDITION EFFECTIVE AT THE TIME OF DRAWING APPROVAL) OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 ILLINOIS PLUMBING CODE. CONTACT BUILDINGS DEPARTMENT IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT EROSION OF SOIL DURING CONSTRUCTION. EROSION CONTROL MEASURES SHOULD BE INSTALLED AT ALL CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN UP AND RESTORE TO ORIGINAL CONDITION AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE OWNER TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
17. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH SUDAS AND THE ILLINOIS METROPOLITAN DESIGN STANDARDS.
18. FURNISH LOT LIGHTING SHALL HAVE POLE HEIGHTS OF NO TALLER THAN 20 FEET WITH CUT OFF DOWN CAST FIXTURES.
19. ALL SERVICE LINES TO THE BUILDING AND ALL UTILITY LINES IN THE ADJACENT PORT-OF-WAY SHALL BE LOCATED UNDERGROUND.
20. STORM DRAIN SERVICES ADDED TO ALL STORM DRAIN AND STORM INLETS TO CLEARLY INDICATE WHERE THE DRAIN INLET LEADS.
21. REFER TO PLUMBING DRAWINGS FOR SAND/OIL INTERCEPTION AND FLOOR DRAIN LOCATIONS. SAND/OIL INTERCEPTOR SHALL BE COMPLIANT WITH THE UNIFIED PLUMBING CODE.
22. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE UNDERGROUND DETENTION.
23. THE PROPERTY OWNER IS RESPONSIBLE FOR PROVIDING STREET LIGHTING. UTILITY POLE SERVICE OR SIGNAL/REPLACEMENT NECESSARY WITH MID-AMERICAN ENERGY. BLACK LED "AUTOMANN" SERIES LIGHT FIXTURES WITH A BLACK POLE TO BE PROVIDED FOR ALL STREET LIGHTS ASSOCIATED WITH THE PROJECT AREA. THE RELOCATION OF EXISTING UTILITIES IS REQUIRED. THE PROPERTY OWNER IS RESPONSIBLE FOR THE COST OF THIS POLE/FIXTURE. THE RELOCATION OF STREET LIGHTING WILL REQUIRE A PLAN FOR THE NEW LAYOUT AND AN EVALUATION OF THE LIGHTING LEVELS. IN ADDITION, A FUTURE ILLUSTRATION SHALL BE PROVIDED ON THE SITE PLAN.

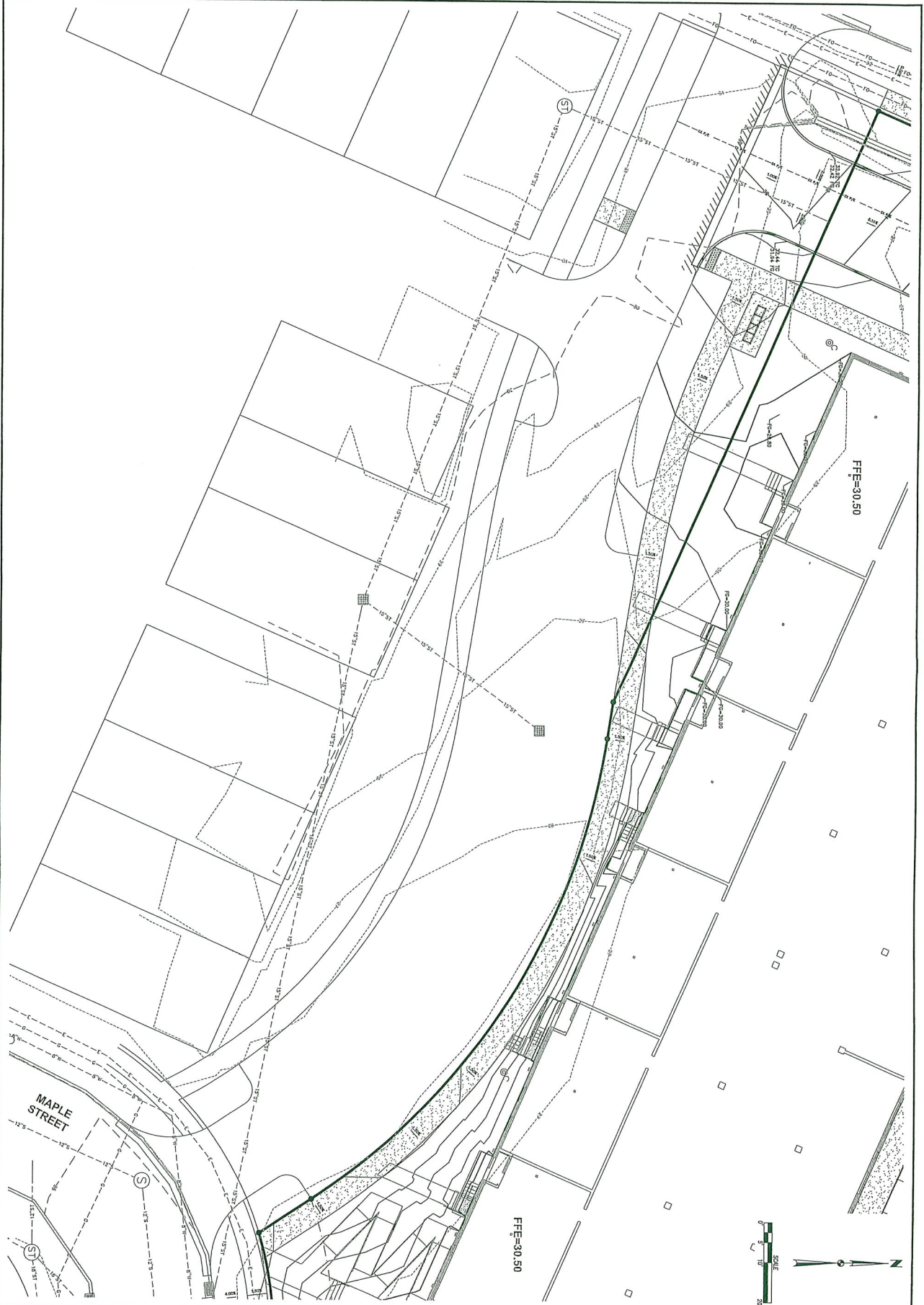
REVISIONS: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PROJECT: 3405 S.E. CROSSROADS DRIVE, SUITE G, GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 DES MOINES, IOWA  
 CIVIL DESIGN ADVANTAGE ENGINEER: \_\_\_\_\_  
 TECH: \_\_\_\_\_  
**LEVEL UTILITY PLAN**  
**C4.1**  
 1812.645



NO.	DATE	DESCRIPTION
1	11/20/2019	FINAL SUBMITTAL



DATE PLOTTED: 11/20/2019 10:58 AM  
 PLOTTER: HP DesignJet T1100e  
 FILE: C:\Projects\3405 SE Crossroads Drive\3405 SE Crossroads Drive.dwg  
 USER: JLM  
 PLOT SCALE: 1"=20'



**C3.3**  
 1812.64.5

**LEVEL  
 GRADING PLAN**

DES MOINES, IOWA **CD** **CIVIL DESIGN ADVANTAGE**

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER:

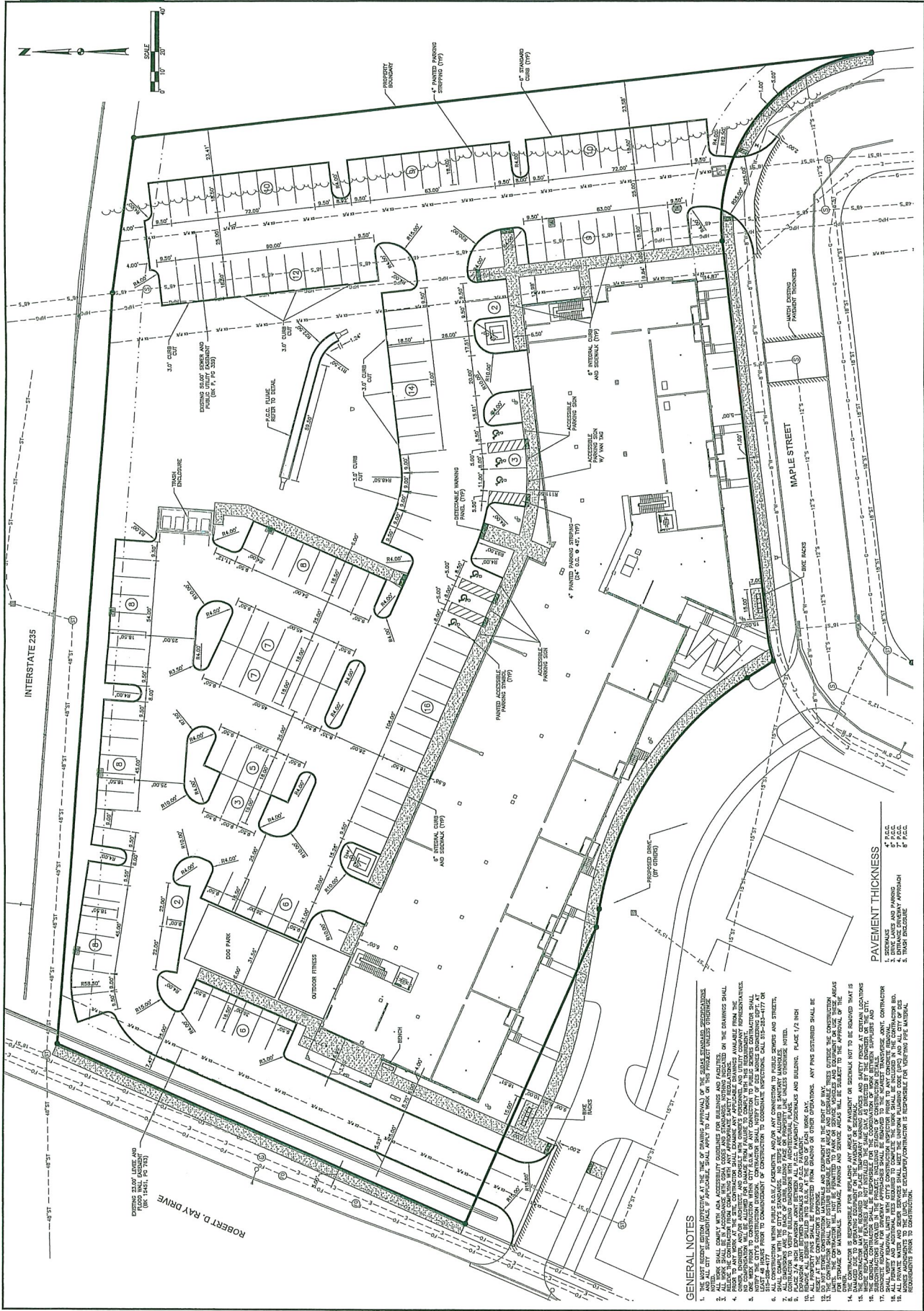
TECH:

REVISIONS	DATE
FIRST SUBMITTAL	11/29/2011

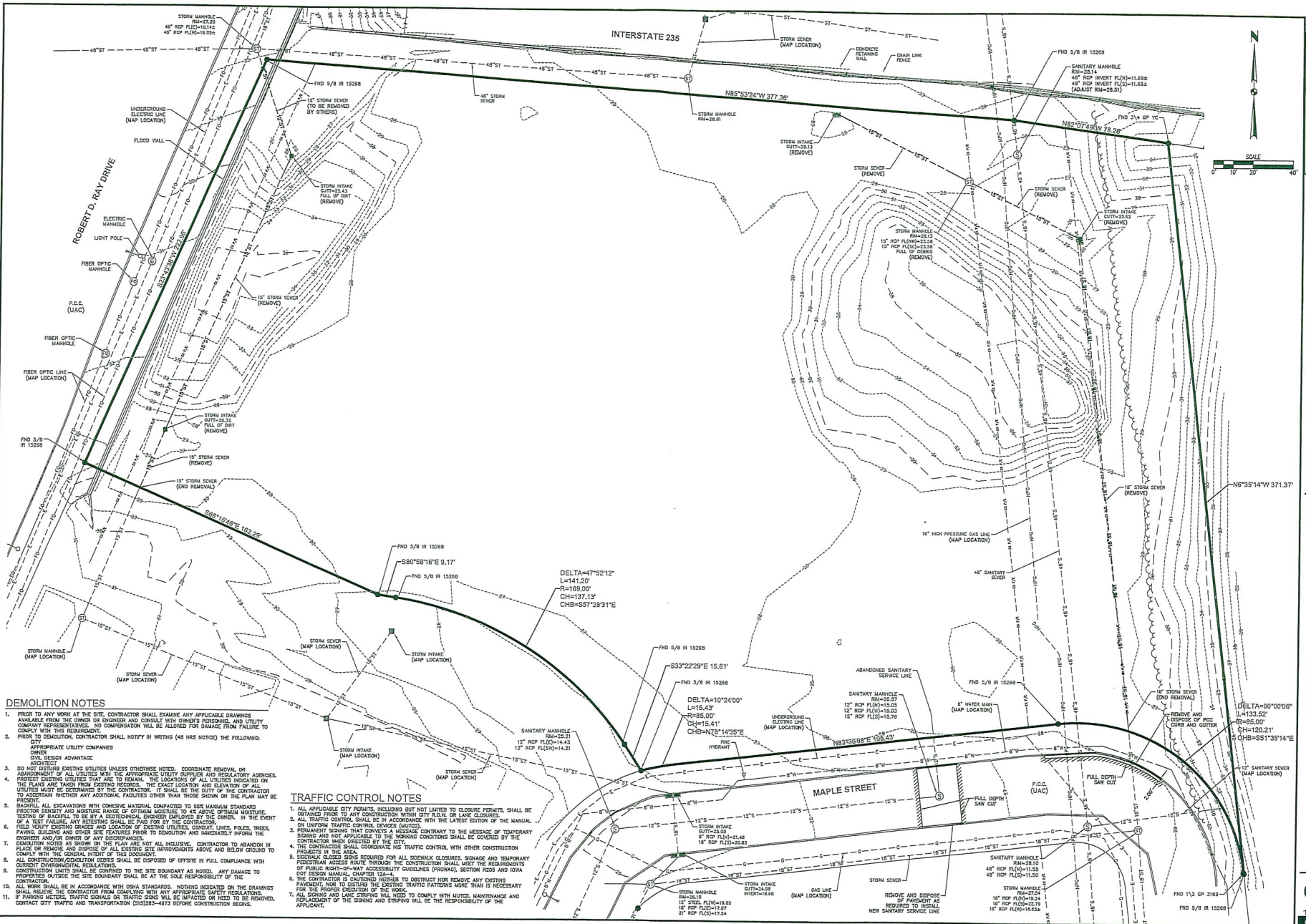








- GENERAL NOTES**
1. THE NEXT SECTION SHALL BE AT THE END OF THE ROWS OF THE SMALLER DIMENSIONS.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH THE IOWA BUILDING CODES AND REGULATIONS.
  3. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
  20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES.
- PAVEMENT THICKNESS**
- 1. SIDEWALKS AND PARKING
  - 2. ENTRANCE DRIVEWAY APPROACH
  - 3. PAVEMENT
  - 4. DRIVEWAY
  - 5. DRIVEWAY
  - 6. DRIVEWAY



**DEMOLITION NOTES**

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
  - CITY
  - APPROPRIATE UTILITY COMPANIES
  - OWNER
  - CIVIL DESIGN ADVANTAGE
  - ARCHITECT
3. DO NOT RETURN EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND DEPTH OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
4. REMOVAL OF EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
5. REMOVAL OF EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
6. REMOVAL OF EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. REMOVAL OF EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. ALL CONSTRUCTION DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
11. IF PARKING METERS, TRAFFIC SIGNALS OR TRAFFIC SIGNS WILL BE IMPACTED OR NEED TO BE REMOVED, CONTACT CITY TRAFFIC AND TRANSPORTATION (319)283-4973 BEFORE CONSTRUCTION BEGINS.

**TRAFFIC CONTROL NOTES**

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY RIGHTS OR LAND CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. REMOVAL OF EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION 2025 AND IOWA DOT DESIGN MANUAL, CHAPTER 124-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PARKING, NOR TO OBSTRUCT THE EXISTING TRAFFIC PATTERNS UNLESS SHOWN IS NECESSARY FOR THE PROPER LOCATION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD MAINTENANCE AND REPAIRMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

DATE:	
REVISIONS:	
PROJECT:	3405 S.E. CROSSROADS DRIVE, SUITE G GRAMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410
TECH:	ENGINEER

**EDA**  
CIVIL DESIGN ADVANTAGE | ENGINEER  
DESIGNER, IOWA

**LEVEL TOPOGRAPHIC SURVEY / DEMOLITION PLAN**

**C1.1**  
1812.845

# SITE PLAN FOR: LEVEL DES MOINES, IOWA

Item # 1B

VICINITY MAP (1" = 1000')  
NOT TO SCALE



DES MOINES, IOWA

**OWNER/APPLICANT**

BRIDGE DISTRICT LEVEL, LLC  
6900 WESTOIN PKWY  
WEST DES MOINES, IA 50266  
CONTACT: MATT WELLES  
EMAIL: MATT.WELLES@HUBBELLREALTY.COM  
PH. (515) 280-2041

**ENGINEER**

CIVIL DESIGN ADVANTAGE  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: RYAN HARDISTY  
EMAIL: RYAN@CDA-ENG.COM  
PH. (515) 369-4400  
FX. (515) 369-4410

**SURVEYOR**

CIVIL DESIGN ADVANTAGE, LLC  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
CONTACT: CHARLIE MCCLOTHLEN  
EMAIL: CHARLIE@CDA-ENG.COM  
PH. (515) 369-4400  
FX. (515) 369-4410

**ARCHITECT**

SLINGSHOT ARCHITECTURE  
305 EAST COURT AVE  
DES MOINES, IOWA 50309  
CONTACT: JOSH WILLIAMS  
PH. (515) 243-0074

**SUBMITTAL DATES**

FIRST SUBMITTAL: 11/20/2019

**LEGAL DESCRIPTION**

OUTLOT C BRIDGE DISTRICT PLAT 2

**ZONING**

D-R DOWNTOWN RIVERFRONT DISTRICT

**EXISTING/ PROPOSED USE**

EXISTING: VACANT LOT  
PROPOSED: MULTI-FAMILY HOUSING

**DEVELOPMENT SUMMARY**

AREAL: 3.53 ACRES (153,725 SF)

SETBACKS:  
15' MAX SETBACK FROM PUBLIC ROW

**OPEN SPACE CALCULATION:**  
TOTAL SITE: = 153,725 (3.53 AC.)  
BUILDING = 35,640 SF  
DRIVES AND PARKING = 61,044 SF  
SIDEWALK = 8,757 SF  
OPEN SPACE PROVIDED = 48,284 SF (30.1%)

**UNITS:**  
121 UNITS (34.3 UNITS PER ACRE)

**BEDROOM COUNT:** = 194 BEDROOMS

**PARKING REQUIREMENT:**  
1 SPACE/BEDROOM = 194 SPACES

**PARKING SPACES PROVIDED:**  
STRUCTURED PARKING = 53 SPACES  
SURFACE PARKING = 133 SPACES  
TOTAL PARKING = 206 SPACES

**DATE OF SURVEY**

01/18/2019

**BENCHMARKS**

- DES MOINES CITY BM#20, 50 FEET +/- SOUTH OF INTERSTATE 235, TRIANGLE CUT IN SOUTH CORNER OF GATEWELL. ELEVATION=32.04
- DES MOINES CITY BM#21, 150 FEET +/- NORTH OF INTERSTATE 235, TRIANGLE CUT IN SOUTHEAST CORNER OF GATEWELL. ELEVATION=33.37

**INDEX OF SHEETS**

NO.	DESCRIPTION
CO.1	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.0-C3.4	GRADING PLAN
C4.1	UTILITY PLAN
C5.1	STORM WATER FACILITIES MANAGEMENT PLAN
C6.1	DETAILS
L1.1	LANDSCAPE PLAN

**CITY OF DES MOINES STANDARD NOTES**

- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
- LIGHTING SHALL CONSIST OF LOW-GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE STRUCTURE OR OCCUPANCY OR SUPERSEDE OF ZONING COMPLIANCE.
- NO MECHANICAL OR UTILITY EQUIPMENT OVER 3' IN HEIGHT SHALL BE ALLOWED IN OR NEAR ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED FROM STREET LEVEL VIEW OR FROM RESIDENTIALLY ZONED PROPERTIES.
- ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM STREET LEVEL VIEW OR FROM RESIDENTIALLY ZONED PROPERTIES.
- ALL DISTURBED AREAS SHALL BE RESTORED BY SEEDING OR SOILING.
- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODES APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- ANY GROUND-MOUNTED OR WALL-MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
- ANY WALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
- ALL UTILITIES SHALL BE UNDERGROUND.
- SIGNAGE SHALL BE MONUMENT OR DIRECTORY BUT IN NO CASE SHALL BE POLE SIGNAGE.



**UTILITY WARNING**

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

**GENERAL LEGEND**

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE POLE
SANITARY SEWER	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
SILT FENCE	CABLE TV MANHOLE/VAULT
USE AS CONSTRUCTED	MAIL BOX
MINIMUM PROTECTION ELEVATION	BENCHMARK
FINISH FLOOR ELEVATION	SOIL BORING
TOP OF CURB	UNDERGROUND TV CABLE
FINISH GRADE	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, BUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2019 EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

CIVIL DESIGN ADVANTAGE  
3405 SE CROSSROADS DR, SUITE G, GRIMES, IOWA 50111  
PH: (515) 369-4400 Fax: (515) 369-4410  
PROJECT NO. 1812.645

SITE PLAN

APPROVED  APPROVED WITH CONDITION  
See Exhibit "A" attached here to.

IN ACCORDANCE WITH SECTION 82-207 (c.) 2000 Des Moines MUNICIPAL CODES AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE PLANNING DIRECTOR OR NEW AMENDED DATED PLAN.

DATE \_\_\_\_\_ PLANNING DIRECTOR \_\_\_\_\_

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY FOR CONSTRUCTION**

DATE \_\_\_\_\_

BY DECESS REVERSAL DATE IS DECEMBER 31, 2019  
PAGES OR SHEETS COVERED BY THIS SEAL:  
CD-1-C-01.

LEVEL - 1812.645

FOR AN APPROVED PLAN, THE PLAN SHALL BE SIGNED BY THE ENGINEER AND SURVEYOR. THE PLAN SHALL BE SIGNED BY THE ENGINEER AND SURVEYOR. THE PLAN SHALL BE SIGNED BY THE ENGINEER AND SURVEYOR.

