



Date June 22, 2020

RESOLUTION SETTING HEARING ON REQUEST FROM THE VILLAGE AT GRAY'S LAKE, LLC FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN FOR "VILLAGE AT GRAY'S LAKE LOT 3" FOR PROPERTY AT 2580 FLEUR DRIVE

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on June 4, 2020, its members voted 13-0 in support of a motion to recommend APPROVAL of a request from the Village at Gray's Lake, LLC (owner), represented by Jason Grove (officer), regarding property located at 2580 Fleur Drive, to allow approval of a PUD Final Development Plan "Village at Gray's Lake Lot 3" to allow renovation of the existing 3-story, 10,634-square foot office building on the former American Institute of Business campus and required site improvements, subject to the following conditions:

- 1. Compliance with all comments of the administrative review of the PUD Final Development Plan.
2. Indication of all existing site plantings on the landscape plan in accordance with the requirement to preserve existing plantings.
3. Provision of sufficient interior lot landscape to meet the minimum requirement of one per nine spaces.
4. Provision of frontage perimeter landscaping to meet the minimum requirement of a 3-foot berm or landscape screen and landscaping consisting of one shade tree and three shrubs per 40 linear feet of frontage; and

WHEREAS, the property is legally described as follows:

LOT 3, THE VILLAGE AT GRAY'S LAKE (BOOK 17686 PAGE 474), AN OFFICIAL PLAT, CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 3.04 ACRES MORE OR LESS.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

- 1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed PUD Final Development Plan is to be considered shall be held on July 13, 2020, at 5:00 p.m., to be held by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community, with or without public access to the meeting location at which time the City Council will hear both those who oppose and those who favor the proposal.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

FORM APPROVED: /s/ Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

MOVED BY TO ADOPT. (10-2020-7.111)

Table with 5 columns: COUNCIL ACTION, YEAS, NAYS, PASS, ABSENT. Rows include COWNIE, BOESEN, GATTO, GRAY, MANDELBAUM, VOSS, WESTERGAARD, and TOTAL.

CERTIFICATE

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

MOTION CARRIED APPROVED

Mayor

City Clerk



June 16, 2020

Date 6-22-20
 Agenda Item 37
 Roll Call # _____

Honorable Mayor and City Council
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their June 4, 2020 meeting, the following action was taken regarding a request from The Village at Gray's Lake, LLC (owner) represented by Jason Grove (officer) for review and approval of a PUD Final Development Plan "Village at Gray's Lake Lot 3" for property located at 2580 Fleur Drive, to allow renovation of the existing 3-story, 10,634-square foot office building and required site improvements.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard				X
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the proposed PUD Final Development Plan for "Village at Gray's Lake Lot 3" subject to the following conditions:

1. Compliance with all comments of the administrative review of the PUD Final Development Plan.

2. Indication of all existing site plantings on the landscape plan in accordance with the requirement to preserve existing plantings.
3. Provision of sufficient interior lot landscape to meet the minimum requirement of 1 per 9 spaces.
4. Provision of frontage perimeter landscaping to meet the minimum requirement of a 3-foot berm or landscape screen and landscaping consisting of 1 shade tree and 3 shrubs per 40 linear feet of frontage.

(10-2020-7.111)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed PUD Final Development Plan for “Village at Gray’s Lake Lot 3” subject to the following conditions:

1. Compliance with all comments of the administrative review of the PUD Final Development Plan.
2. Indication of all existing site plantings on the landscape plan in accordance with the requirement to preserve existing plantings.
3. Provision of sufficient interior lot landscape to meet the minimum requirement of 1 per 9 spaces.
4. Provision of frontage perimeter landscaping to meet the minimum requirement of a 3-foot berm or landscape screen and landscaping consisting of 1 shade tree and 3 shrubs per 40 linear feet of frontage.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is seeking to renovate a 3-story, 10,634-square foot office building on the former American Institute of Business campus. Based on the requirements of the Village at Gray’s Lake PUD Conceptual Plan, a Final Development Plan must be reviewed for compliance with the standards approved in that Plan.
2. **Size of Site:** 3.045 acres.
3. **Existing Zoning (site):** Legacy “PUD” Planned Unit Development.
4. **Existing Land Use (site):** Vacant office building and on-site surface parking.
5. **Adjacent Land Use and Zoning:**
 - North** – “EX” & “PUD”, Uses include warehousing and production campus for Stone Container and former American Institute of Business dormitories proposed to be renovated into 93 multi-household units.
 - South** – “PUD”, Uses include former AIB classroom building, Academic Center building proposed for professional offices, and proposed development of 3-story Row Building Type townhomes.

East – “PUD”, Uses include Fleur Drive right-of-way and office buildings.

West – “PUD”, Uses include former American Institute of Business buildings and the former AIB Gymnasium, proposed to be the Village at Gray’s Lake Activities Center.

6. **General Neighborhood/Area Land Uses:** The subject property is located southwest of the intersection of Bell Avenue and Fleur Drive within the former AIB campus. The area is a mix of residential densities to the south and west into the primarily low density Southwestern Hills Neighborhood. East of Fleur Drive is a mix of office and medium density residential transitioning into the primarily low density residential Gray’s Lake Neighborhood to the east.
7. **Applicable Recognized Neighborhood(s):** The subject property is in the Southwestern Hills Neighborhood and within 250 feet of the Gray’s Lake Neighborhood. All neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda to all recognized neighborhood associations on May 15, 2020 and by mailing of the Final Agenda on May 28, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on May 25, 2020 (10 days prior) to the neighborhood associations and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the subject property. The Southwestern Hills Neighborhood Association mailings were sent to George Davis, 3124 Southwest 29th Street, Des Moines, IA 50321 and the Gray’s Lake Neighborhood Association mailings were sent to Rick Trower, 1310 Broad Street, Des Moines, IA 50315.
8. **Relevant Zoning History:** On October 14, 2019 by Ordinance No. 15,813 the City Council rezoned from “M-3” Limited Industrial District and “R-3” Multiple Family Residential District to “PUD” Planned Unit Development District along with adoption of the Village at Gray’s Lake PUD Conceptual Plan.
9. **PlanDSM Future Land Use Plan Designation:** Community Mixed Use.
10. **Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all amendments to existing PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Utilities:** The site has access to all necessary utilities. Existing sanitary sewer and storm sewer service are available in the Fleur Drive right-of-way. Existing water service for the buildings is available through an 8-inch Des Moines Water Works water main in the Bell Avenue right-of-way.
2. **Landscaping & Buffering:** Final Development Plans in Village at Gray’s Lake PUD are required to comply with interior lot and parking island, frontage perimeter landscaping, and streetscape requirements. The PUD also requires retention of existing plantings on the property.

The Final Development Plan landscaping plan must reflect 1 landscape island per 9 spaces in interior parking lots and proper striping; a frontage perimeter landscaping of 3-foot berm or landscape screen and landscaping consisting of 1 shade tree and 3 shrubs per 40 linear feet of frontage; and any required streetscape design and landscaping in accordance with PDC comments and to the satisfaction of the Planning Administrator.

- 3. Traffic/Street System:** The PUD Conceptual Plan required provision of sidewalk along all public street frontages. The proposed Final Development Plan must show public sidewalk along the Bell Avenue and Fleur Drive frontages.

There is a project identified in the Long-Range Transportation Plan for the Metropolitan Area: Mobilizing Tomorrow, that would include improvements to Fleur Drive adjoining the PUD to the east in the current construction season. This will also include installation of public sidewalks.

SUMMARY OF DISCUSSION

Jann Freed asked if any member of the public or the commission desired to speak on the item. None requested to speak.

COMMISSION ACTION:

John "Jack" Hilmes made a motion for approval of the proposed PUD Final Development Plan for "Village at Gray's Lake Lot 3" subject to the following conditions:

1. Compliance with all comments of the administrative review of the PUD Final Development Plan.
2. Indication of all existing site plantings on the landscape plan in accordance with the requirement to preserve existing plantings.
3. Provision of sufficient interior lot landscape to meet the minimum requirement of 1 per 9 spaces.
4. Provision of frontage perimeter landscaping to meet the minimum requirement of a 3-foot berm or landscape screen and landscaping consisting of 1 shade tree and 3 shrubs per 40 linear feet of frontage.

Motion passed: 13-0

Respectfully submitted,



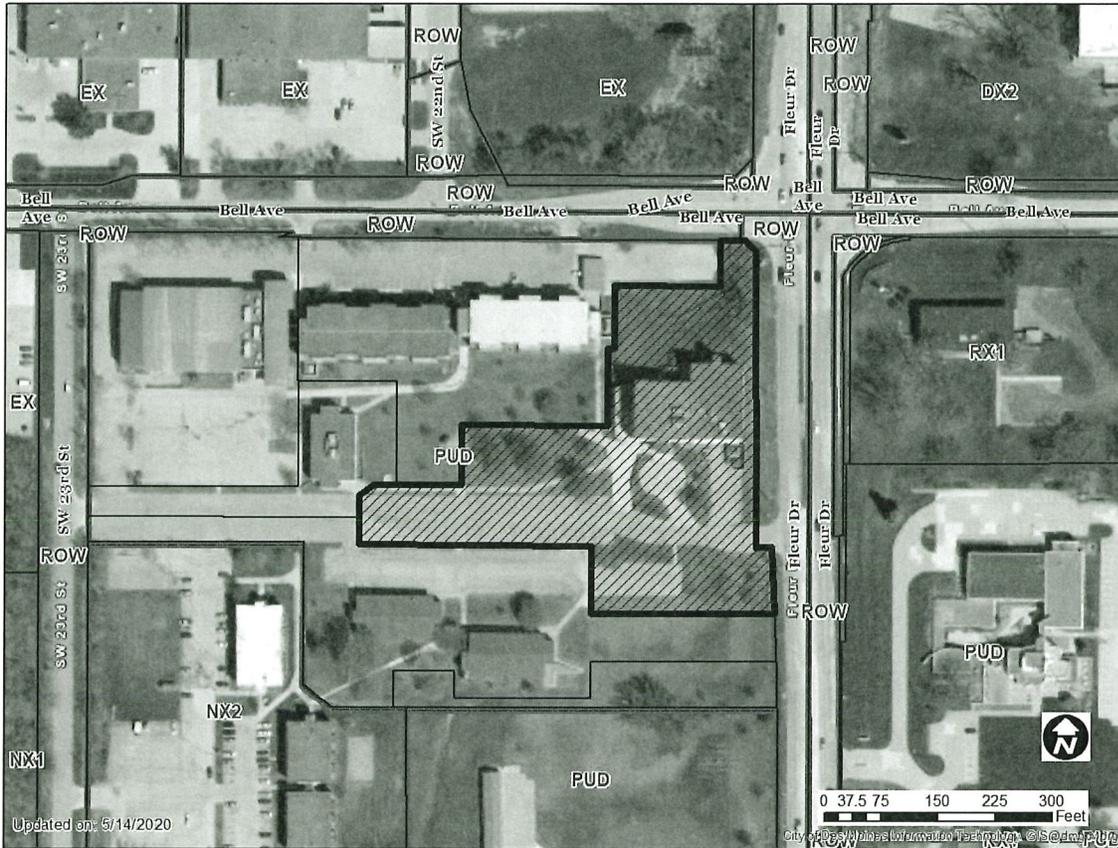
Michael Ludwig, AICP
Planning Administrator

MGL:tjh

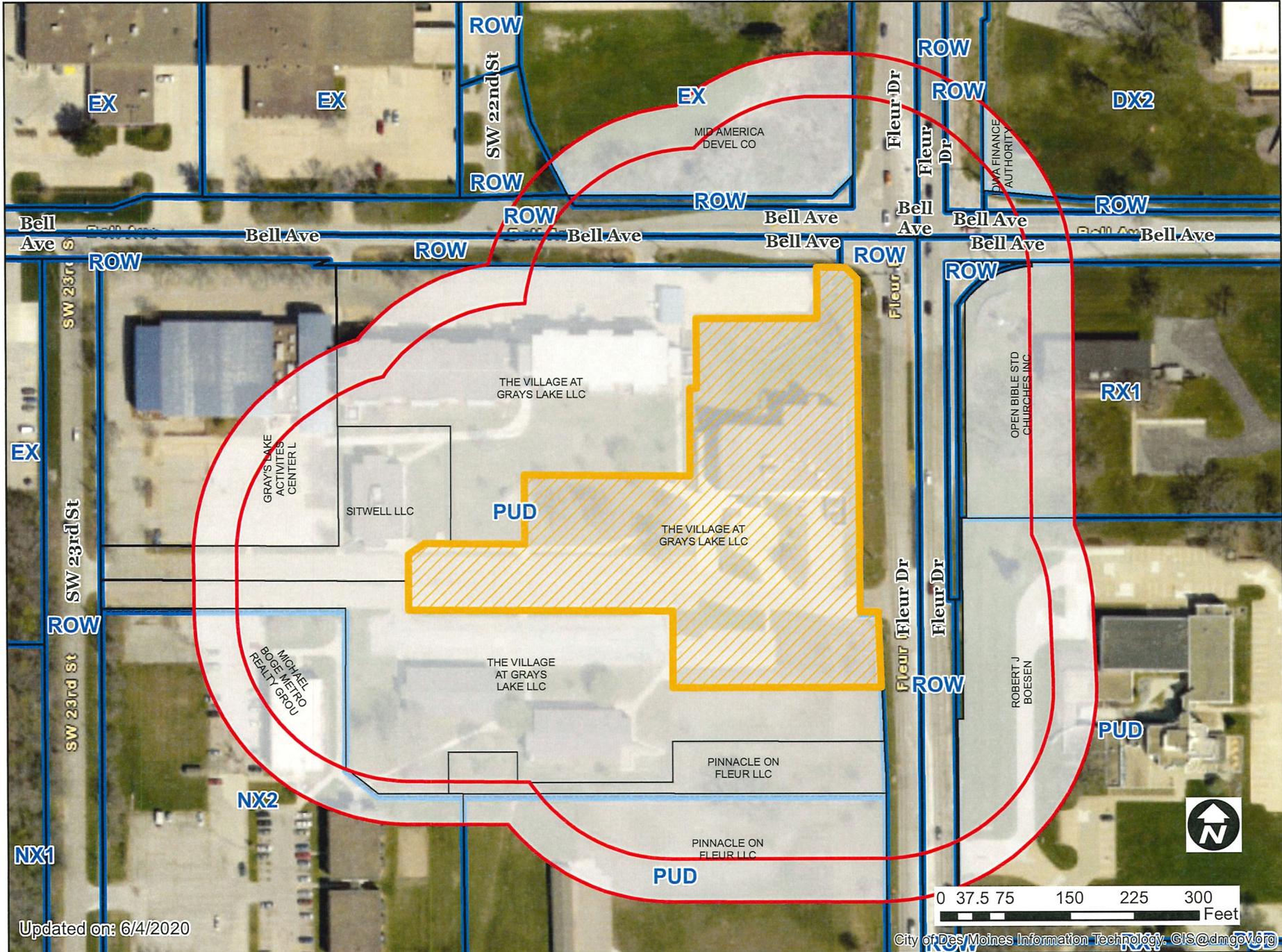
The Village at Gray's Lake, LLC (owner) represented by Jason Grove (officer) ” for property located at 2580 Fleur Drive.				File # 10-2020-7.111
Description of Action	Review and approval of a PUD Final Development Plan “Village at Gray’s Lake Lot 3, to allow renovation of the existing 3-story, 10,634-square foot office building and required site improvements.			
PlanDSM Future Land Use	Current: Community Mixed Use. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	No planned improvements.			
Current Zoning District	Legacy “PUD” Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	0	0		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No

The Village at Gray's Lake, LLC, 2580 Fleur Drive

10-2020-7.111



1 inch = 148 feet



Updated on: 6/4/2020

City of Des Moines Information Technology, GIS@dm.gov

1 inch = 148 feet

37

SITE PLAN

FOR

THE VILLAGE AT GRAY'S LAKE LOT 3 2580 FLEUR DRIVE DES MOINES, IOWA

LEGAL DESCRIPTION:
Lot 3, The Village at Gray's Lake (BA 17688 Pkg 474) an Official Plat, all being in and forming a part of the City of Des Moines, Polk County, Iowa.

SITE ADDRESS
2580 FLEUR DRIVE
DES MOINES, IOWA 50312

SITE USE
COMMERCIAL OFFICE BUILDINGS

ZONING
EXISTING: THE VILLAGE AT GRAY'S LAKE PUD ZON2019-00152
PROPOSED: N/A
ADJACENT ZONING:
NORTH: M-1 LIGHT INDUSTRIAL DISTRICT
EAST: FLEUR DRIVE
SOUTH: THE VILLAGE AT GRAY'S LAKE PUD ZON2019-00152
WEST: THE VILLAGE AT GRAY'S LAKE PUD ZON2019-00152

BUILDINGS
EXISTING - 10,034 SQ.FT.
PROPOSED - N/A

BUILDING USES
COMMERCIAL OFFICE SPACE

MAX BUILDING HEIGHT
REQUIRED: LESSER OF 3 STORIES OR 45 FT
EXISTING: ---

MAX FLOOR AREA RATIO
NONE

PAVING
APPROACHES: 8" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
PARKING LOT: 8" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
PROPOSED CURB: 8" STANDARD CURB

SITE AREA
3.04 ACRES (132,659 SQ.FT.)

OPEN SPACE
EXISTING - 57% (75,168 SQ.FT.)

IMPERVIOUS SPACE
EXISTING - 43% (57,205 SQ.FT.)

PARKING
REQUIRED: 55 SPACES PUD ZON2019-00152
58 SPACES EXISTING (INCLUDING 3 HANDICAP PARKING SPOTS)

DISTURBED AREAS
ESTIMATED - 50 SQ.FT.
ALL DISTURBED AREAS SHALL BE SEEDED OR SOODED.
THE DISTURBED AREA FOR THIS SITE IS GREATER/LESS THAN 1 ACRE, THEREFORE A NPDES PERMIT IS NOT REQUIRED.

FLOODPLAIN
PER FEMA MAP #1915C0035F & 1915C0045F, THE SITE IS LOCATED IN ZONE X, AREAS IN WHICH AREA OF MINIMAL FLOOD HAZARD

FAA
PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED

SETBACKS
FRONT SETBACK: 25 FEET, MINIMUM
SIDE SETBACK: NONE
PARKING SETBACK: 7 FEET MINIMUM ALONG FLEUR DRIVE

NUMBER OF EMPLOYEES
22 EMPLOYEES TOTAL

VICINITY MAP



SITE LOCATION

SHEET INDEX

- C-001 - COVER SHEET
- C-002 - NOTE SHEET
- C-101 - SITE PLAN
- C-301 - UTILITY PLAN
- C-701 - LANDSCAPE PLAN

IOWA ONECALL CONTACT LIST:

- (CDT) CITY OF DES MOINES TRAFFIC
CONTACT NAME: MARK POLYAK
CONTACT PHONE: 5152534109
CONTACT EMAIL: MAFpoly@dmgov.org
- (DMS) DES MOINES, CITY OF SEWER
CONTACT NAME: STEVE JOHNSON
CONTACT PHONE: 5152371359
CONTACT EMAIL: sqjohnson@dmgov.org
- (T17) MEDIACOM COMMUNICATIONS CORP
CONTACT NAME: PAUL MAY
CONTACT PHONE: 5152422352
CONTACT EMAIL: pmay@mediacom.com
- (ENY) CONSOLIDATED COMMUNICATIONS
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CONTACT PHONE: 7205783050
CONTACT EMAIL: THOMAS.STURMER@CENTURYLINK.COM
- (WINA) WINDSTREAM COMMUNICATIONS
CONTACT NAME: LOCATE DESK
CONTACT PHONE: 8002851901
CONTACT EMAIL: LOCATEDESK@WINDSTREAM.COM
- (MSE) MIDAMER-ELEC
CONTACT NAME: CRAIG RANFELD
CONTACT PHONE: 5152325932
CONTACT EMAIL: MCDMSDESIGNLOCATES@MIDAMERICAN.COM
- (DWW) DES MOINES WATER WORKS
CONTACT NAME: CHRIS MLYNARUK OR JANA HODGES
CONTACT PHONE: 5152338729 CONTACT EMAIL: MLYNARUK@DMWW.COM OR HODGES@DMWW.COM
- (ZAV) ZAVO GROUP LLC
CONTACT NAME: GEORGE HUSS
CONTACT PHONE: 482423-2023
CONTACT EMAIL: george.huss@zavo.com
- (STL01) CENTURYLINK
CONTACT NAME: TOM STURMER
CONTACT PHONE: 7205783050
CONTACT EMAIL: THOMAS.STURMER@CENTURYLINK.COM
- (IOWA) IOWA COMMUNICATIONS NEWYORK
CONTACT NAME: SHANNON MARLOW
CONTACT PHONE: 8002723940
CONTACT EMAIL: shannonmarlow@iowa.gov
- (NS) AUREON NETWORK SERVICES
CONTACT NAME: JEFF KLOCH
CONTACT PHONE: 5158300445
CONTACT EMAIL: jef.kloch@aureon.com
- (MST) MIDAMER-GAS
CONTACT NAME: CRAIG RANFELD
CONTACT PHONE: 5152328832
CONTACT EMAIL: MCDMSDESIGNLOCATES@MIDAMERICAN.COM
- (ICN) IOWA COMMUNICATIONS NEWYORK
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CONTACT PHONE: 8002723940
CONTACT EMAIL: shannonmarlow@iowa.gov
- (NS) AUREON NETWORK SERVICES
CONTACT NAME: JEFF KLOCH
CONTACT PHONE: 5158300445
CONTACT EMAIL: jef.kloch@aureon.com

DEVELOPER
THE VILLAGE AT GRAY'S LAKE LLC
28445 GRANITE CT
ADEL, IA 50003
PROJECT CONTACT: JASON GROVE
PHONE: 515-328-0887
EMAIL: JASONGROVE@HOLDINGS.CO.COM

ENGINEER/ LAND SURVEYOR
PELDS DESIGN SERVICES
2323 DIXON ST
DES MOINES, IOWA 50319
PROJECT CONTACT: ED PELDS
PHONE: (515) 265-8198
EMAIL: ED@PELDS.COM

CITY CONTACT
DES MOINES PERMIT AND DEVELOPMENT CENTER
602 ROBERT D. RAY DRIVE
DES MOINES, IOWA 50319
PROJECT CONTACT: FRANK DUNNY-YOUNG
PHONE: 515-283-4743
EMAIL: FRANKDUNNY@DMOYOUNG.ORG

ARCHITECT
PELDS DESIGN SERVICES
2323 DIXON STREET
DES MOINES, IOWA 50319
PROJECT CONTACT: DANIEL WILLRICH
PHONE: 515-265-8198
EMAIL: DANIEL@PELDS.COM

SITE PLAN
 APPROVED APPROVED WITH CONDITION
See exhibit "A" attached hereto.

IN ACCORDANCE WITH SECTION 82-207(C), 2000 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE PLANNING DIRECTOR OR NEW AMENDED DATED PLAN.

DATE: _____ PLANNING DIRECTOR: _____

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and I am a duly licensed professional engineer under the laws of the State of Iowa.

Daniel C. Willrich
License Number: 05427
License Renewal date is: 6-30-2021
Paper or sheets owned by: DMW
LANDSCAPE

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PROFESSIONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

WOLDEBARD L. PELDS, P.E.
IOWA
18842

WOLDEBARD L. PELDS, P.E. IA, LIC. NO. 18842 DATE: MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021. ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HEREIN). C-2021-C-001

PELDS DESIGN SERVICES
Architecture | Engineering | Surveying
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8198

THE VILLAGE AT GRAY'S LAKE LOT 3
2580 FLEUR DRIVE
DES MOINES, IOWA

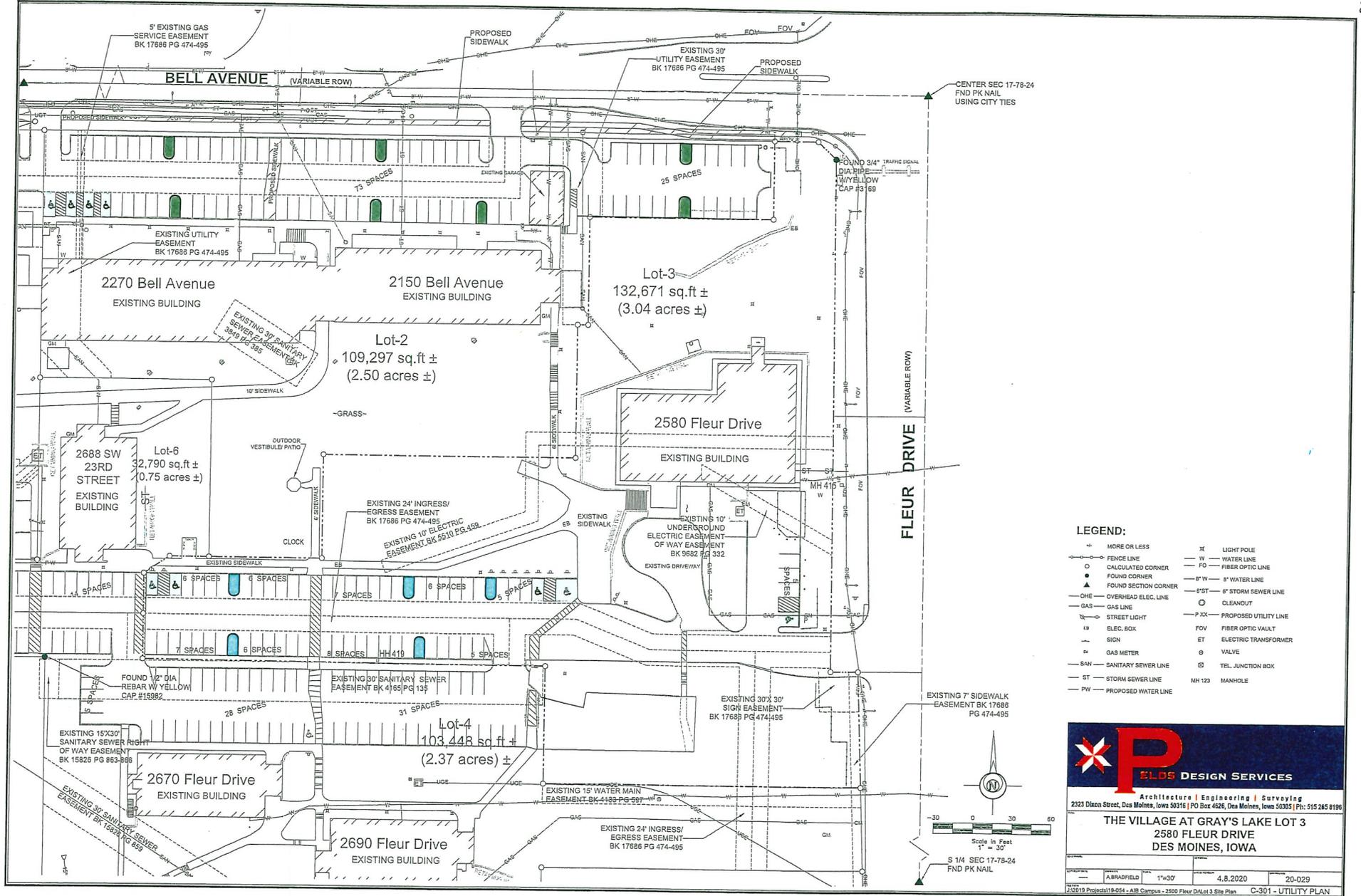
DATE: 4.8.2020
PROJECT: J2019 Project19-054 - AUB Campus - 2580 Fleur Dr/Lot 3 Site Plan
SHEET: C-001 - COVER SHEET

REVISIONS:

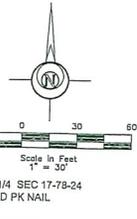
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LEGEND:

FL	FINISHED FLOOR	ST	STREET LIGHT	SA	SANITARY SEWER	SI	SINGLE INTAKE	PU	PROPOSED UTILITY LINE
FE	FLOWLINE ELEVATION	PP	POWER POLE	GA	GUY ANCHOR	DI	DOUBLE INTAKE	EX	EXISTING UTILITY LINE
GE	GUTTER ELEVATION	LP	LIGHT POLE	GM	GAS MARKER POST	DM	GAS VALVE	FL	FENCE LINE
TE	TOP OF CURB ELEVATION	TR	ELEC. TRANSFORMER	GM	GAS METER	ST	STORM SEWER	UG	UNDERGROUND TEL.
EE	EXISTING ELEVATION	EM	ELEC. METER	GL	GAS LINE	FE	FLARED END SECTION	OH	OVERHEAD TEL.
FC	FOUND CORNER	ES	ELEC. SOX	HP	HIGH PRESSURE GAS LINE	V	VALVE	CA	CABLE TELEVISION
FO	FOUND CORNER	EM	ELEC. MANHOLE	IP	INVERT	FH	FIRE HYDRANT	FO	FIBER OPTIC
CA	CALCULATED CORNER	EV	ELEC. VAULT	US	UNDERGROUND ELEC. MARKER POST	WM	WATER METER	T	TREE
FC	FOUND CORNER	OV	OVERHEAD ELEC.	SE	SEPTIC TANK	WV	WATER VALVE	S	SIGN
CS	CALCULATED SECTION CORNER	UG	UNDERGROUND ELEC.	CT	CLEANOUT	WT	WATER TEE	J	TEL. JUNCTION BOX
FC	FOUND SECTION CORNER			DS	DOWNSPOUT	W	WATER	C	CABLE TV JUNCTION BOX



- LEGEND:**
- ± MORE OR LESS
 - FENCE LINE
 - CALCULATED CORNER
 - FOUND CORNER
 - ▲ FOUND SECTION CORNER
 - GHE OVERHEAD ELEC. LINE
 - GAS GAS LINE
 - STREET LIGHT
 - ⊕ ELEC. BOX
 - SIGN
 - GAS METER
 - SAN SANITARY SEWER LINE
 - ST STORM SEWER LINE
 - PW PROPOSED WATER LINE
 - X LIGHT POLE
 - W WATER LINE
 - FO FIBER OPTIC LINE
 - 1" W 1" WATER LINE
 - 6" ST 6" STORM SEWER LINE
 - CLEANOUT
 - P XX PROPOSED UTILITY LINE
 - FOV FIBER OPTIC VAULT
 - ET ELECTRIC TRANSFORMER
 - ⊕ VALVE
 - ⊕ TEL JUNCTION BOX
 - MH 123 MANHOLE



P ELOS DESIGN SERVICES

Architecture | Engineering | Surveying
 2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4526, Des Moines, Iowa 50305 | Ph: 515 285 8196

**THE VILLAGE AT GRAY'S LAKE LOT 3
 2580 FLEUR DRIVE
 DES MOINES, IOWA**

DATE: 4.8.2020	SCALE: 1"=30'	PROJECT: 4.8.2020	SHEET: 20-029
JGD 19 Project 119-024 - AIB Campus - 2580 Fleur Dr. Lot 3 Site Plan C-301 - UTILITY PLAN			

