



Date June 22, 2020

RESOLUTION SETTING HEARING ON REQUEST FROM THE PINNACLE ON FLEUR, LLC FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN FOR “PINNACLE ON FLEUR” FOR PROPERTY AT 2710 FLEUR DRIVE

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on June 4, 2020, its members voted 13-0 in support of a motion to recommend **APPROVAL** of a request from Pinnacle on Fleur, LLC (owner), represented by William Kimberly (officer), regarding property located at 2710 Fleur Drive, to allow approval of a PUD Final Development Plan “Pinnacle on Fleur” to allow redevelopment of Lot 5 in the Plan for the former American Institute of Business campus property to be redeveloped with 20 household units within three row-type buildings, subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Compliance with all requirements of the approved 1st Amendment to the Village at Gray’s Lake PUD Conceptual Plan including the following:
 - A) Streetscape: Add street trees within the right-of-way spaced 30’ apart. Trees should be no closer than 15’ to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
 - B) Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15’ in height.
 - C) No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15’.
 - D) Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
 - E) Walks shall be provided between sites to adjoining properties within the PUD with shared vehicle/pedestrian ingress/egress easements.
3. Provision of the required end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover to the satisfaction of the Planning Administrator; and

WHEREAS, the property is legally described as follows:

LOT 5, THE VILLAGE AT GRAY’S LAKE, AN OFFICIAL PLAT, CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 3.06 ACRES MORE OR LESS.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed PUD Final Development Plan is to be considered shall be held on July 13, 2020, at 5:00 p.m., to be held by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community, with or without public access to the meeting location at which time the City Council will hear both those who oppose and those who favor the proposal.



Roll Call Number

Agenda Item Number

36

Date June 22, 2020

- 3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

MOVED BY _____ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

(10-2020-7.97)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

MOTION CARRIED

APPROVED

Mayor

City Clerk



June 16, 2020

Date 6.22.20

Agenda Item 36

Roll Call # _____

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their June 4, 2020 meeting, the following action was taken regarding a request from Pinnacle on Fleur, LLC represented by William Kimberly (officer) for review and approval of a PUD Final Development Plan "Pinnacle on Fleur" on property located at 2710 Fleur Drive, to allow development of 20 household units within three (3) Row Type Buildings in accordance with the approved PUD Conceptual Plan requirements.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard				X
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.

2. Compliance with all requirements of the approved 1st Amendment to the Village at Gray's Lake PUD Conceptual Plan including the following:
 - A) Streetscape: Add street trees within the right-of-way spaced 30' apart. Trees should be no closer than 15' to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
 - B) Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
 - C) No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15'.
 - D) Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
 - E) Walks shall be provided between sites to adjoining properties within the PUD with shared vehicle/pedestrian ingress/egress easements.

Provision of the required end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover to the satisfaction of the Planning Administrator.

(10-2020-7.97)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Compliance with all requirements of the approved 1st Amendment to the Village at Gray's Lake PUD Conceptual Plan including the following:
 - A) Streetscape: Add street trees within the right-of-way spaced 30' apart. Trees should be no closer than 15' to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
 - B) Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
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Provision of the required end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a

walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover to the satisfaction of the Planning Administrator.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The request would allow Lot 5 of the Village at Gray's Lake PUD to be redeveloped for a 20-unit Row Building Type multiple-household community. This would include removing the existing garages on site.
2. **Size of Site:** 3.06 acres.
3. **Existing Zoning (site):** "PUD" Planned Unit Development.
4. **Existing Land Use (site):** The property is largely vacant but is developed with a row of garages that were accessory to student apartment buildings that were demolished in 2017.
5. **Adjacent Land Use and Zoning:**
 - North** - "PUD", Uses are former dormitories, offices and classrooms for the former AIB School of Business.
 - South** - "R-3", Uses are multiple-family residential dwellings.
 - East** - Norse "PUD", Use is the Butler Mansion office building.
 - West** - "NX2", Uses include multiple-family residential development.
6. **General Neighborhood/Area Land Uses:** The subject property is located on the Fleur Drive corridor in an area that transitions from Industrial to the north to medium-to-low density residential development toward the south and west.
7. **Applicable Recognized Neighborhood(s):** The subject property is in the Southwestern Hills Neighborhood and within 250 feet of the Gray's Lake Neighborhood. All recognized neighborhoods were notified of the meeting by mailing of the Preliminary Agenda on May 15, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on May 15, 2020 (20 days prior to the hearing) and on May 22, 2020 (13 days prior to the scheduled hearing due to the Memorial Day holiday) to the Southwestern Hills Neighborhood, the Gray's Lake Neighborhood, and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on May 29, 2020.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Southwestern Hills Neighborhood Association mailings were sent to George Davis, 3124 Southwest 29th Street, Des

Moines, IA 50321 and the Gray's Lake Neighborhood Association mailings were sent to Rick Trower, 1310 Broad Street, Des Moines, IA 50315.

- 8. Relevant Zoning History:** On October 14, 2019 by Ordinance No. 15,813 the City Council rezoned the subject property from "M-3" Limited Industrial District and "R-3" Multiple Family Residential District to "PUD" Planned Unit Development District along with adoption of the Village at Gray's Lake PUD Conceptual Plan.

On May 18, 2020 by Roll Call No. 20-0863, the City Council approved the 1st Amendment to the Village at Gray's Lake PUD Conceptual Plan to allow the Lot 5 area to be redeveloped with a 20-units of multi-household rowhomes. This was subject to the following revisions to the Conceptual Plan:

- 1) Addition of a statement as to how stormwater management would be handled with future redevelopment.
- 2) Landscaping requirements should be indicated listing standards reflective of the Conceptually shown landscaping.
- 3) Provide the following notes on the PUD Conceptual Plan Amendment:
 - a. Streetscape: Street Trees should be spaced 30' apart within the right-of-way along each frontage. Trees should be no closer than 15' to a street light.
 - b. Frontage Perimeter Landscaping: The required area shall be a minimum of 12-feet in depth measured from the street property line with a 3-foot berm or landscaped screen. Shade trees and shrubs shall be provided at a minimum of 1 tree and three shrubs per 40 lineal feet on center.
 - c. Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
 - d. No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15'.
 - e. Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
 - f. Mechanical vents shall not protrude from any street facing façade. A minimum 5' sidewalk is required along each frontage. Identify either indoor or covered bike parking amenities.
 - g. Easements shall be provided for shared vehicle/pedestrian ingress/egress between sites and to the public sidewalk.
 - h. Direct light trespass beyond the property lines is prohibited. The maximum horizontal illuminance at grade and the maximum illuminance at five feet above graded measure at the property line shall not exceed illuminating Engineering Society of North America recommended practices for light trespass which is 0.5 footcandles for N districts and 2.0 footcandles for all other districts.
 - i. Any Final Development Plan shall discuss the method for trash removal service. If receptacles are not kept within the separate garages for the units, then a screening solution for their outdoor location would need to be shown on the Final Development Plan.

- j. Provisions for permitted site fencing and walls to include heights, design, and materials. Fencing in the front yard between the row townhomes and Fleur should not exceed 4 feet in height.
- 4) Revise typical Row House Type elevations to:
- a. label required materials.
 - b. show stone material wrapped around 360 degrees of the buildings on the main story level, exclusive of windows and door openings.
 - c. show end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover.
 - d. show a minimum of 12% transparency on the façade of the lower/garage floor ends of the buildings oriented toward Fleur Drive. More transparency may be required to receive tax abatement.

9. PlanDSM Future Land Use Plan Designation: Community Mixed Use.

10. Applicable Regulations: Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. PUD Conceptual Plan and Planning and Design Ordinance Requirements: After review of the submitted PUD Final Development Plan the following deficiencies are noted as required by the approved PUD Conceptual Plan Amendment:

- A) Streetscape: Add street trees within the right-of-way spaced 30' apart. Trees should be no closer than 15' to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
- B) Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
- C) No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15'.
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- E) Walks shall be provided between sites to adjoining properties within the PUD with shared vehicle/pedestrian ingress/egress easements.

2. Urban Design/Building Requirements: The submitted PUD Final Development Plan provides elevations for the Row Buildings in clusters of 5, 7 and 8 household units. There is stone proposed on all facades of the lower/garage story on all three building clusters. The upper stories and the ground story sides include at least two contrasting colors of fiber cement board panels and one lap-style fiber cement board. There are various shapes of vertical and horizontal windows on the front and back.

The PUD Conceptual Plan Amendment required that the end facade of the units closest for Fleur Drive is required have a separate prominent pedestrian entrance either from the garage or unit that would have a walkway to the private drive. This entrance is required to have an awning reflective of the building design. This is consistent with other Row House Type end facades in other developments when the main entrances of the units have not faced a public street but rather a private drive. The submitted plan does not provide for elements and any approval of the PUD Final Development Plan must be subject to meeting the requirements of the PUD Conceptual Plan as amended.

- 3. Permit & Development Center Comments:** Any development of row townhomes is subject to compliance with all applicable building codes and issuance of all necessary permits by the Permit and Development Center.

SUMMARY OF DISCUSSION

Erik Lundy suggested Item #5, #7 and #8 can be moved the consent as the applicant agrees with staff recommendations.

Jann Freed asked if any members of the public or the Commission had any concerns about moving Items #5, #7 and #8 to the consent agenda. None requested to speak.

John “Jack” Hilmes made a motion to move Items #5, #7 and #8 to the consent agenda. Motion Carried 13-0

Jann Freed asked if any members of the public or the Commission wanted to speak regarding consent agenda Items #1, #2, #5, #7 or #8. None requested to speak.

COMMISSION ACTION:

John “Jack” Hilmes made a motion for approval of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Compliance with all requirements of the approved 1st Amendment to the Village at Gray’s Lake PUD Conceptual Plan including the following:
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Motion passed: 13-0

Respectfully submitted,



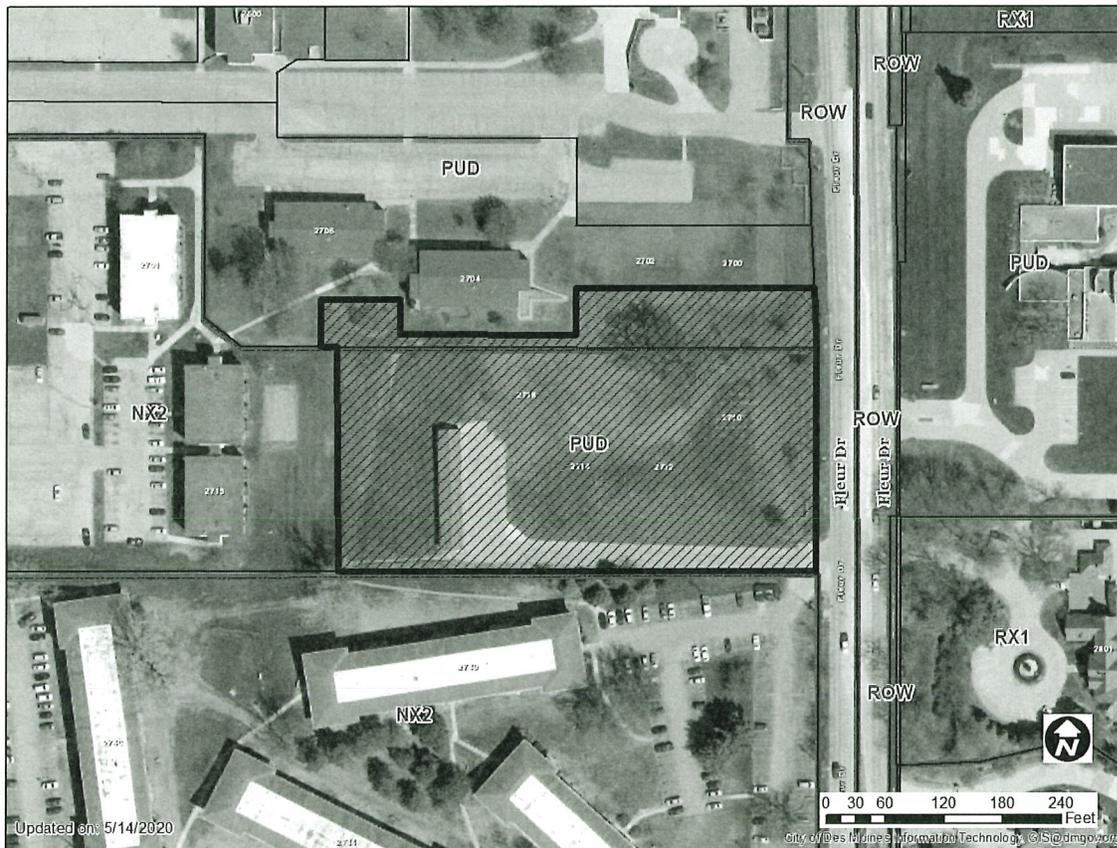
Michael Ludwig, AICP
Planning Administrator

MGL:tjh

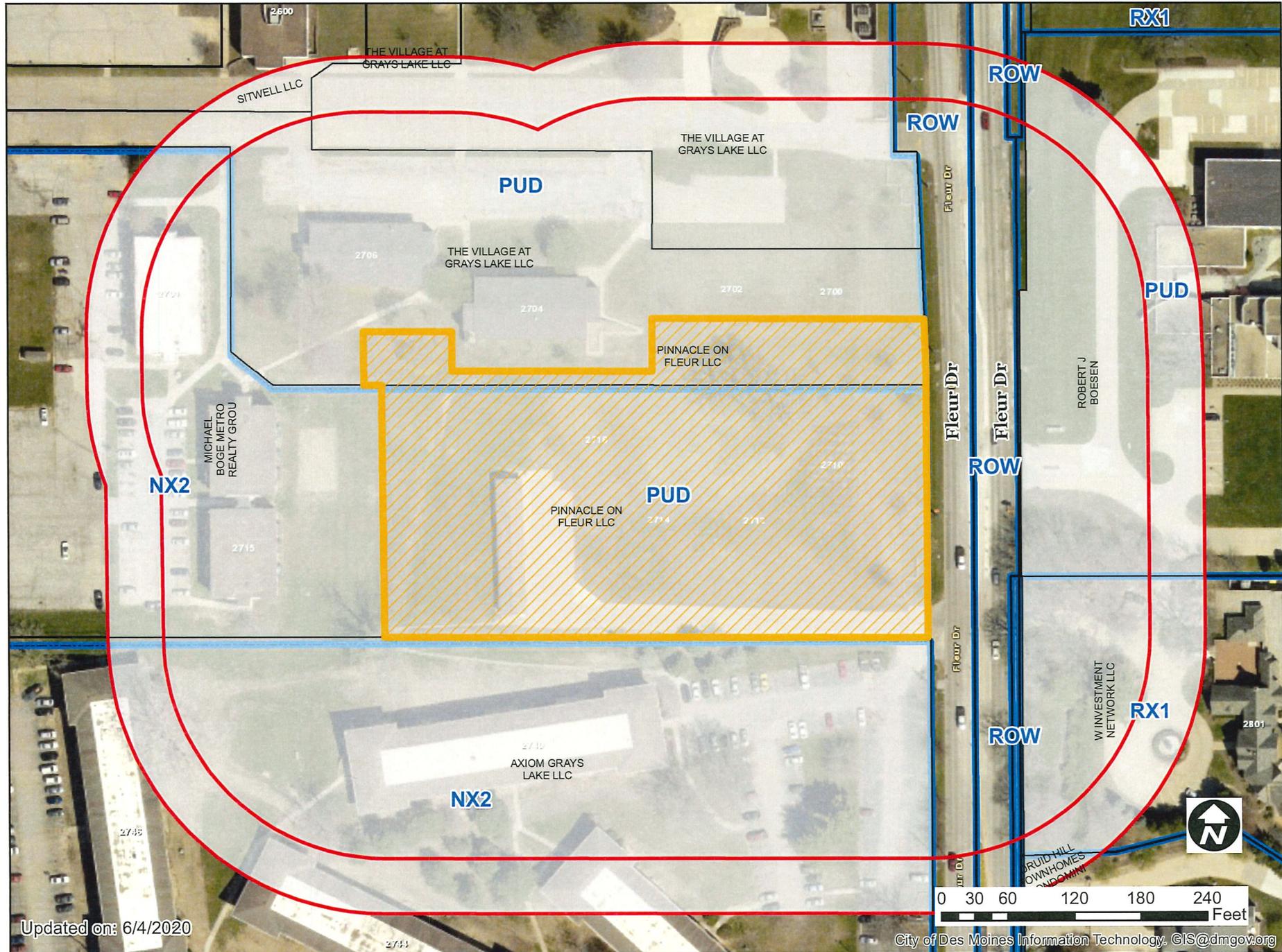
Pinnacle on Fleur, LLC represented by William Kimberly (officer) for property located at 2710 Fleur Drive.				File #	
				10-2020-7.97	
Description of Action	Review and approval of a PUD Final Development Plan "Pinnacle on Fleur", to allow development of 20 household units within three (3) Row Type Buildings in accordance with the approved PUD Conceptual Plan requirements.				
PlanDSM Future Land Use	Current: Community Mixed Use. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No planned improvements.				
Current Zoning District	Legacy "PUD" Planned Unit Development.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	0	0			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

Pinnacle on Fleur, LLC, 2710 Fleur Drive

10-2020-7.97



1 inch = 115 feet



Updated on: 6/4/2020

City of Des Moines Information Technology. GIS@dmgo.org

1 inch = 115 feet

340

GENERAL NOTES

1. ALL WORK IN THE CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
2. ALL WORK IN THE CITY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH SUBAS AND THE CITY OF DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUBAS EFFECTIVE AT THE TIME OF PLAN APPROVAL.
3. CONTACT CITY FORESTER (515) 283-1028 BEFORE ANY TREE INSTALLATION COMMENCES.
4. ANY ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
5. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS AND SHALL BE SETBACK FURTHER THAN 15 FEET FROM ANY BUILDING FACADE ORIENTED TOWARD FLEUR DRIVE.
6. LIGHTING MUST BE LOW GLARE CUT-OFF-TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
7. THE REQUIRED LANDSCAPING BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
8. ROOFTOP MECHANICAL PLANS AND SCREENING.
9. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE PUD FINAL DEVELOPMENT PLAN NEED TO BE APPROVED WITH THE PERMIT AND PROJECT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
10. A SIDEWALK/DRIVE APPROACH PERMIT IS REQUIRED.
11. LIGHTING SHALL BE PEDESTRIAN IN SCALE HAVING POLES NO TALLER THAN 20' WITH CUT-OFF DOWN DIRECTIONAL FIXTURES, AND SHALL NOT INTERFERE WITH LANDSCAPING.
12. PRIVATE WATER AND SEWER SERVICES MUST MEET IUPM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO UPC. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.
13. CURB TO BE 3-INCH ROLLED CURB PER DETAIL SHOWN ON GRADING SHEET.
14. ALL TRASH & RECYCLING SHALL BE HANDLED THROUGH RESIDENTIAL TRASH PICKUP & ALL TOTES SHALL BE STORED WITHIN GARAGES UNTIL THE DAY OF PICK-UP.

DIMENSION NOTES

1. ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH SUBAS.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON DISCOVERING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUBAS.
5. PAVEMENT SHALL BE 7-INCH P.C.C. IN PUBLIC RIGHT-OF-WAY.
6. PAVEMENT IN PARKING SHALL BE 4-INCH P.C.C.
7. ALL SIDEWALKS SHALL BE 4-INCH P.C.C.

DISTURBED AREA

133,729 S.F. (3.07 ACRES)

PARKING REQUIREMENTS

REQUIRED PARKING:
2 SPACES PER DWELLING UNIT

BIKE RACK REQUIREMENTS

REQUIRED 10% OF PROVIDED PARKING
85 x 10' x 4.5'

BENCHMARK

DES MOINES BENCHMARK #2866
BRASS PLUM IN SOUTHEAST CORNER OF TRAFFIC BASE AT THE NORTHWEST CORNER OF INTERSECTION OF BELL AVENUE AND FLEUR DRIVE
ELEVATION: 583.45

SHEET INDEX

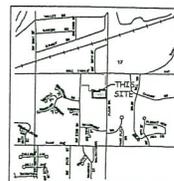
1. DIMENSION PLAN
2. DEMOLITION PLAN
3. GRADING PLAN
4. UTILITY PLAN
5. LANDSCAPE PLAN

SITE AREAS

BUILDING	32,670 S.F.	24%
PAVING	26,079 S.F.	20%
OPEN SPACE	74,980 S.F.	56% (100% REQUIRED)
TOTAL	133,729 S.F.	100%

SUSTAINABILITY ITEMS

- BIKES RACKS FOR PUBLIC USE PROVIDED AT 10% PARKING PROVIDED.
- 50% INCREASE IN REQUIRED LANDSCAPING.
- PRIMARY ENTRY WITHIN 1/4 MILE OF DART TRANSIT STOP.
- EXCEED APPLICABLE ENERGY CODE BY 15%.



VICINITY SKETCH
NORTH
SCALE: 1"=1000'

PUD FINAL DEVELOPMENT PLAN
PINNACLE ON FLEUR
Sheet 1 of 4

OWNER/APPLICANT

PINNACLE ON FLEUR, LLC
5785 NORTH AUBURN BLVD SUITE 22
AUBURN, IOWA 50003
515-963-8335
BILL@KIMBEY.COM

ZONING

THE VILLAGES AT GRAY'S LAKE PUD. (ZONING 019-00193)

PROJECT USE

MULTIPLE HOUSEHOLD ROW TYPE DWELLINGS
MAXIMUM UNITS: 20
MAX. STORY HEIGHT: 3.5

SETBACKS

FRONT-25'
REAR-25'
SIDE-25'

PARKING SETBACKS

NORTH-0'
WEST-0'
EAST-0'
SOUTH-0'

LEGAL DESCRIPTION

LOTS 5, THE VILLAGE AT GRAY'S LAKE, AN OFFICIAL PLAN, CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 3.06 ACRES MORE OR LESS.

LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
 - WATER MAIN & SIZE
 - SAN — SANITARY SEWER & SIZE
 - ST — STORM SEWER & SIZE
 - USE — UNDERGROUND ELECTRIC CABLE
 - UST — UNDERGROUND TELEPHONE CABLE
 - CTV — UNDERGROUND CABLE TV
 - 6" — 6" GAS MAIN & SIZE
 - MANHOLE
 - INTAKE
 - ▽ WYEBRANT
 - POWER POLE/LIGHT POLE
 - UTILITY BOX/TELEPHONE RISER
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SILTY FENCE OR APPROVED FILTRATION SOCK
 - TREES

CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRADLEY R. COOPER
IOWA LICENSE NO. 12989
IOWA LICENSE RENEWAL DATE 25 DECEMBER 31, 2023
PAGES ON SHEETS COVERED BY THIS SEAL
SHEET 1-4

COOPER CRAWFORD & ASSOCIATES, L.L.C.
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-26-2020 JOB NUMBER: CC 2241
REVISIONS: 0-6-2020 SHEET 1 OF 5

APPROVED: [Signature] INITIALS: [Signature] AS-BUILT: [Signature]

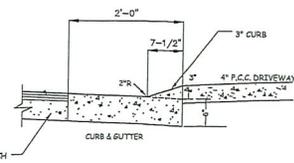
DIMENSION PLAN
PINNACLE ON FLEUR

PUD FINAL DEVELOPMENT PLAN APPROVAL

APPROVED APPROVED WITH CONDITION

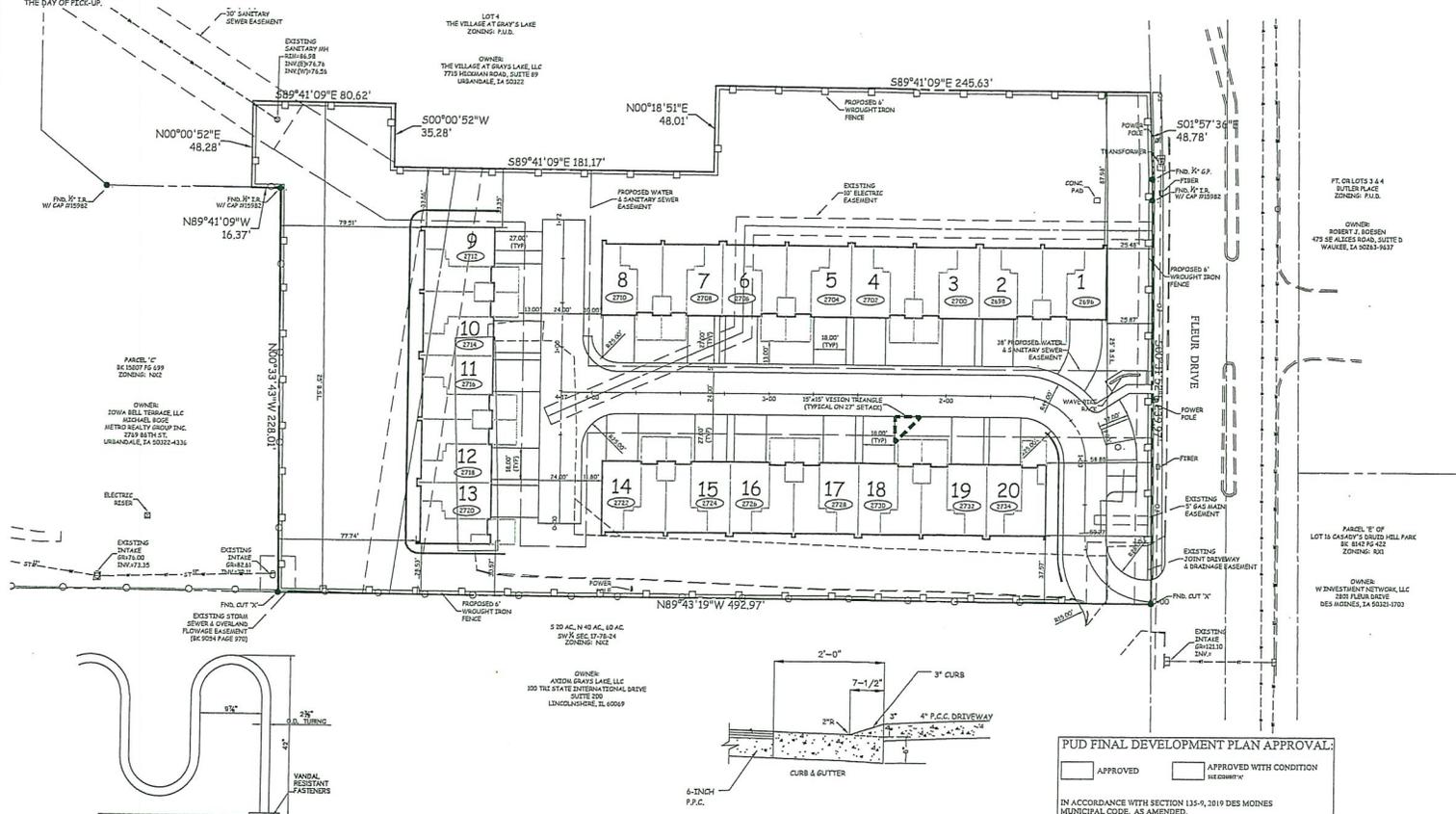
IN ACCORDANCE WITH SECTION 135-4, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.
NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.

DATE: _____ CITY COUNCIL
DATE: _____ COMMUNITY DEVELOPMENT DIRECTOR



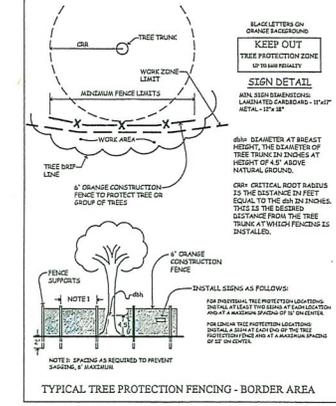
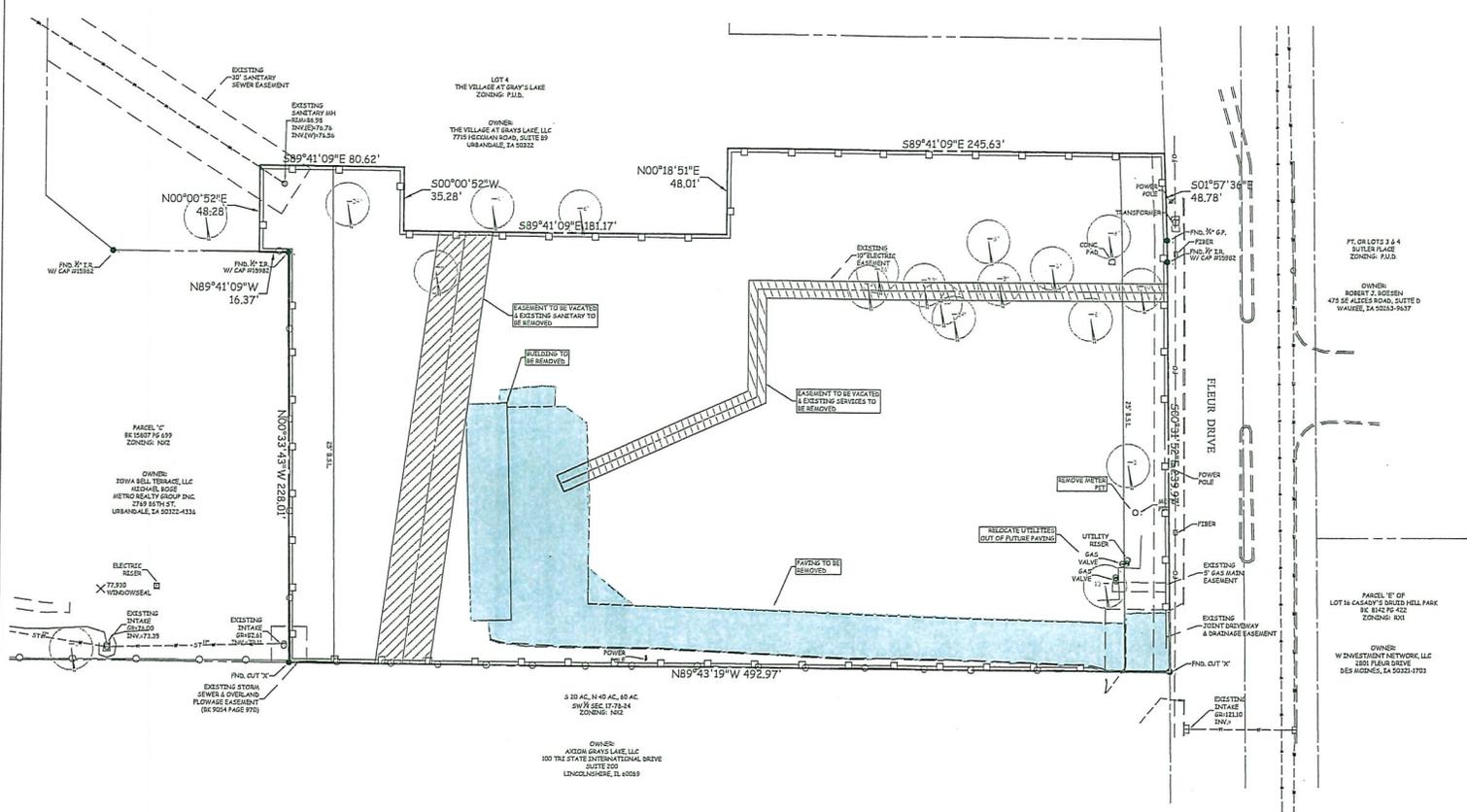
CURB DETAIL
NO SCALE

WAVE STYLE BIKE RACK
NO SCALE



PINNACLE ON FLEUR

Sheet 2 of 5



TREE REPLACEMENT CALCULATIONS
 BASED ON (1) 24" CALIPER AND (1) 30" CALIPER TREES TO BE REMOVED = 2,000 S.F. CANOPY.
 REQUIRED: (1) TREE PER 2,000 S.F. OF CANOPY REMOVED = 1 TREE

LEGEND

EXISTING/PROPOSED

- PLAT BOUNDARY
- W --- WATER MAIN & SIZE
- SAN --- SANITARY SEWER & SIZE
- ST --- STORM SEWER & SIZE
- UGE --- UNDERGROUND ELECTRIC CABLE
- UGT --- UNDERGROUND TELEPHONE CABLE
- CTV --- UNDERGROUND CABLE TV
- G --- GAS MAIN & SIZE
- MANHOLE
- INTAKE
- HYDRANT
- POWER POLE/LIGHT POLE
- UTILITY BOX/TELEPHONE RISER
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE OR APPROVED FILTRATION SOCK
- TREES

COOPER CRAWFORD & ASSOCIATES, L.L.C.
 CIVIL ENGINEERS

475 S. 50th STREET, SUITE 300, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 2-26-2020 REVISIONS: 5-14-2020

SCALE: 1"=30'

APPROVED: [Signature] INITIALS: [Signature] AS-BUILT: [Signature]

CC 2241

DEMOLITION PLAN
 PINNACLE ON FLEUR

SHEET 2 OF 5

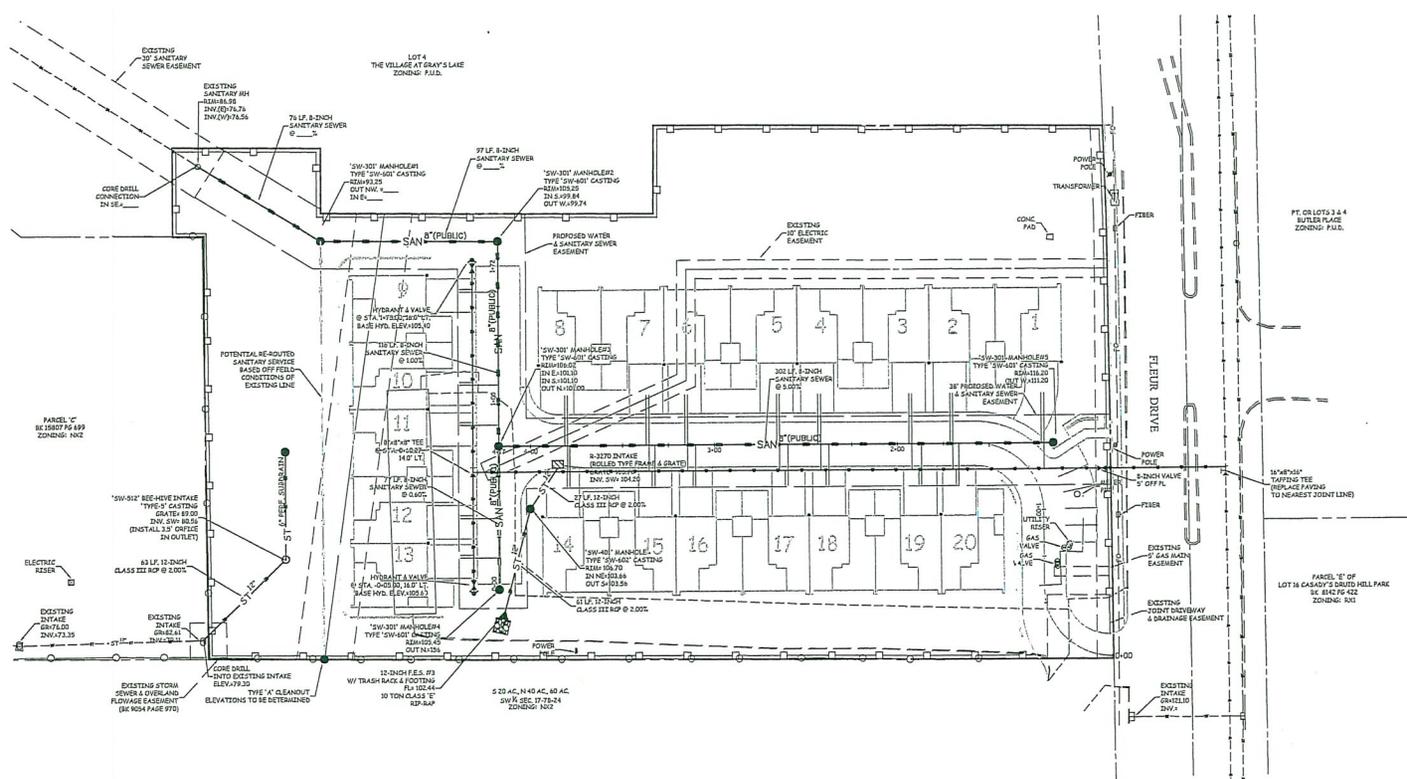


PINNACLE ON FLEUR

Sheet 4 of 5

NOTES

1. ALL ELECTRICAL, TELEPHONE AND CABLE TELEVISION TRANSMISSION SYSTEMS SHALL BE PLACED UNDERGROUND.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH URBAN DESIGN STANDARDS, CITY OF URUNDALE SUPPLEMENTAL SPECIFICATIONS AND URUNDALE WATER UTILITY STANDARD SPECIFICATION.
5. THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.
6. PRIVATE STORM SEWER SHALL BE INSTALLED BY PLUMBING PERMIT AND MEET ALL PLUMBING CODES.
7. ALL GRADING, SEWER TRENCH EXCAVATION AND BUILDING FOUNDATIONS SHALL COMPLY WITH THE SOILS INVESTIGATION REPORT.
8. EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
9. FIRE HYDRANTS SHALL BE LOCATED AND INSTALLED PER URBAN DESIGN STANDARDS.
10. ALL UTILITY SERVICE LINES TO THE PROPERTY WILL BE UNDERGROUND.



LEGEND

EXISTING/PROPOSED

- PLAT BOUNDARY
- W 8" WATER MAIN & SIZE
- SAN 8" SANITARY SEWER & SIZE
- ST 18" STORM SEWER & SIZE
- USE --- UNDERGROUND ELECTRIC CABLE
- UGT --- UNDERGROUND TELEPHONE CABLE
- CTV --- UNDERGROUND CABLE TV
- G --- GAS MAIN & SIZE
- MANHOLE
- INTAKE
- ▽ FIDUCIARY
- POWER POLE/LIGHT POLE
- UTILITY BOX/TELEPHONE RISER
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE OR APPROVED FILTRATION SOCK
- TREES

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DATE: 3-14-2020 REVISIONS: 3-14-2020

JOB NUMBER: CC 2241

DATE: 3-14-2020

SCALE: 1"=30'

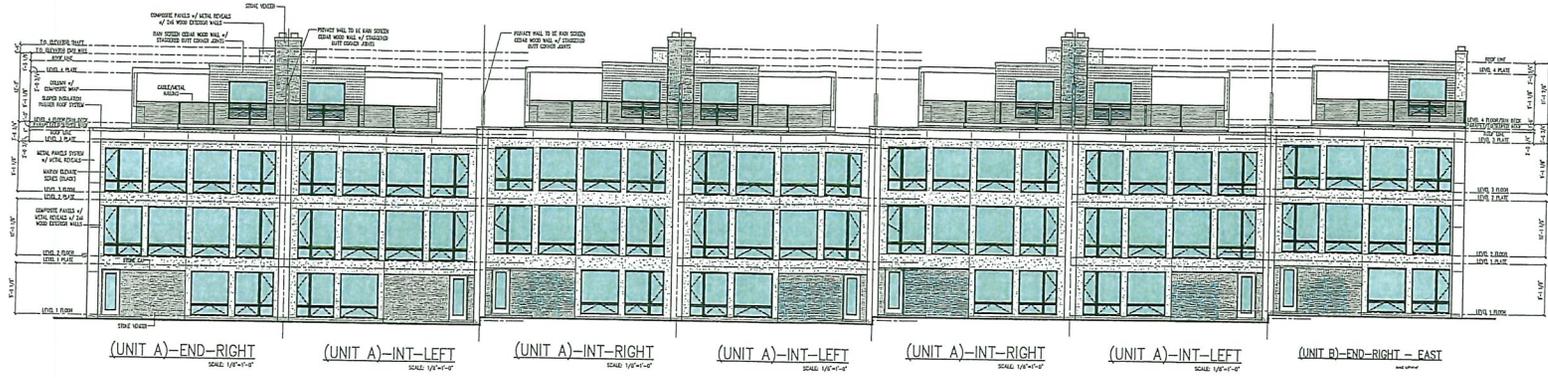
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UTILITY PLAN
 PINNACLE ON FLEUR

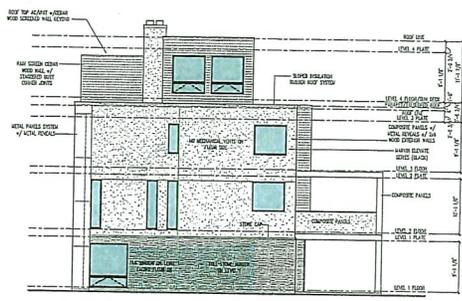
SHEET 4 OF 5

BENCHMARK
 DES MOINES BENCHMARK #2886
 BRASS PLUG IN SOUTHEAST CORNER OF TRAFFIC
 BASE AT THE NORTHWEST CORNER OF
 INTERSECTION OF BELL AVENUE AND FLEUR DRIVE.
 ELEVATION: 68.145

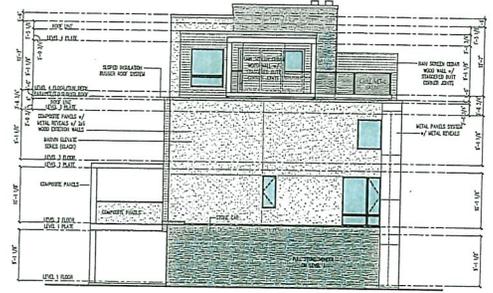




REAR ELEVATION (CLUSTER 7)



(UNIT B)-END-RIGHT-EAST - FLEUR DR
LEFT ELEVATION (CLUSTER 7)



(UNIT A)-END-RIGHT
RIGHT ELEVATION (CLUSTER 7)



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FRONT ELEVATION (CLUSTER 7)

Review Set-Not For Construction - 05.18.20

Pinnacle on Fleur (7 Unit Complex)

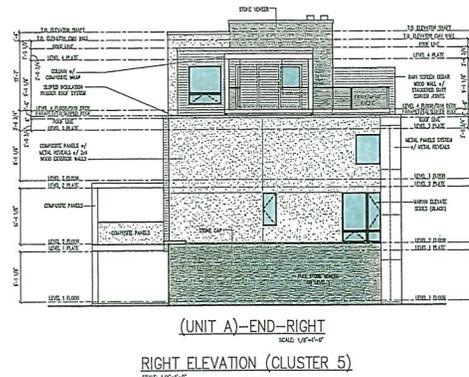
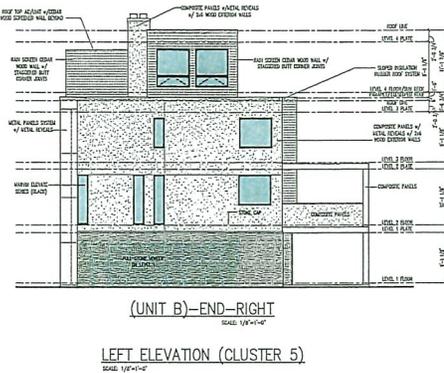
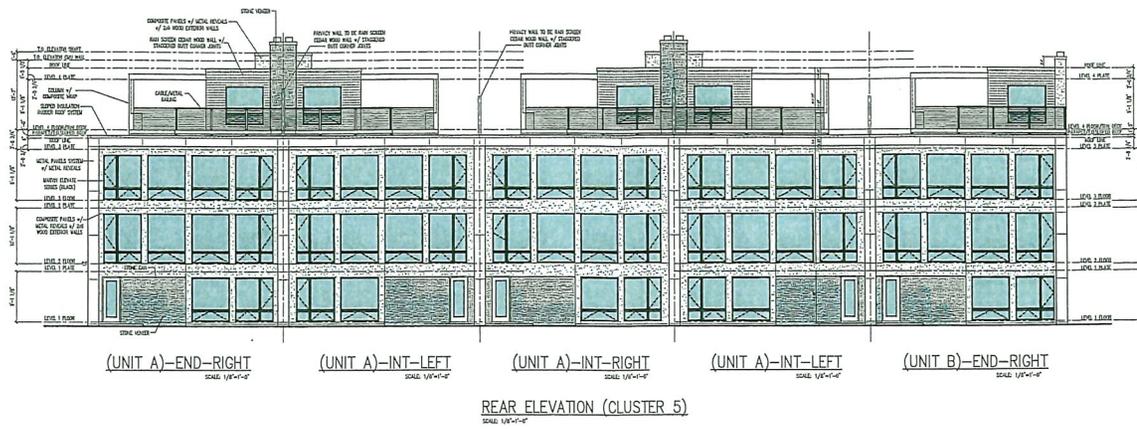
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Project No:	2000020
Date:	05/18/20
Drawn By:	JAR/RS
Checked:	
Scale:	
Sheet Title:	
Cluster:	
Drawings:	
Sheet No.:	2.0



Professional Seal of Jeffrey A. Bains, Registered Professional Architect, No. 15178, State of Utah. Date: 1/18/2020.

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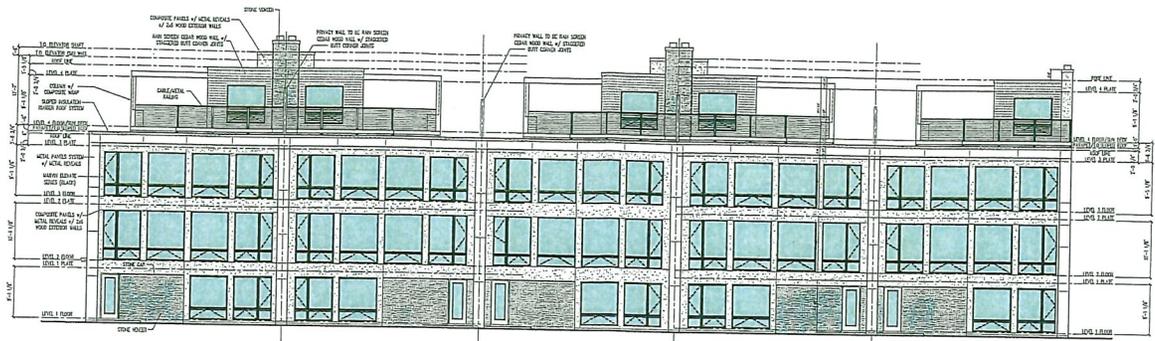
Pinnacle on Fleur (5 Unit Complex)

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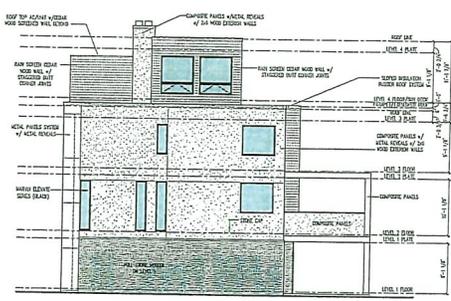
design group
ALLER
ARCHITECTURE
RAINS

Project No.	30000102
Date	
Drawn By	JAB/RS
Scale	
Sheet Title	
CLUSTER	
ELEVATIONS	
Sheet No.	2.0



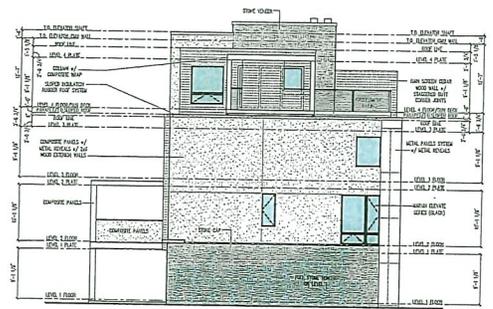
(UNIT A)-END-RIGHT SCALE 1/8"=1'-0"
 (UNIT A)-INT-LEFT SCALE 1/8"=1'-0"
 (UNIT A)-INT-RIGHT SCALE 1/8"=1'-0"
 (UNIT A)-INT-LEFT SCALE 1/8"=1'-0"
 (UNIT B)-END-RIGHT SCALE 1/8"=1'-0"

REAR ELEVATION (CLUSTER 5)
 SCALE 1/8"=1'-0"



(UNIT B)-END-RIGHT
 SCALE 1/8"=1'-0"

LEFT ELEVATION (CLUSTER 5)
 SCALE 1/8"=1'-0"



(UNIT A)-END-RIGHT
 SCALE 1/8"=1'-0"

RIGHT ELEVATION (CLUSTER 5)
 SCALE 1/8"=1'-0"



(UNIT B)-END-RIGHT SCALE 1/8"=1'-0"
 (UNIT A)-INT-LEFT SCALE 1/8"=1'-0"
 (UNIT A)-INT-RIGHT SCALE 1/8"=1'-0"
 (UNIT A)-INT-LEFT SCALE 1/8"=1'-0"
 (UNIT A)-END-RIGHT SCALE 1/8"=1'-0"

FRONT ELEVATION (CLUSTER 5)
 SCALE 1/8"=1'-0"



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Review Set- Not For Construction - 05.18.20
 Pinnacle on Fleur (5 Unit Complex)

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 Phone: 913-514-1100
 10/15/2019

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Sheet No. 20000000

Date:	
Drawn By:	JL/RV/JS
Revisions:	
Sheet Title:	CLUSTER ELEVATIONS
Sheet No.:	2.0

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