



104

Date July 13, 2020

RESOLUTION HOLDING HEARING ON REQUEST FROM BROOK LANDING, LLC TO AMEND PUD CONCEPTUAL PLAN AND FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN FOR PROPERTY LOCATED IN THE 3300 BLOCK OF EAST 56TH STREET AND AT 5510 BROOK VIEW AVENUE

WHEREAS, on June 22, 2020, by Roll Call No. 20-1007, the City Council received a communication from the City Plan and Zoning Commission advising that at a public hearing held on June 4, 2020, its members voted 13-0 in support of a motion to recommend **APPROVAL** of a request from Brook Landing, LLC (owner), represented by Jon Galloway (officer), for the 2nd Amendment to the Brook Landing PUD Conceptual Plan and for the PUD Final Development Plan “Anchor Baptist Church” for property located in the 3300 Block of East 56th Street, and specifically at 5510 Brook View Avenue (“Property”), to allow development of a 6.71-acre property with a worship assembly use within a 16,864-square foot building, subject to the following revisions, respectively:

2nd Amendment to PUD Conceptual Plan:

- 1) Inclusion of the building elevations submitted with the Site Plan (10-2020-7.110) as “Sheet 4” of the PUD Conceptual Plan, with the following modifications:
 - a) Provision of additional brick on the “west façade” so that brick covers the entire first floor portion of the tall wall section at the middle of the building, including decorative soldier course at the top.
 - b) Provision of a note that states each façade shall have a minimum transparency (windows and doors) of 12% of the façade.
 - c) Provision of a note that states the roof shall either be architectural asphalt shingles or standing seam metal.
- 2) Provision of the conceptual site configuration of “Parcel B” on “Sheet 2” of the PUD Conceptual Plan.
- 3) Provision of a note stating that off-street parking for the any religious assembly use will be provided at a minimum ratio of 1 parking space per 6 seats in the principal auditorium, plus 1 parking space per 400 square feet of office space.
- 4) Provision of a note stating that bike racks shall be provided on “Parcel B”.
- 5) Provision of a note stating that public sidewalks will be provided along all street frontages and that pedestrian connections will be provided from the building to all street frontages.
- 6) Provision of a note that states “Parcel B” shall landscaped in conformance with the regulations contained in City Code Chapter 135 that are applicable to a Civic Building in a “P2” District.
- 7) Provision of a note stating that native plantings shall be considered around the stormwater basins.
- 8) Provision of a note to state that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate.
- 9) Elimination of the duplicate signature block on “Sheet 1”.
- 10) Elimination of the reference to “Existing zoning: A-1” on “Sheet 1”.

.....
Date July 13, 2020.....

PUD Final Development Plan:

- 1) Compliance with the 2nd Amendment to the Brook Landing “PUD” Conceptual Plan, which is being considered simultaneously.
- 2) Compliance with all administrative review comments by the City’s Permit & Development Center and/or Site Plan Review Staff; and

WHEREAS, the Property is legally described as follows:

2nd Amendment to PUD Conceptual Plan:

BROOK LANDING PLAT 1, AN OFFICIAL PLAT.

AND

OUTLOT ‘X’ FINI ACRES PLAT 2, AN OFFICIAL PLAT.

AND

OUTLOT ‘X’, FINI ACRES REPLAT, AN OFFICIAL PLAT, EXCEPT 40.00-FOOT-WIDE ROADWAY EASEMENT RECORDED IN BOOK 3601, PAGE 635 AND EXCEPT PARCEL “A” AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 10645, PAGE 526. ALL BEING IN THE CITY OF DES MOINES, POLK COUNTY, IOWA AND CONTAINING 64.74 ACRES (2,820,243 SQUARE FEET).

PUD Final Development Plan:

LOT 54 IN BROOK LANDING PLAT 1, AN OFFICIAL PLAT, CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 6.71 ACRES MORE OR LESS; AND

WHEREAS, on June 22, 2020, by Roll Call No. 20-1007, it was duly resolved by the City Council that the request for approval of the 2nd Amendment to the Brook Landing PUD Conceptual Plan and of the PUD Final Development Plan “Anchor Baptist Church” be set down for hearing on July 13, 2020 at 5:00 p.m., by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place for hearing on said proposed amendment to the PUD Conceptual Plan and proposed PUD Final Development Plan; and

WHEREAS, in accordance with said notice, those interested in said proposed amendment to the PUD Conceptual Plan and proposed PUD Final Development Plan, both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council.

NOW THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed 2nd Amendment to the Brook Landing PUD Conceptual

Date July 13, 2020

Plan and of the PUD Final Development Plan “Anchor Baptist Church” are hereby overruled, and the hearing is closed.

2. The proposed 2nd Amendment to the Brook Landing PUD Conceptual Plan, as on file in the Community Development Department, is hereby found to be in conformance with the PlanDSM: Creating Our Tomorrow Land Use Plan and is hereby approved, subject to the revisions to the Plan as set forth above.
3. The proposed PUD Final Development Plan “Anchor Baptist Church”, as on file in the Community Development Department, is hereby found to be in conformance with PlanDSM: Creating Our Tomorrow Plan and is hereby approved, subject to revision and conditions stated above.

MOVED BY _____ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank
 Glenna K. Frank, Assistant City Attorney

(ZON2020-00051)
 (10-2020-7.110)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED	APPROVED			

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

 Mayor

 City Clerk



June 16, 2020

Date 7-13-20
 Agenda Item 64
 Roll Call # _____

Honorable Mayor and City Council
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their June 4, 2020 meeting, the following action was taken regarding a request from Brook Landing, LLC (owner) represented by Jon Galloway (officer) for review and approval of a 2nd Amendment to the Brook Landing PUD Conceptual Plan to define the property at 5510 Brook View Avenue with standards for development of a worship assembly use for property in the vicinity of 3300 Block of East 56th Street.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard				X
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of Part A) the proposed 2nd Amendment to the Brook Landing "PUD" Conceptual Plan be found in conformance with the PlanDSM: Creating Our Tomorrow Plan, Part B) **APPROVAL** of the proposed 2nd Amendment to the Brook Landing "PUD" Conceptual Plan, to define the property at 5510 Brook View Avenue with standards for

development of a worship assembly use, subject to the following revisions to the submitted "PUD Conceptual Plan:

1. Inclusion of the building elevations submitted with the Site Plan (10-2020-7.110) as "Sheet 4" of the PUD Conceptual Plan, with the following modifications:
 - a. Provision of additional brick on the "west façade" so that brick covers the entire first floor portion of the tall wall section at the middle of the building, including decorative soldier course at the top.
 - b. Provision of a note that states each façade shall have a minimum transparency (windows and doors) of 12% of the façade.
 - c. Provision of a note that states the roof shall either be architectural asphalt shingles or standing seam metal.
2. Provision of the conceptual site configuration of "Parcel B" on "Sheet 2" of the PUD Conceptual Plan.
3. Provision of a note stating that off-street parking for the any religious assembly use will be provided at a minimum ratio of 1 parking space per 6 seats in the principal auditorium, plus 1 parking space per 400 square feet of office space.
4. Provision of a note stating that bike racks shall be provided on "Parcel B".
5. Provision of a note stating that public sidewalks will be provided along all street frontages and that pedestrian connections will be provided from the building to all street frontages.
6. Provision of a note that states "Parcel B" shall landscaped in conformance with the regulations contained in City Code Chapter 135 that are applicable to a Civic Building in a "P2" District.
7. Provision of a note stating that native plantings shall be considered around the stormwater basins.
8. Provision of a note to state that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate.
9. Elimination of the duplicate signature block on "Sheet 1".
10. Elimination of the reference to "Existing zoning: A-1" on "Sheet 1".

(ZON2020-00051)

Written Responses

9 in Favor

9 in opposition

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Part A) Staff recommends that the proposed 2nd Amendment to the Brook Landing “PUD” Conceptual Plan be found in conformance with the PlanDSM: Creating Our Tomorrow Plan.

Part B) Staff recommends approval of the proposed 2nd Amendment to the Brook Landing “PUD” Conceptual Plan, to define the property at 5510 Brook View Avenue with standards for development of a worship assembly use, subject to the following revisions to the submitted “PUD Conceptual Plan:

1. Inclusion of the building elevations submitted with the Site Plan (10-2020-7.110) as “Sheet 4” of the PUD Conceptual Plan, with the following modifications:
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10. Elimination of the reference to “Existing zoning: A-1” on “Sheet 1”.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The existing "PUD" Conceptual Plan for Brook Landing currently states: "Any development of a religious assembly use on Parcel B shall be subject to an amendment of the PUD so that the architectural character and site layout can be reviewed and approved".

The applicant proposes an amendment to the Brook Landing "PUD" Conceptual Plan and a "PUD" Development Site Plan to allow development of a church on "Parcel B". Since the "PUD" Conceptual Plan and the "PUD" Development Site Plan are being considered simultaneously, any required revisions to the "PUD" Conceptual Plan will also necessitate corresponding revisions to the submitted "PUD" Development Site Plan.

2. **Size of Site:** 7.5 acres. (The overall PUD is approximately 72 acres).
3. **Existing Zoning (site):** "Brook Landing PUD" Planned Unit Development District.
4. **Existing Land Use (site):** Agricultural production.
5. **Adjacent Land Use and Zoning to Site of Amendment:**

North - "N1a"; Uses are single-family dwellings along East Douglas Avenue.

South - "Brook Landing PUD"; Use is currently agricultural production. However, the approved "Brook Landing PUD Conceptual Plan" allows this land to be developed with a mix of one- and two-family dwellings. The area immediately adjoining the subject property would have lot widths of approximately 75 feet.

East - "N1a"; Uses include East 56th Street, a church, and an archery range.

West - "Brook Landing PUD"; Uses are East 54th Street and single-family dwellings.

6. **General Neighborhood/Area Land Uses:** The subject property is in a developing area that includes a mix of residential and agricultural production uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Brook Run Neighborhood. The neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on May 15, 2020 and by mailing of the Final Agenda on May 29, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on May 15, 2020 (20 days prior to the public hearing) and May 22, 2020 (10 days prior to the public hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Brook Run Neighborhood Association notices were mailed to Amanda Robinson, 5227 Brook View Avenue, Des Moines, IA 50317.

Due to the COVID-19 pandemic, the applicant was unable to hold a neighborhood meeting. However, on May 26, 2020, the applicant mailed a letter to the neighboring property owners to explain their proposal and to provide contact information in case they had any questions or comments. The applicant will provide a summary of any communications with neighboring property owners prior to the public hearing.

8. **Relevant Zoning History:** The property was annexed to the City of Des Moines in 2009, at which time it became zoned "A-1" Agricultural District.

On May 23, 2016, the City Council rezoned the site to "PUD" District by Ordinance No. 15,479. The Brook Landing "PUD" Conceptual Plan established at that time allowed for development of single-family residential lots and designated a 7.5-acre "Parcel B" for future development of a church use.

On August 8, 2016, the City Council approved the first amendment to the Brook Landing "PUD" Conceptual Plan by Ordinance 15,501. This 1st amendment added 2 acres to the north edge of the "PUD", which allowed creation of three (3) additional lots for single-family residential development.

9. **PlanDSM Creating Our Tomorrow Designation:** The subject property is located within an area designated on the PlanDSM Future Land Use Map as Low-Density Residential. The plan defines this category as "Areas developed with primarily single-family and two-family residential units with up to 6 dwelling units per net acre". The proposed "PUD" Conceptual Plan amendment and Final development site plan would not require this designation to be amended.
10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the application, accompanying evidence and Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of the City Code and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the amended PUD Conceptual Plan as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the Commission shall be referred to the City Council.

III. ADDITIONAL APPLICABLE INFORMATION

1. **PUD Conceptual Plan:** The existing "PUD" Conceptual Plan currently states: "Any development of a religious assembly use on Parcel B shall be subject to an amendment of the PUD so that the architectural character and site layout can be reviewed and approved".

The submitted amendment to the "PUD" Conceptual Plan provides the following architectural standards for the building: Building design will use similar architectural styles and be consistent with the quality and character of the surrounding structures. Construction to be wood frame with standard exterior materials including vinyl siding,

cement fiber siding, or horizontal steel siding within hidden fasteners; asphalt shingles or standing seam metal roof, brick, stone, and glass. EIFS may be used as an accent or trim only. Prohibited materials include plywood, plastic, plaster, and composite wood-based panel systems.”

Staff recommends that the building elevations submitted with the Site Plan (10-2020-7.110) should be included on the “PUD” Conceptual Plan as “Sheet 4” in order to provide an architectural character example of what can be developed on “Parcel B”.

Given that the west façade of the building would be highly visible from houses on the west side of East 54th Street, Staff recommends that additional brick be provided on the west façade. Staff recommends that brick cover the entire first floor portion of the tall wall section at the middle of the building and that the brick section be topped with a decorative soldier course.

Staff also recommends that notes be added to the elevations to state that each façade shall have a minimum transparency (windows and doors) of 12% and that the roof shall either be architectural asphalt shingles or standing seam metal.

- 2. Drainage:** The approved “PUD” Conceptual Plan amendment proposes a network of public storm sewers throughout the development and four (4) stormwater detention basins on outlots located at the periphery of the site. It states that “the detention facilities will be maintained by a homeowner’s association”. The City will require the entire subdivision to be located within a horizontal property regime, with the detention basins designated as common areas shared by the owners of all the residential units. Common areas within a horizontal property regime are not separately taxed. In a horizontal property regime, the value of the common areas is allocated among the residential units.

The Site Plan for the religious assembly use demonstrates that a stormwater detention basin would be provided on both the east and west sides of the site.

- 3. Grading:** The proposed “PUD” Conceptual Plan amendment contains a note stating that a stormwater runoff control plan per City Code Section 106-136 is required and that all grading is subject to an approved grading permit and soil erosion control plan.
- 4. Street System/Off-Street Parking:** The submitted Site Plan demonstrates that the religious assembly use on “Parcel B” would contain an off-street parking lot accessed by a single driveway from Brook View Avenue. Staff recommends that “Sheet 2” of the “PUD” Conceptual Plan be revised to reflect a conceptual layout of “Parcel B”. Staff also recommends a note be added to state that off-street parking on “Parcel B” will be provided at a minimum ration of 1 parking space per 6 seats in the principal auditorium, plus 1 parking space per 400 square feet of office space.

The Site Plan must provide public sidewalks along all public streets, as well as pedestrian connections from the building to each street frontage.

- 5. Landscaping:** Staff recommends that the “PUD” Conceptual Plan provide a note that states “Parcel B” shall landscaped in conformance with the regulations contained in City Code Chapter 135 that are applicable to a Civic Building in a “P2” District. Staff

also recommends that a note be added to state that native plantings shall be considered around the stormwater basins on the site.

- 6. Additional Information:** Staff recommends provision of a note stating that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gates.

Also, the duplicate signature block and the reference to existing zoning on "Sheet 1" should be eliminated.

SUMMARY OF DISCUSSION

Bert Drost presented staff report and recommendation.

Jann Freed asked if the applicant agreed with all staff recommendations.

Greg Wattier asked what they are amending.

Bert Drost stated the existing PUD conceptual plan stated any future development on parcel B shall be subject to an amendment so this is to review building architecture.

Jann Freed asked for the count for cards in favor and opposition?

Bert Drost stated it was 7 in favor and 8 in opposition.

Wally Pelds, Pelds Design Services, 2323 Dixon Street representing the applicant stated they were intending to be on the consent agenda tonight. They are sensitive to the traffic issues and will make sure to address those concerns as they go through the site plan process.

Greg Wattier asked if they are required to do a traffic study?

Wally Pelds stated that hasn't been requested yet.

Erik Lundy stated Traffic and Transportation didn't require a Traffic Impact Analysis.

CHAIRPERSON OPENED THE PUBLIC HEARING

None were present of requested to speak.

CHAIRPERSON CLOSED THE PUBLIC HEARING

COMMISSION ACTION:

Rocky Sposato made a motion for approval of Part A) the proposed 2nd Amendment to the Brook Landing "PUD" Conceptual Plan be found in conformance with the PlanDSM: Creating Our Tomorrow Plan, Part B) **APPROVAL** of the proposed 2nd Amendment to the Brook Landing "PUD" Conceptual Plan, to define the property at 5510 Brook View Avenue with standards for development of a worship assembly use, subject to the following revisions to the submitted "PUD Conceptual Plan:

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9. Elimination of the duplicate signature block on “Sheet 1”.
10. Elimination of the reference to “Existing zoning: A-1” on “Sheet 1”.

Motion passed: 13-0

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Michael Ludwig".

Michael Ludwig, AICP
Planning Administrator

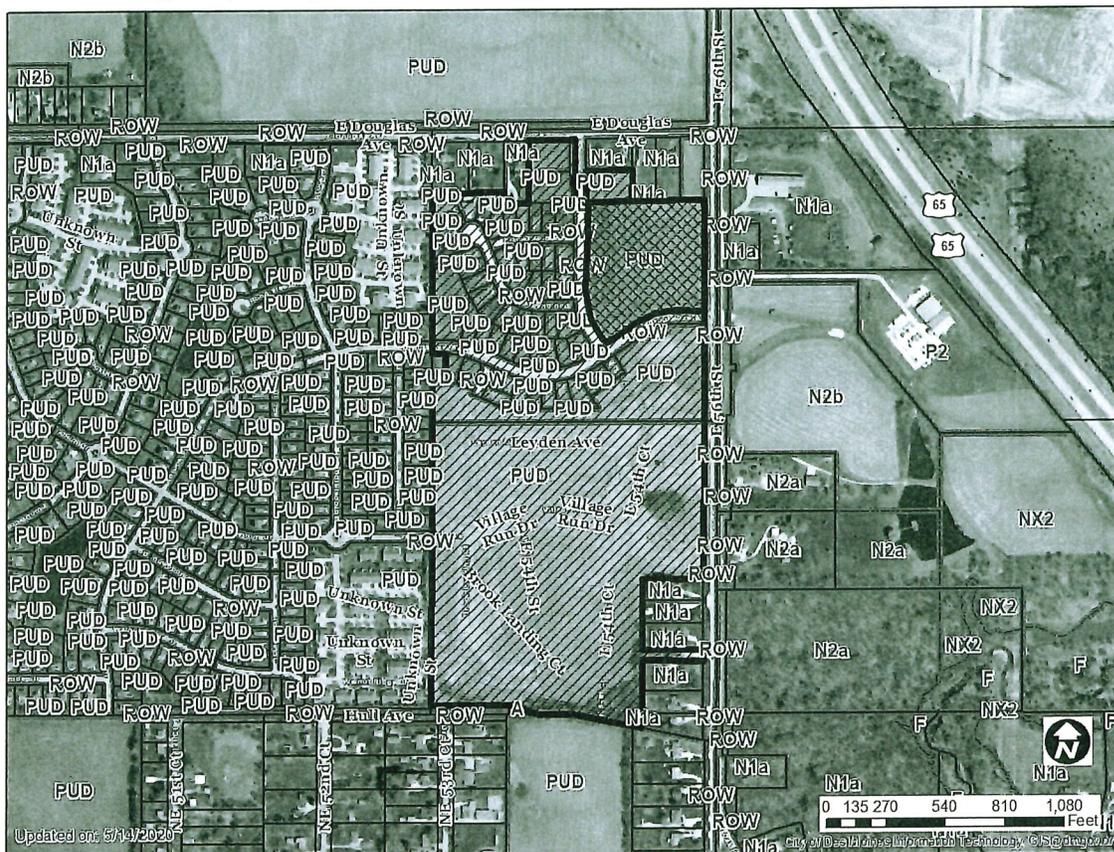
MGL:tjh

104

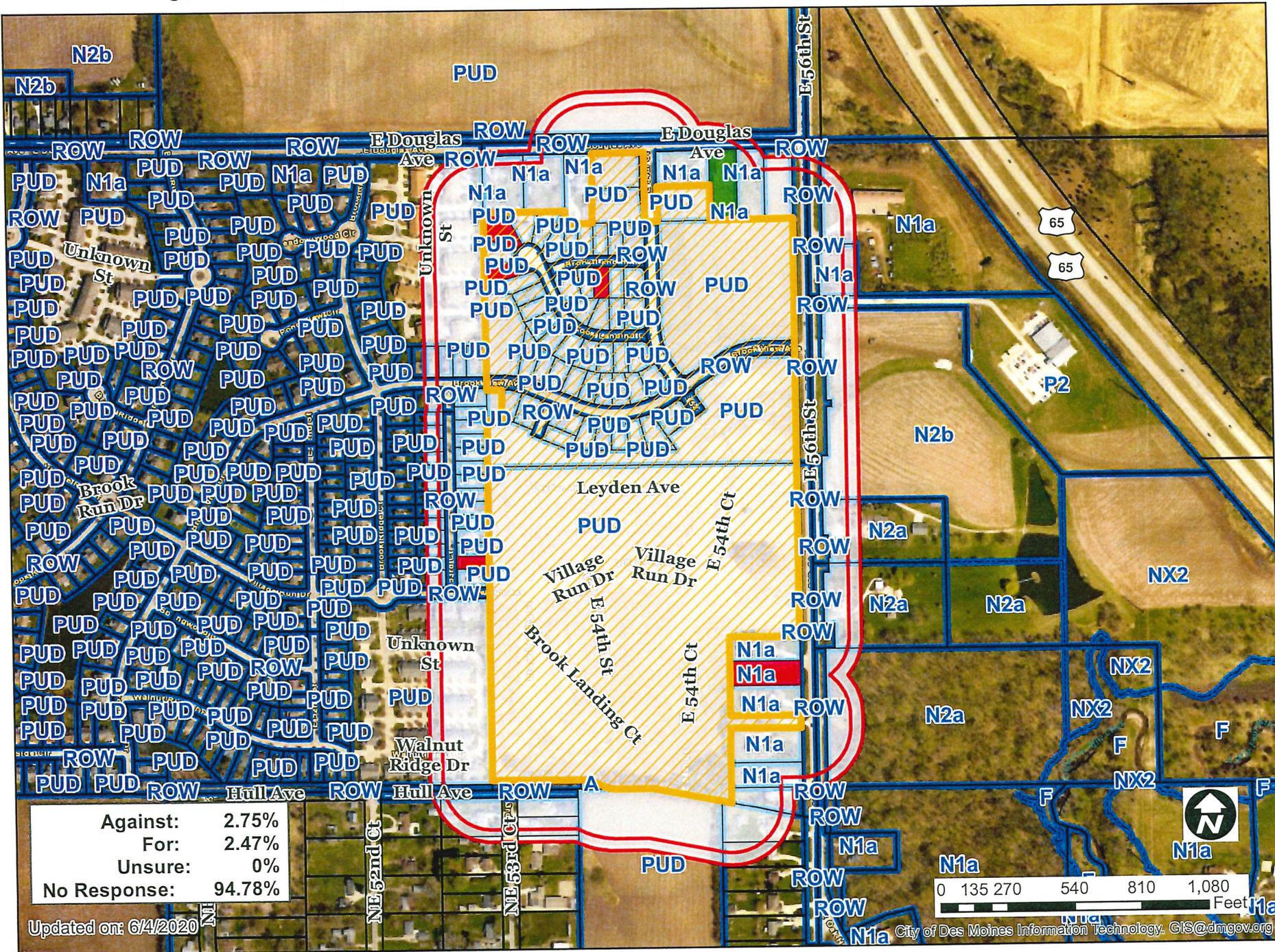
Brook Landing, LLC (owner) represented by Jon Galloway (officer) for property in the vicinity of 3300 Block of East 56th Street.		File # ZON2020-00051		
Description of Action	Review and approval of a 2nd Amendment to the Brook Landing PUD Conceptual Plan to define the property at 5510 Brook View Avenue with standards for development of a worship assembly use.			
PlanDSM Future Land Use	Current: Low Density Residential. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	2020-2024 East Douglas Avenue Widening (LRTP ID#10)			
Current Zoning District	Legacy "PUD" Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	9	9		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No

Brook Landing, LLC, Vicinity of 3300 block of East 56th Street

ZON2020-00051



1 inch = 511 feet



Against:	2.75%
For:	2.47%
Unsure:	0%
No Response:	94.78%

Updated on: 6/4/2020

0 135 270 540 810 1,080 Feet

City of Des Moines Information Technology. GIS@dm.gov.org

Handwritten signature/initials

1 inch = 510 feet

n: ZON2020-00051 Date: 5/29/2020

(m) (am not) in favor of the request:

(Circle One) Print Name: MIKE KNAPP

RECEIVED COMMUNITY DEVELOPMENT Signature: [Signature]

JUN 03 2020 Address:

Reason for opposing or approving this request may be listed below:

LOOKS LIKE A GOOD PLAN FOR THE NEIGHBORHOOD.

n: ZON2020-00051 Date: 5-30-20

(m) (am not) in favor of the request:

(Circle One) Print Name: Dale Wilson

RECEIVED COMMUNITY DEVELOPMENT Signature: Dale Wilson

JUN 03 2020 Address: 5221 Village Run Ave #1902

Reason for opposing or approving this request may be listed below:

Welcome Addition -

Item: ZON2020-00051 Date: 05/26/2020

I (am) (am not) in favor of the request:

RECEIVED
COMMUNITY DEVELOPMENT

MAY 29 2020

Print Name: Judy Book-Davin

Signature: Judy Book-Davin

Address: 4080 Half Moon Ave SW, Oxford IA 52322

Reason for opposing or approving this request may be listed below:

Benefits the community to have
a place for worship

Item: ZON2020-00051 Date: 5-27-2020

I (am) (am not) in favor of the request:

(Circle One)

RECEIVED
COMMUNITY DEVELOPMENT

MAY 29 2020

Print Name: Beverly Nolte

Signature: Beverly Nolte

Address: 5221 Village Run Ave #604
Des Moines, IA 50317

Reason for opposing or approving this request may be listed below:

n: ZON2020-00051

Date: 5-25-20

64

(am) (am not) in favor of the request:

(Circle One)

Print Name: Lyle E. Johnson

RECEIVED
COMMUNITY DEVELOPMENT

Signature: Lyle E. Johnson

MAY 28 2020

Address: 5221 Village Run Ave #609

Reason for opposing or approving this request may be listed below:

n: ZON2020-00051

Date: 5/26/20

(am) (am not) in favor of the request:

(Circle One)

Print Name: Linda Grathwohl

RECEIVED
COMMUNITY DEVELOPMENT

Signature: Linda Grathwohl

MAY 29 2020

Address: 3701 Brook Ridge Ct. Unit 108

Reason for opposing or approving this request may be listed below:

Item: ZON2020-00051

Date: 5/29/2020 64

I (am) (am not) in favor of the request:
(Circle One)

Print Name: Dobby Hicks

Signature: _____

RECEIVED
COMMUNITY DEVELOPMENT
JUN 01 2020

Address: 2223 Grand Ave Unit 75
West Des Moines IA 50265

Reason for opposing or approving this request may be listed below:

Item: ZON2020-00051

Date: 5-30-2020

I (am) (am not) in favor of the request:
(Circle One)

Print Name: Joel Fin.

Signature: jf

RECEIVED
COMMUNITY DEVELOPMENT
JUN 01 2020

Address: 5523 E Douglas Ave

Reason for opposing or approving this request may be listed below:

Approve this request because it's a welcome addition to the area and would be preferred over commercial businesses.

Item: ZON2020-00051 Date: 5-28-2020

I (am) (am not) in favor of the request:

(Circle One)
RECEIVED
COMMUNITY DEVELOPMENT
MAY 29 2020

Print Name: Brett Miller

Signature: Brett Miller

Address: 3305 E 53rd Ct DSM

Reason for opposing or approving this request may be listed below:

We are a residential neighborhood. A church doesn't belong in this neighborhood. There is a church across the street for worship.

Item: ZON2020-00051 Date: 5/25/2020

I (am) (am not) in favor of the request:

(Circle One)
RECEIVED
COMMUNITY DEVELOPMENT
MAY 29 2020

Print Name: Gerald Stewart

Signature: Gerald Stewart

Address: 3182 E. 56th St.

Reason for opposing or approving this request may be listed below:

I'm tired of all these churches not paying taxes

There is a new church across the st.

My taxes goes up to pay for this. All these houses get tax breaks we get none but have to put up with all noise-traffic - Roads ARE getting full of holes - so much traffic you wait forever to get out of drive way.

Item: ZON2020-00051

Date: 5/26/20

64

I (am) ~~(am not)~~ in favor of the request:

(Circle One)

Print Name: Zach Hitchcock

Signature: [Handwritten Signature]

RECEIVED
COMMUNITY DEVELOPMENT
MAY 29 2020

Address: 5221 Village Run Ave Unit 1502

Reason for opposing or approving this request may be listed below:

Item: ZON2020-00051

Date: 5.27.20

I (am) ~~(am not)~~ in favor of the request:

(Circle One)

Print Name: TRENT WALTON

Signature: [Handwritten Signature]

RECEIVED
COMMUNITY DEVELOPMENT
MAY 29 2020

Address: 5317 BROOK LANDING CIR

Reason for opposing or approving this request may be listed below:

UNWANTED NOISE AND INCREASED TRAFFIC.
CONCERNS ON USE OUTSIDE OF WORSHIP . WEDDINGS . PARTIES . RECEPTIONS
FUTURE PLANS - HOMELESS SHELTER ?

Item: ZON2020-00051

Date: 5-24-20

64

I (am) ~~(am not)~~ in favor of the request:

(Circle One)

Print Name: Terrance Duffy

RECEIVED
COMMUNITY DEVELOPMENT

Signature: *Terrance Duffy*

MAY 28 2020

Address: 5303 Brook Landing Cir

Reason for opposing or approving this request may be listed below:

This is a residential area - don't want another big church in the neighborhood bringing lots of traffic

Item: ZON2020-00051

Date: 5/29/20

I (am) ~~(am not)~~ in favor of the request:

(Circle One)

Print Name: Kelly Carnine

RECEIVED
COMMUNITY DEVELOPMENT

Signature: *Kelly Carnine*

JUN 01 2020

Address: 5221 Village Run Ave #702
Des Moines IA 50317

Reason for opposing or approving this request may be listed below:

Traffic congestion, noise concerns.
All that land going to an entity that won't pay income or property taxes. Churches have become too "commercial" to fit well in small residential neighborhoods like this one.

64

Item: ZON2020-00051 Date: 5-29-2020

I (am) (am not) in favor of the request:

(Circle One)

Print Name: Lori Ruble

RECEIVED
COMMUNITY DEVELOPMENT

JUN 01 2020

Signature: Lori Ruble

Address: 5221 Village Run Ave #1301
DES MOINES SD 57317

Reason for opposing or approving this request may be listed below:

Residential streets cannot support traffic from a
Church. Brook View Ave has a tiny + dangerous
Round about with a hill that is blind coming into
a curve over to 56th this will be potentially
dangerous with additional traffic. It is now
and the neighborhood is still being developed.

Thank you

64

Item: ZON2020-00051 Date: 6/1/2020

I (am) (am not) in favor of the request:
(Circle One)

Print Name: Sarah & Jeff McClintock

RECEIVED
COMMUNITY DEVELOPMENT

Signature: Sarah McClintock

JUN 03 2020

Address: 5337 BrookLanding Circle

Reason for opposing or approving this request may be listed below:

Too Much traffic in a residential area

Item: ZON2020-00051 Date: 5-27-2020 ⁶⁴

I (am) (am not) in favor of the request:

(Circle One)

RECEIVED
COMMUNITY DEVELOPMENT
MAY 28 2020

Print Name: Jerry DeBoom
Signature: [Handwritten Signature]
Address: 5221 Village Run Ave, # 2002

Reason for opposing or approving this request may be listed below:

I approve as long as this will not add an additional burden of storm water that flows into Brook Run Village / Brook Run Sewer Ho and causes more problems than we currently have.

Item: ZON2020-00051 Date: _____

I (am) (am not) in favor of the request:

RECEIVED
COMMUNITY DEVELOPMENT
MAY 29 2020

Print Name: Adam Haigh
Signature: [Handwritten Signature]
Address: 5397 Brook Landing Drive

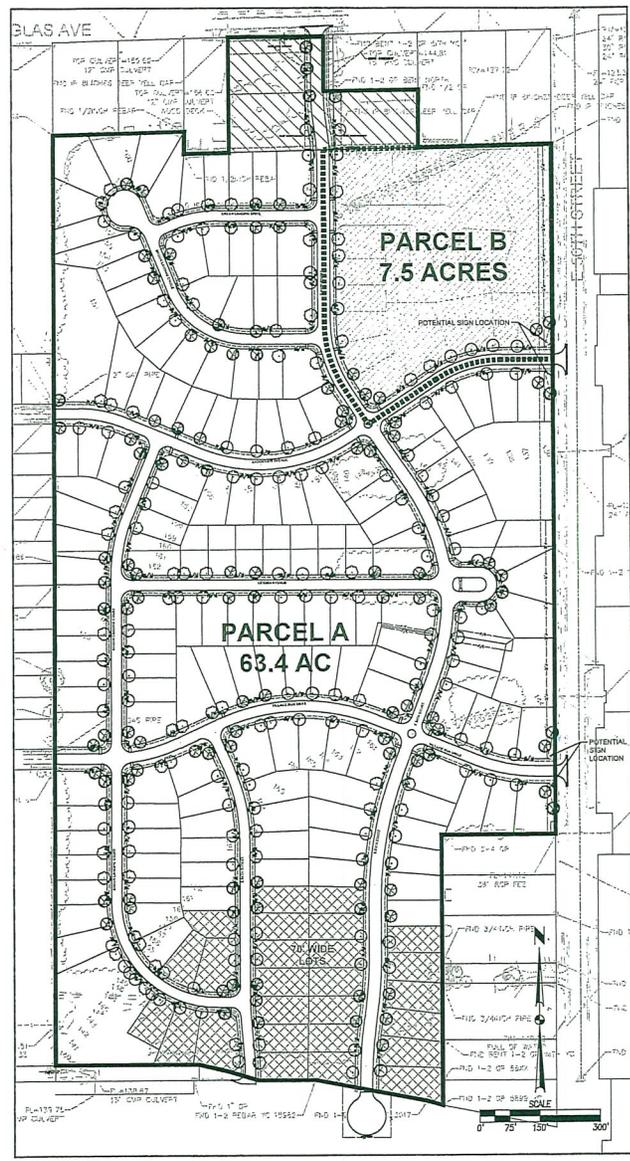
Reason for opposing or approving this request may be listed below:

There are enough churches in the area and I think this would be too close to residential. What about a park? There are plenty of kids that could benefit from that instead.

CONCEPTUAL PLAN

BROOK LANDING

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES POLK COUNTY, IOWA



DEVELOPMENT STANDARDS

PARCEL A
 USE:
 PARCEL A SHALL CONFORM TO R1-60 ONE-FAMILY LOW-DENSITY RESIDENTIAL DISTRICT

BULK REGULATIONS:
 PARCEL A SHALL CONFORM TO R1-60 ONE-FAMILY LOW-DENSITY RESIDENTIAL DISTRICT WITH THE FOLLOWING EXCEPTIONS:
 LOT AREA: 7500 S.F. MINIMUM
 FRONT SETBACK: GARAGE/HOUSE - 30'
 FRONT PORCH - 25'
 SIDE SETBACK: 5' MINIMUM

PARKING:
 PARCEL A SHALL CONFORM TO R1-60 OFF-STREET PARKING AND LOADING REGULATIONS.

SIGNAGE:
 PARCEL A SHALL CONFORM TO R1-60 SIGN REGULATIONS

PARCEL B
 USE:
 PARCEL B SHALL CONFORM TO R1-60 ONE-FAMILY LOW-DENSITY RESIDENTIAL DISTRICT

BULK REGULATIONS:
 PARCEL B SHALL CONFORM TO R1-60 ONE-FAMILY LOW-DENSITY RESIDENTIAL DISTRICT FOR CHURCH USE WITH THE FOLLOWING EXCEPTIONS:
 MAXIMUM BUILDING HEIGHT: 45'
 MAXIMUM HEIGHT OF STEEPLE ELEMENT: 65'

PARKING:
 PARCEL B SHALL CONFORM TO R1-60 OFF-STREET PARKING AND LOADING REGULATIONS AS REQUIRED BY THE CITY'S PARKING ORDINANCE WITH REGARD TO CHURCHES.

BUILDING TYPE: TO BE CHURCH OR SIMILAR RELIGIOUS STRUCTURE.

ARCHITECTURAL STANDARDS:

- BUILDING DESIGN WILL USE SIMILAR ARCHITECTURAL STYLES AND BE CONSISTENT WITH THE QUALITY AND CHARACTER OF THE SURROUNDING STRUCTURES. CONSTRUCTION TO BE WOOD FRAME WITH STANDARD EXTERIOR MATERIALS INCLUDING VINYL SIDING, CEMENT FIBER SIDING, OR HORIZONTAL STEEL SIDING WITH HIDDEN FASTENERS; ASPHALT SHINGLES OR STANDING SEAM METAL ROOF; BRICK, STONE, AND GLASS. MATERIAL SUCH AS EXTERIOR INSULATED FINISH SYSTEMS (EIFS) MAY BE USED AS AN ACCENT OR TRIM ONLY. PROHIBITED EXTERIOR SURFACE MATERIALS WOULD INCLUDE PLYWOOD, PLASTIC, PLASTER, AND COMPOSITE WOOD BASED PANEL SIDING.
- PRIMARY EXTERIOR COLORS SHALL BE EARTH TONES INCLUDING SHADES OF BROWN, TAN, GREY, WHITE AND MUTED TONES OF GREEN, BLUE, AND YELLOW. SECONDARY ACCENT COLORS MAY INCLUDE DARKER OR BRIGHTER VERSIONS OF THE AFOREMENTIONED COLORS AND MAY INCLUDE COMPLIMENTARY REDS. NO PINK, PURPLE, ORANGE, OR FLUORESCENT/REFLECTIVE COLORS PERMITTED.
- DROP-OFF CANOPIES ARE PERMITTED AND SHALL BE CONTIGUOUS AND CONSISTENT WITH THE MAIN BUILDING DESIGN.
- EXTERIOR MATERIALS SHALL BE MASONRY (BRICK OR STONE), VINYL OF NO LESS THAN .042 THICKNESS, STEEL OF NO LESS THAN .0172 THICKNESS, CEDAR, OR CEMENT FIBER BOARD.
- ROOFS SHALL BE ARCHITECTURAL PROFILE ASPHALT TYPE SHINGLES, CEDAR SHAKES, OR STANDING SEAM METAL. STANDARD 3-TAB SHINGLES ARE PROHIBITED.

SIGNAGE:
 PARCEL B SHALL CONFORM TO R1-60 SIGN REGULATIONS

UTILITY & STORMWATER MANAGEMENT

STORM WATER

PUBLIC STORM SEWER WILL BE EXTENDED THROUGHOUT THE DEVELOPMENT PRIMARILY ALONG PUBLIC STREETS. STORM WATER DETENTION FACILITIES WILL BE LOCATED WITHIN THE DEVELOPMENT IN COMMON AREAS/OUTLOTS, GENERALLY IN THE AREAS AS SHOWN, IN ACCORDANCE WITH THE CITY REQUIREMENTS. DETENTION FACILITIES WILL BE MAINTAINED BY A HOMEOWNER'S ASSOCIATION. STORM WATER WILL BE DISCHARGED INTO THE PUBLIC SEWER SYSTEM. DISCHARGE POINTS WILL BE AT BROOKVIEW AVENUE, THE SOUTHEAST CORNER OF THE SITE INTO THE DITCH ALONG NE 30TH PLACE, AND INTO THE EXISTING CULVERTS ON NE 56TH STREET.

SANITARY SEWER
 SANITARY SEWER WILL BE EXTENDED FROM BROOKVIEW AVENUE TO THE WEST AND FROM XXX TO THE SOUTH. PUBLIC SANITARY SEWER WILL BE EXTENDED THROUGHOUT THE DEVELOPMENT.

WATER

PUBLIC "B" WATER MAIN WILL BE EXTENDED THROUGHOUT THE DEVELOPMENT

LANDSCAPE STANDARDS

PLANT MATERIAL

- ALL REQUIRED OVERSTORY TREES SHALL BE MINIMUM 2" CALIPER.
- ALL REQUIRED UNDERSTORY TREES SHALL BE MINIMUM 1.5" CALIPER.
- ALL REQUIRED CONIFEROUS TREES SHALL BE A MINIMUM OF 5' IN HEIGHT.
- ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS ESTABLISHED BY THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

OPEN SPACE

A MINIMUM OF 20% OF EACH LOT SHALL BE OPEN SPACE. EACH LOT SHALL BE LANDSCAPED TO INCLUDE A MINIMUM OF 2 OVERSTORY TREES, 1 UNDERSTORY TREE/CONIFEROUS TREE, AND 4 SHRUBS PER LOT, EXCLUSIVE OF FOUNDATION PLANTINGS WITHIN 8' OF THE HOUSE. STREET TREES MAY BE COUNTED TOWARD REQUIRED LOT TREES.

STREET TREES

EACH LOT SHALL RECEIVE A MINIMUM OF 1 OVERSTORY TREE. LOTS SHALL GENERALLY PER THE STREET TREE PLAN ON THIS SHEET. TREES SHALL BE LOCATED 7.5' FROM BACK OF CURB ALONG 31' PUBLIC STREET WITH 60' R.O.W. AND SETBACK 5' FROM 25' PUBLIC STREET WITH 50' R.O.W.

MEETING SCHEDULE

PRE-APPLICATION MEETING:	JANUARY 12, 2018
CONCEPT PLAN SUBMITTAL:	MARCH 7, 2018
NEIGHBORHOOD MEETING:	MARCH 31, 2018
PLAN & ZONING MEETING:	APRIL 9, 2018
CITY COUNCIL MEETING PUBLIC HEARING:	MAY 9, 2018
PRELIMINARY PLAT SUBMITTAL:	MAY - JUNE 2018
CONSTRUCTION DRAWINGS/PHASE 1:	MAY - JULY 2018
FINAL PLAT:	SEPTEMBER-OCTOBER 2018

NOTES

- SITE DEVELOPMENT SHALL COMPLY WITH THE TREE REMOVAL AND MITIGATION ORDINANCE OF CHAPTER 42, ARTICLE X, OF THE CITY CODE OF DES MOINES.
- DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS AND CONNECTION FEES ASSOCIATED WITH CONSTRUCTING THE NECESSARY SANITARY AND WATER CONNECTIONS.
- A HOME OWNER'S ASSOCIATION SHALL BE ESTABLISHED TO OWN AND MAINTAIN COMMON AREAS, INCLUDING DETENTION BASINS, TRAFFIC CIRCLES, AND ENTRY MONUMENT SIGNS.
- A SOILS REPORT AND STORM WATER MANAGEMENT PLAN IS REQUIRED PER CITY CODE SECTION 106-136. A GRADING PERMIT AND EROSION CONTROL PLAN ARE REQUIRED PRIOR TO ANY GRADING ACTIVITIES.
- 5' WIDE SIDEWALKS SHALL BE PROVIDED ALONG ANY STREET FRONTAGE.
- A 20' LANDSCAPE BUFFER SHALL BE PROVIDED ALONG E 56TH STREET. NO FENCING WILL BE ALLOWED WITHIN THE BUFFER. A PLANTING PLAN FOR THE BUFFER SHALL BE APPROVED BY STAFF. FENCING SHALL BE IN ACCORDANCE WITH STANDARDS APPLICABLE IN THE R1-60 DISTRICT. ANY CHAIN LINK FENCE SHALL BE CLAD IN BLACK VINYL.
- THE DEVELOPMENT WILL BE PERMITTED ONE FREESTANDING ENTRANCE SIGN AT EACH STREET CONNECTION ON E 56TH STREET AND ON DOUGLAS AVENUE. EACH SIGN SHALL NOT BE GREATER THAN 24 S.F. IN AREA, NOT ILLUMINATED, AND SHALL BE LOCATED OUTSIDE OF ANY REQUIRED SIGHT VISION TRIANGLE. SIGNS SHALL BE CONSTRUCTED OF PRIMARILY MASONRY MATERIALS. SIGN DESIGN SHALL BE APPROVED BY THE CITY'S PLANNING ADMINISTRATOR. SIGNS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ANY FUTURE USE DEVELOPMENT OF A RELIGIOUS ASSEMBLY USE IN "PARCEL B" SHALL BE SUBJECT TO AN AMENDMENT OF THE "PUD" CONCEPTUAL PLAN SO THAT THE ARCHITECTURAL CHARACTER AND SITE LAYOUT CAN BE REVIEWED AND APPROVED BY THE CITY AT SUCH TIME.

PHASING PLAN



TENTATIVE PROJECT TIMING

- PHASE 1: 2016
- PHASE 2: 2016
- PHASE 3: 2021
- PHASE 4: 2022
- PHASE 5: 2023
- PHASE 6: 2024

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN FEET AND DECIMALS THEREOF. DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

CONCEPTUAL PLAN BROOK LANDING

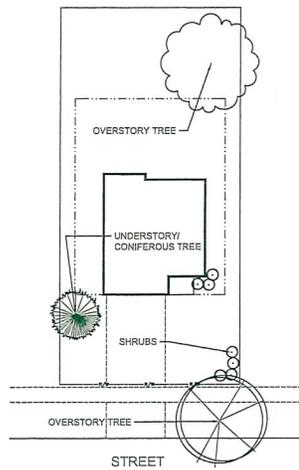
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF DES MOINES
POLK COUNTY, IOWA



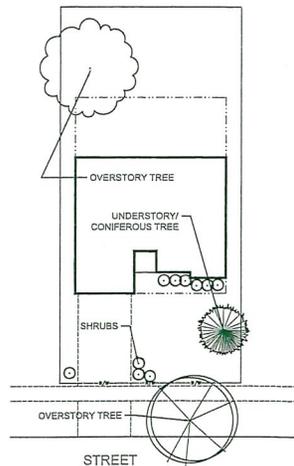
TYPICAL TWO STORY HOME



TYPICAL ONE STORY HOME



TYPICAL TWO STORY HOME



TYPICAL ONE STORY HOME

ARCHITECTURAL STANDARDS

- BUILDING TYPES WILL BE SINGLE FAMILY HOUSES OF 1, 1½, AND 2 STORIES WITH A MINIMUM OF 2 CAR ATTACHED GARAGE. SINGLE STORY HOMES WILL HAVE A MINIMUM OF 1,200 SQUARE FEET OF LIVING AREA, 1½ AND 2 STORY HOMES SHALL HAVE A MINIMUM OF 1,400 S.F. OF LIVING AREA.
- ALL BUILDING WILL USE SIMILAR ARCHITECTURAL STYLES USING WOOD FRAME CONSTRUCTION AND STANDARD EXTERIOR MATERIALS INCLUDING VINYL SIDING, ASPHALT SHINGLES, BRICK, STONE AND GLASS. MATERIALS SUCH AS METAL OR "DRYWIT" MAY BE USED AS AN ACCENT OR TRIM ONLY. PROHIBITED EXTERIOR SURFACE MATERIALS WOULD INCLUDE PLYWOOD, PLASTIC, PLASTER, AND COMPOSITE WOOD BASED PANEL SIDING.
- PRIMARY EXTERIOR COLORS SHALL BE EARTH TONES INCLUDING SHADES OF BROWN, TAN, GREY, WHITE, AND MUTED TONES OF GREEN, BLUE, AND YELLOW. SECONDARY ACCENT COLORS MAY INCLUDE DARKER OR BRIGHTER VERSIONS OF THE AFOREMENTIONED COLORS AND MAY INCLUDE COMPLIMENTARY REDS. NO PINK, PURPLE, ORANGE, OR FLUORESCENT/REFLECTIVE COLORS WILL BE PERMITTED.
- NO SAME HOUSE PLAN SHALL BE BUILT ON ADJACENT LOTS.
- EACH HOUSE SHALL HAVE A FULL BASEMENT.
- EACH HOUSE SHALL HAVE AN ATTACHED 2 OR 3 CAR GARAGE.
- EXTERIOR MATERIAL SHALL BE MASONRY (BRICK OR STONE), VINYL OF NO LESS THAN .042 THICKNESS, CEDAR, OR CEMENT FIBER BOARD.
- THE FRONT FACADE OF ANY HOUSE SHALL HAVE A FRONT PORCH OF NO LESS THAN 60 S.F. OR AT LEAST 33% OF THE FRONT SHALL BE CLAD WITH BRICK OR STONE MASONRY.
- THE WINDOWS OF ANY STREET FACING FACADE SHALL HAVE A TRIM BORDER OF NO LESS THAN 4" IN WIDTH.
- ROOFS SHALL BE ARCHITECTURAL PROFILE ASPHALT TYPE SHINGLES OR CEDAR SHAKES. STANDARD 3-TAB SHINGLES ARE PROHIBITED.

LOT LANDSCAPE STANDARDS

- A MINIMUM OF 20% OF EACH LOT SHALL BE OPEN SPACE.
- EACH LOT SHALL BE LANDSCAPED TO INCLUDE A MINIMUM OF 2 OVERSTORY TREES, 1 UNDERSTORY TREE/CONIFEROUS TREE, AND 4 SHRUBS PER LOT, EXCLUSIVE OF FOUNDATION PLANTINGS WITHIN 8' OF THE HOUSE. STREET TREES MAY BE COUNTED TOWARD REQUIRED LOT TREES.
- FOUNDATION PLANTINGS SHALL BE PROVIDED ALONG THE FRONT OF EACH HOME.
- MINIMUM ONE STREET TREE PER STREET FRONTAGE SHALL BE PROVIDED. CORNER LOTS HAVE 2 FRONTAGES AND REQUIRE A TREE FOR EACH.

PREPARED BY: JAMES W. MOYER, INC. 11/14/04
 PROJECT NO.: 04-001
 DATE: 11/14/04

DATE	REVISIONS
4/1/05	FIRST PROPOSED AMENDMENT SUBMITTAL
11/14/04	FIRST AMENDMENT SUBMITTAL
12/07/04	FINAL SUBMITTAL
03/07/05	SECOND SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G
DES MOINES, IOWA 50315
PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: [] ENGINEER: []

EDA
CIVIL DESIGN ADVANTAGE

BROOK LANDING
PUD CONCEPTUAL PLAN

DES MOINES, IOWA

3/3
1512.844

ITEM # 9C

SITE ADDRESS
5510 BROOKVIEW AVE
DES MOINES, IOWA 50317

SITE USE
CHURCH - RELIGIOUS ASSEMBLY

ZONING
EXISTING: PUD (PLANNED URBAN DEVELOPMENT)
PROPOSED: PUD
ADJACENT ZONING:
NORTH: PUD, A-1
EAST: A-1 AGRICULTURAL DISTRICT
SOUTH: PUD
WEST: PUD

BUILDINGS
EXISTING: NONE
PROPOSED: CHURCH - 122' x 184' - 16,854 SQ.FT.

BUILDING USES
RELIGIOUS ASSEMBLY

MAX BUILDING HEIGHT
REQUIRED, LESSER OF 3 STORIES OR 45 FT
PROPOSED: 32 FEET

MAX FLOOR AREA RATIO
NONE

PAVING
APPROACHES: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
PARKING LOT: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
PROPOSED CURB: 6" STANDARD CURB

SITE AREA
6.77 ACRES (292,614 SQ.FT.)

OPEN SPACE
EXISTING - 100% (292,614 SQ.FT.)
PROPOSED - 78% (229,578 SQ.FT.)

IMPERVIOUS SPACE
EXISTING - 0 SQ.FT.
PROPOSED - 64,035 SQ.FT.

PARKING
REQUIRED: 43 SPACES
59 SPACES (INCLUDING 4 HANDICAP PARKING STALLS)

DISTURBED AREAS
ESTIMATED - 276,312 SQ.FT.
ALL DISTURBED AREAS SHALL BE SEEDED OR SOODED.
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

FLOODPLAIN
PER FEMA MAP #19153C0220F, THE SITE IS LOCATED IN ZONE X, AREAS IN WHICH THERE IS MINIMUM FLOOD HAZARD

FAA
PER FAA NOTICE CRITERIA TOOL, SITE EXCEEDS NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS REQUIRED

SITE IMPROVEMENTS FOR ANCHOR BAPTIST CHURCH 5510 BROOKVIEW AVE DES MOINES, IOWA

LEGAL DESCRIPTION:
LOT 84 IN BROOK LANDING PLAT 1, AN OFFICIAL PLAT IN THE CITY OF DES MOINES, POLK COUNTY, IOWA.

IOWA ONECALL CONTACT LIST:

(M50) MIDAMER-GAS CONTACT NAME: CRAIG RANFELD CONTACT PHONE: 5152329332 CONTACT EMAIL: MECDDMDESIGN.LOCATES@MIDAMERICAN.COM	(DWW) DES MOINES WATER WORKS CONTACT NAME: CHRIS MLYNARK OR JANA HODGES CONTACT PHONE: 5152337228 CONTACT EMAIL: ONECALLMAPS@DMWWW.COM
(ALT) ALTOONA, CITY OF CONTACT NAME: MARK JONES CONTACT PHONE: 5154165470 CONTACT EMAIL: LJOHNS@ALTOONA.IOWA.COM	(M52) MIDAMER-ELEC CONTACT NAME: CRAIG RANFELD CONTACT PHONE: 5152328632 CONTACT EMAIL: MECDDMDESIGN.LOCATES@MIDAMERICAN.COM
(COT) CITY OF DES MOINES TRAFFIC CONTACT NAME: MARK POLVAG CONTACT PHONE: 5152341109 CONTACT EMAIL: MAPOLVAG@DMGOV.ORG	(SPR) SOUTHEAST POLK RURAL WATER DIS CONTACT NAME: CHRIS MLYNARK OR JANA HODGES CONTACT PHONE: 5152337229 CONTACT EMAIL: ONECALLMAPS@DMWWW.COM
(CTUL01) CENTURYLINK CONTACT NAME: TOM STURMER CONTACT PHONE: 7257878000 CONTACT EMAIL: THOMAS.STURMER@CENTURYLINK.COM	(T17) MEDACOM COMMUNICATIONS CORP CONTACT NAME: PAUL MAY CONTACT PHONE: 5152487292 CONTACT EMAIL: PMAY@MEDACOMCC.COM
(DMS) DES MOINES, CITY OF SEWER CONTACT NAME: STEVE JOHNSON CONTACT PHONE: 5152371359 CONTACT EMAIL: SCJOHNSON@DMGOV.ORG	(ZAY) ZAYO GROUP LLD CONTACT NAME: GEORGE HUSS CONTACT PHONE: 434302023 CONTACT EMAIL: VENUS.MANUCIAN@ZAYO.COM

VICINITY MAP



OWNER/DEVELOPER GALLOWAY HOLDINGS LLC 6750 WESTOWN PKY SUITE 220 DES MOINES, IOWA 50328 PROJECT CONTACT: DARA BRIETZKE PHONE: 515-297-4200 EMAIL: DARA@GALLOWAYHOLDINGSIA.COM	ENGINEER/ LAND SURVEYOR FELDS DESIGN SERVICES 2323 DIXON ST DES MOINES, IOWA 50318 PROJECT CONTACT: ELARA JONDEL PHONE: (515) 265-8186 EMAIL: ELARA@FELDS.COM
CITY CONTACT CITY OF DES MOINES PLANNING AND ZONING 592 ROBERT D. RAY DRIVE DES MOINES, IOWA 50309 PROJECT CONTACT: FRANK CLUNN YOUNG PHONE: 515-283-4743 EMAIL: PADUNN@DMGOV.ORG	ARCHITECT FELDS DESIGN SERVICES 2323 DIXON ST DES MOINES, IOWA 50318 PROJECT CONTACT: DANIEL WILLRICH PHONE: 515-265-8186 EMAIL: DANIEL@FELDS.COM

SHEET INDEX

- | | |
|------------------|---------------------------|
| 1 - COVER SHEET | 5 - UTILITY PLAN |
| 2 - NOTE SHEET | 6 - EROSION CONTROL PLAN |
| 3 - SITE PLAN | 7 - STORMWATER MANAGEMENT |
| 4 - GRADING PLAN | 8 - LANDSCAPING PLAN |



I HEREBY CERTIFY THAT THE ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

YORKER W. L. FELDS, P.E. IA. LIC. NO. 18842 DATE _____
MY LICENSE RENEWAL DATE IS OCTOBER 31, 2021
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL, NONE UNLESS INDICATED HERE. 1-3



Architecture | Engineering | Surveying

2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4826, Des Moines, Iowa 50302 | Ph: 515 265 8186

REVISIONS:	LEGEND:	SYMBOLS	DESCRIPTIONS
	F.F. FINISHED FLOOR	STREET LIGHT	GUY ANCHOR
	FL FLOWLINE ELEVATION	POWER POLE	GAS VALVE
	121.60 GUTTER ELEVATION	LIGHT POLE	GAS MARKER POST
	123.610 TOP OF CURB ELEVATION	[T] ELEC. TRANSFORMER	GAS METER
	123.45 EXISTING ELEVATION	[E] ELEC. METER	GAS LINE
	○ CALCULATED CORNER	[EB] ELEC. BOX	HPS HIGH PRESSURE GAS LINE
	● FOUND CORNER	[E] ELEC. MANHOLE	○ SANITARY SEWER MANHOLE
	△ CALCULATED SECTION CORNER	[EV] ELEC. VAULT	○ SANITARY SEWER
	▲ FOUND SECTION CORNER	○ UNDERGROUND ELEC. MARKER POST	○ SEPTIC TANK
		○ OVERHEAD ELEC.	○ CLEANOUT
		○ UNDERGROUND ELEC.	○ DOWNSPOUT
			○ SINGLE INTAKE
			○ THROAT INTAKE
			○ STORM SEWER MANHOLE
			○ FLARED END SECTION
			○ VALVE
			○ FIRE HYDRANT
			○ WATER METER
			○ WATER VALVE
			○ WATER TEE
			○ WATER
			○ PROPOSED UTILITY LINE
			○ EXISTING UTILITY LINE
			○ FENCE LINE
			○ UNDERGROUND TEL.
			○ OVERHEAD TEL
			○ CABLE TELEVISION
			○ FIBER OPTIC
			○ TREE
			○ SIGN
			○ TEL. JUNCTION BOX
			○ CABLE TV JUNCTION BOX

ANCHOR BAPTIST CHURCH
5510 BROOKVIEW AVE
DES MOINES, IOWA

DATE: 04-08-2020	BY: A.BRADFIELD	DATE: 04-08-2020	BY: 20-013
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©2020 Project: 20-013 - Anchor Baptist Church/Engineering/04-Plan/Sheet 84

1 - COVER SHEET

CIVIL ENGINEERING NOTES
FOR
VALLEY JUNCTION MIXED USE BUILDING
5510 BROOKVIEW AVE
DES MOINES, IOWA

GENERAL NOTES

1. THE CITY OF DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF DES MOINES.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT D.S.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
4. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
5. DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLANS.
6. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
7. IF A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
8. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
10. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IDWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF DES MOINES.
11. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
13. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
14. ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF DES MOINES.
15. THE CONTRACTOR SHALL CONTACT THE CITY OF DES MOINES TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS.
16. IN THE EVENT OF ANY CONFLICTS NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL SUPERCEDE ALL OTHERS.

SURVEY NOTES

1. SURVEY WORK WAS COMPLETED BY FELDS DESIGN SERVICES IN MARCH 2020. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

STAKING NOTES

1. CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
2. CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
3. STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

DEMO NOTES

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
4. PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES, AS NECESSARY.
5. COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS, DRIVEWAYS, AND STRUCTURES INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS.
6. COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
7. PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER.
8. PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE.
9. COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION.
10. MAINTAIN OR RE-ESTABLISH ALL TIES, ROADWAY SUBDRAINAGE, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL.
11. IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS.
12. COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION. USE WATER OR APPROPRIATE CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE.
13. TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY. LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
14. REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES.
15. REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL. REMOVE STUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE. PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCE IN AREA. INCLUDING STORAGE OF EQUIPMENT OR MATERIALS AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY. REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
16. SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
17. WHERE SELECTIVE DEMOLITION IS SHOWN ON PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL JOINT NEAR THE LOCATION SHOWN.

WETLAND NOTES

1. FELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

DISCLAIMER

1. THIS DRAWING IS BEING MADE AVAILABLE BY FELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

UTILITY NOTES

1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARE END SECTION, WHERE APPLICABLE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
4. THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
5. THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES.
6. THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF REQUIRED BY CITY.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
8. CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR CONSTRUCTION.
9. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
10. ACTIVE EXISTING FIELD TIES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TIE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TIES.
11. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
12. ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
13. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
14. ALL STRUCTURES CALLED OUT AS "WOODPIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURAL STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPS TRENCHING. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID.
15. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
16. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
17. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 30' OF THE CROSSING.
18. ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
19. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH #4 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
20. ALL SURVEY SERVICE LINES SHALL HAVE TRACE WIRE.
21. WATER SERVICE SHALL BE TYPE K COPPER, DIP OR HDPE, DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS. IF CONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
22. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION.
23. ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BEADS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
24. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE.

EXISTING UTILITIES NOTE

1. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IDWA ONE-CALL (1-800-252-4899).

UTILITY CONFLICT NOTES

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
3. CONTRACTOR SHALL COMPLY WITH ALL OIR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
4. FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY FELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

SPECIFICATIONS NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF DES MOINES SUPPLEMENTAL SPECIFICATIONS.
2. IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE CITY OF DES MOINES REQUIREMENTS AND SPECIFICATIONS, INCLUDING URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE CITY OF DES MOINES STANDARD SPECIFICATIONS SHALL GOVERN.
3. FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.

REQUIRED AS-BUILT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO, IF REQUIRED BY CITY.
2. CONTRACTOR SHALL CONTACT FELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS.
3. IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

PAVING NOTES

1. THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FIVE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING IS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF DES MOINES SPECIFICATIONS AND THE LATEST VERSION OF SUDAS.
2. SEE DETAILS FOR ALL PAVEMENT THICKNESSES.
3. DETECTABLE WARNING PANELS CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
4. ALL WALLS, PARKING LOTS, HANDICAP PARKING, RAMP, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL TO THE EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES. THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

PAVEMENT SAWCUT NOTES

1. CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
2. PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
3. LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE "V-1" OR "L-2" JOINTS AND HAVE STEEL INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT. DO NOT NEED STEEL AND SHALL BE SUDAS TYPE "B" OR TYPE "C" JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE "C" OR TYPE "DWF" JOINTS WITH STEEL IN THE CASE OF A DAYS WORK JOINT.

SOIL NOTES

1. STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
2. RESPAED TOPSOIL TO A MINIMUM DEPTH OF 8 INCHES ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8 INCHES.
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4" INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 50 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF WPDES GENERAL PERMIT NO. 2 ARE MET.
6. REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE DOCUMENTS, FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

GRADING NOTES

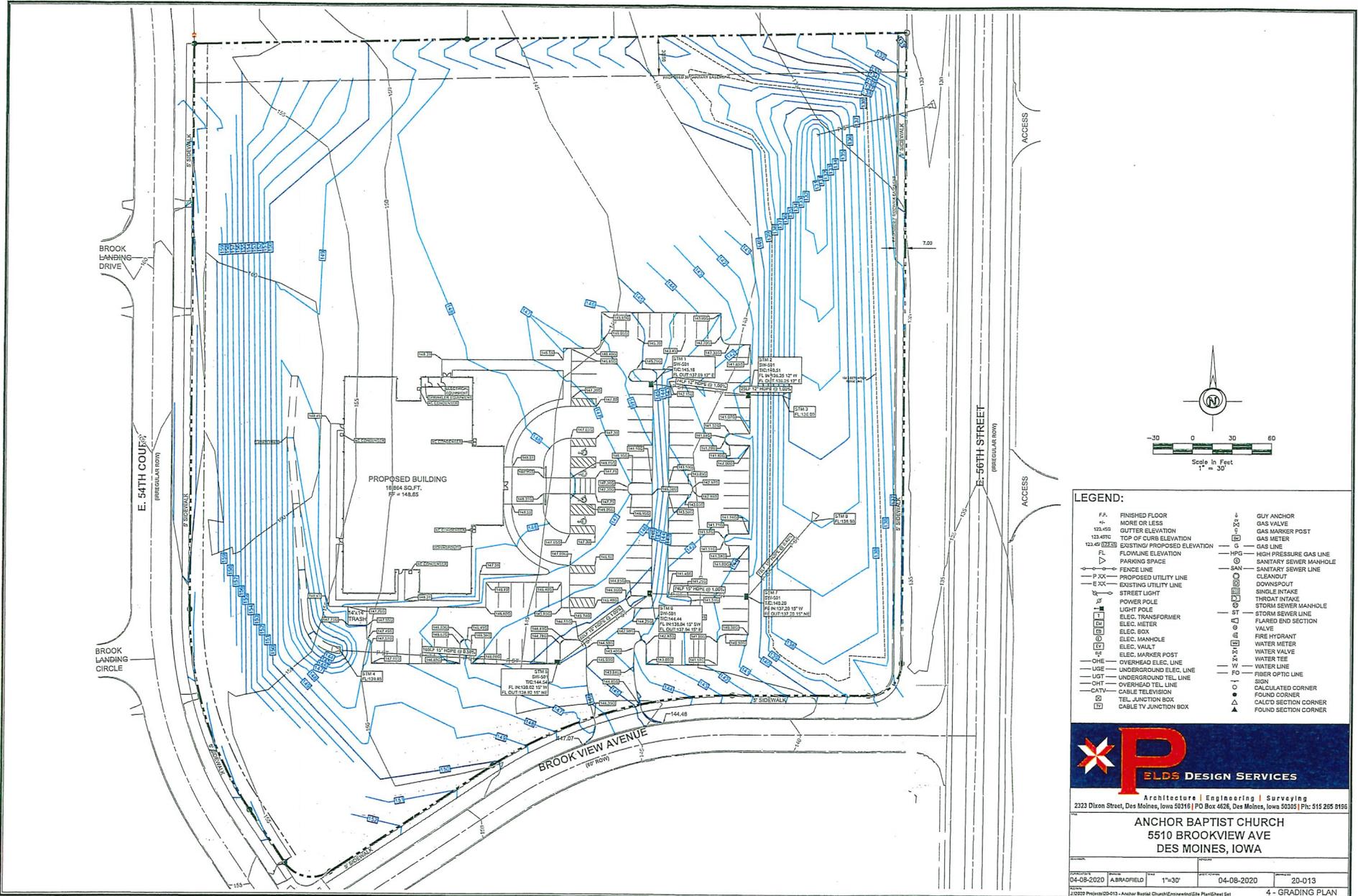
1. AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
2. PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RE-COMPACTED WITH ON-SITE FILL MATERIALS.
3. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
4. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
5. FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.30 FT. AND PAVED AREAS SHALL BE WITHIN 0.30 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN.
6. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
7. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
8. MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.
9. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.

LANDSCAPING NOTES

1. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SEED OR SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z66.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH OR BRICK CHIPS OR WASHED STONE AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
8. PROVIDE 5MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
9. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
10. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
11. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

Anchor Baptist Church
5510 BROOKVIEW AVE
DES MOINES, IOWA

DATE PLOTTED	DATE	PROJECT	SHEET NO.
04-08-2020	04-08-2020	N/A	20-013
20200 Paved02013 - Anchor Baptist Church Engineering Site Plan/Spec Set			2 - NOTE SHEET



LEGEND:

FF	FINISHED FLOOR	GA	GUY ANCHOR
ML	MORE OR LESS	GV	GAS VALVE
123.45G	GUTTER ELEVATION	GM	GAS MARKER POST
123.45TC	TOP OF CURB ELEVATION	GS	GAS METER
123.45/EXIST	EXISTING PROPOSED ELEVATION	GL	GAS LINE
FL	FLOWLINE ELEVATION	HPGS	HIGH PRESSURE GAS LINE
PS	PARKING SPACE	SMH	SANITARY SEWER MANHOLE
FL	FENCE LINE	SSM	SANITARY SEWER MANHOLE
P XX	PROPOSED UTILITY LINE	CS	CLEANOUT
E XX	EXISTING UTILITY LINE	DP	DOWNSPOUT
SL	STREET LIGHT	SI	SINGLE INTAKE
PP	POWER POLE	TI	THRIFT INTAKE
LP	LIGHT POLE	SSWMH	STORM SEWER MANHOLE
ET	ELEC. TRANSFORMER	FE	FLARED END SECTION
EM	ELEC. METER	VS	VALVE
EB	ELEC. BOX	FH	FIRE HYDRANT
EMH	ELEC. MANHOLE	WM	WATER METER
EV	ELEC. VAULT	WV	WATER VALVE
MP	ELEC. MARKER POST	WT	WATER TEE
OL	OVERHEAD ELEC. LINE	WL	WATER LINE
UOL	UNDERGROUND ELEC. LINE	FO	FIBER OPTIC LINE
LGT	UNDERGROUND TEL. LINE	CC	CALCULATED CORNER
OLT	OVERHEAD TEL. LINE	FC	FOUND CORNER
CATV	CABLE TELEVISION	CCD	CALCD CORNER
CB	TEL. JUNCTION BOX	CCD	FOUND SECTION CORNER
CTB	CABLE TV JUNCTION BOX		



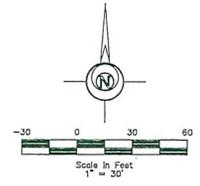
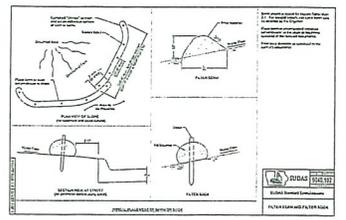
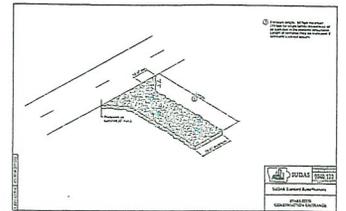
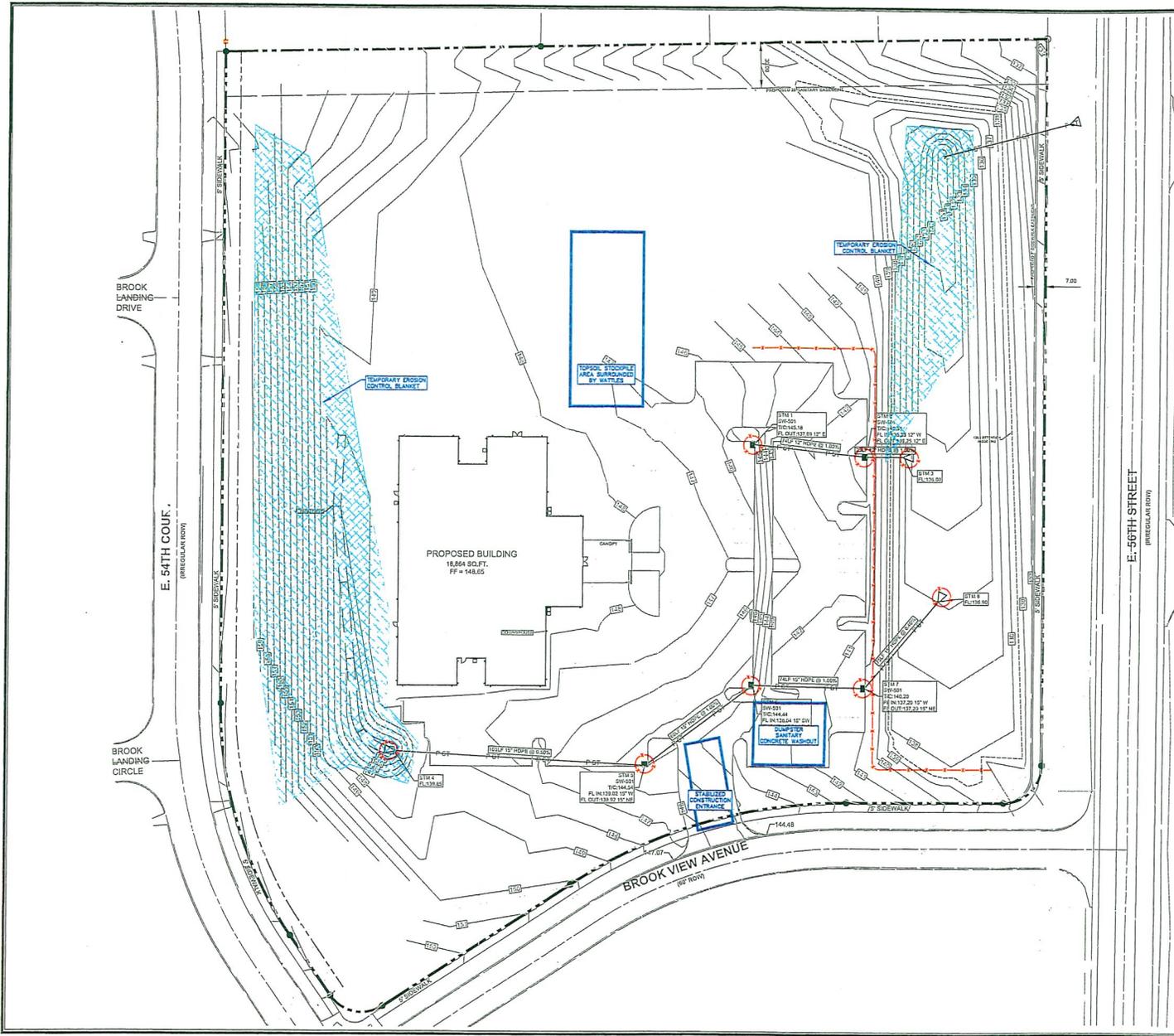
PELDS DESIGN SERVICES

Architecture | Engineering | Surveying
 2223 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | PH: 515 265 8196

ANCHOR BAPTIST CHURCH
5510 BROOKVIEW AVE
DES MOINES, IOWA

DATE: 04-09-2020	BY: A.B.M./O.F.I.E.D.	SCALE: 1"=30'	PROJECT: 04-08-2020	NO: 20-013
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I:\2020 Projects\20-013 - Anchor Baptist Church\Engineering\Site Plans\Sheet Set 4 - GRADING PLAN



- SWPPP NOTES:**
1. LOCATION OF STAGING AREAS TO CONTAIN: JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA, CONTROL RUNOFF WITH DIVERSION BERMS OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE. ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN.
 2. SEED MULCH OR SOO ALL DISTURBED AREAS NOT PAVED OR DEVELOPED.
 3. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING.
 4. A 4" LAYER OF TOPSOIL SHALL BE RESCREENED FROM THE STOCKPILE ONSITE TO PVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION, UNLESS FINANCIALLY OR TECHNOLOGICALLY INFEASIBLE.



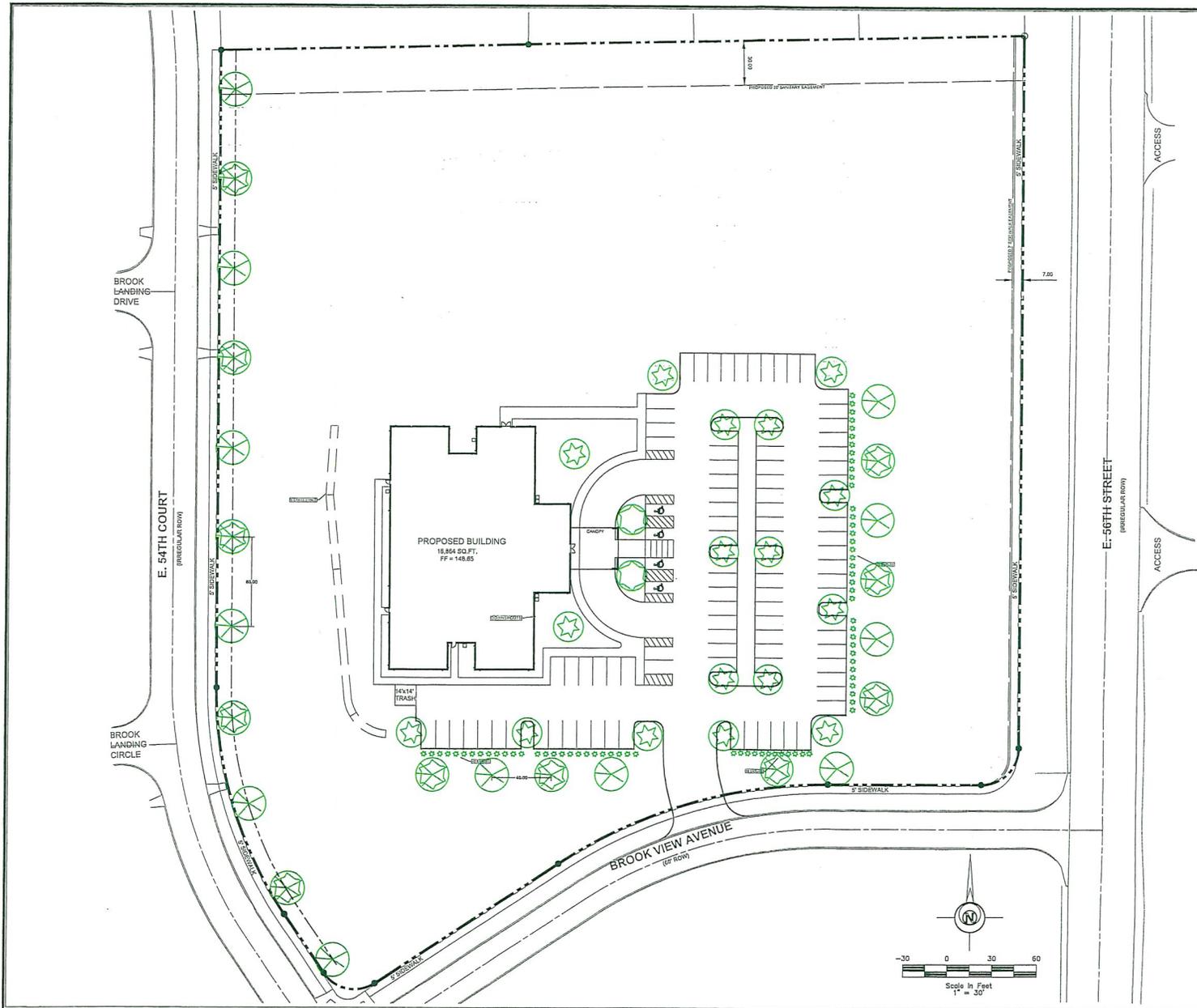


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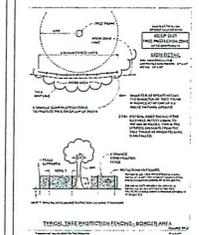
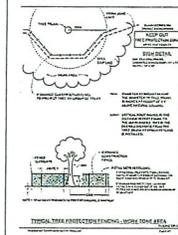
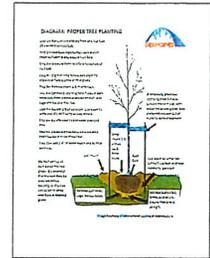
ANCHOR BAPTIST CHURCH
 5510 BROOKVIEW AVE
 DES MOINES, IOWA

DATE: 04-08-2020 DRAWN: ABR/KAFIELD SCALE: 1"=30' PROJECT: 04-08-2020 SHEET: 20-D13
 6 - EROSION CONTROL PLAN



PROPOSED TREES:

SYMBOL	#	COMMON NAME	SIZE
	11	KENTUCKY COFFEE TREE	1.5-2.5" CALIPER B&B
	12	RED MAPLE	1.5-2.5" CALIPER B&B
	2	REDBUD	1-2" CALIPER B&B
	17	PEAR	1-2" CALIPER B&B
	138	GOLDEN SPIREA (OR 4" TALL FENCE)	7' O.C., 4" TALL MAX



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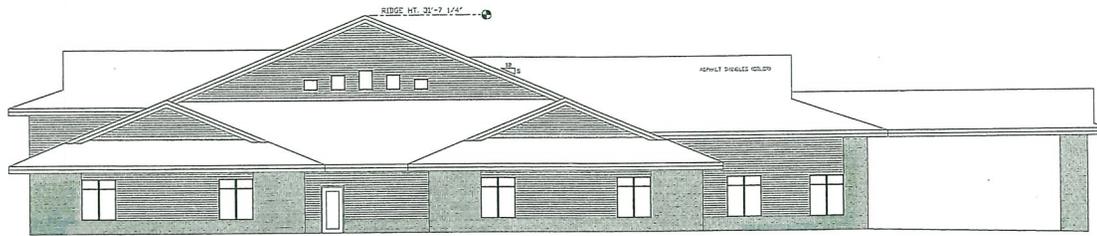
ANCHOR BAPTIST CHURCH
 5510 BROOKVIEW AVE
 DES MOINES, IOWA

PROJECT NO.	DATE	SCALE	DATE	DATE
04-08-2020	ABRADFIELD	1"=30'	4.6.2020	20-013

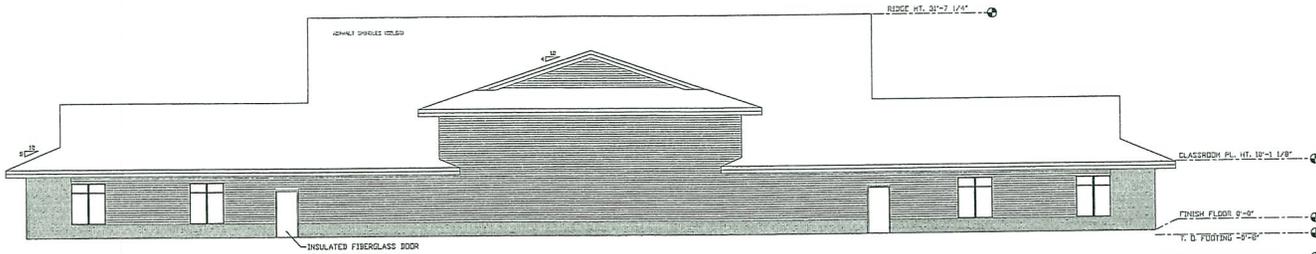
8 - LANDSCAPING PLAN



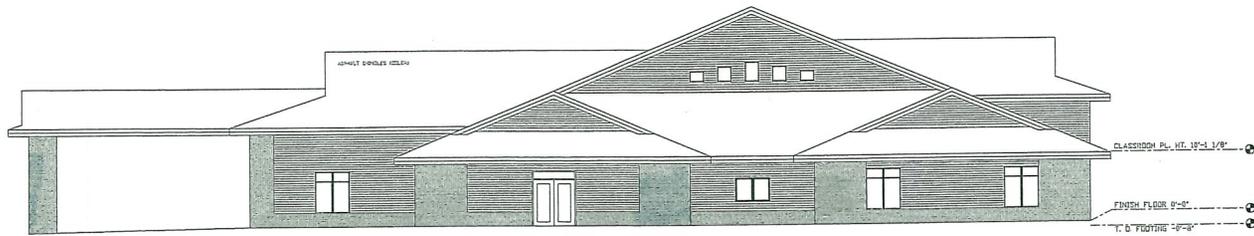
EAST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



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JDC
JOHNSTON DEVELOPMENT COMPANY

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PROJECT:
ANCHOR BAPTIST CHURCH
5510 Brook View Ave
Des Moines, Iowa

DATE
03/30/20

A-201



June 16, 2020

Date 7-13-20
 Agenda Item 104
 Roll Call # _____

Honorable Mayor and City Council
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their June 4, 2020 meeting, the following action was taken regarding a request from Brook Landing, LLC (owner) represented by Jon Galloway (officer) for review and approval of the PUD Final Development Plan "Anchor Baptist Church" on property at 5510 Brook View Avenue, to allow development of a 6.71-acre property with a worship assembly use within a 16,864-square foot building.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard				X
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the submitted "PUD" Final Development Plan "Anchor Baptist Church" on property at 5510 Brook View Avenue, subject to the following conditions:

- 1) Compliance with the 2nd Amendment to the Brook Landing "PUD" Conceptual Plan, which is being considered simultaneously.

- 2) Compliance with all administrative review comments by the City's Permit & Development Center and/or Site Plan Review Staff.

(10-2020-7.110)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the submitted "PUD" Final Development Plan "Anchor Baptist Church" on property at 5510 Brook View Avenue, subject to the following conditions:

- 1) Compliance with the 2nd Amendment to the Brook Landing "PUD" Conceptual Plan, which is being considered simultaneously.
- 2) Compliance with all administrative review comments by the City's Permit & Development Center and/or Site Plan Review Staff.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The existing "PUD" Conceptual Plan for Brook Landing currently states: "Any development of a religious assembly use on Parcel B shall be subject to an amendment of the PUD so that the architectural character and site layout can be reviewed and approved".

The applicant proposes an amendment to the Brook Landing "PUD" Conceptual Plan and a "PUD" Development Site Plan to allow development of a church on "Parcel B". Since the "PUD" Conceptual Plan and the "PUD" Development Site Plan are being considered simultaneously, any required revisions to the "PUD" Conceptual Plan will also necessitate corresponding revisions to the submitted "PUD" Development Site Plan.

2. **Size of Site:** 7.5 acres. (The overall PUD is approximately 72 acres).
3. **Existing Zoning (site):** "Brook Landing PUD" Planned Unit Development District.
4. **Existing Land Use (site):** Agricultural production.

5. Adjacent Land Use and Zoning to Site of Amendment:

North - "N1a"; Uses are single-family dwellings along East Douglas Avenue.

South - "Brook Landing PUD"; Use is currently agricultural production. However, the approved "Brook Landing PUD Conceptual Plan" allows this land to be developed with a mix of one- and two-family dwellings. The area immediately adjoining the subject property would have lot widths of approximately 75 feet.

East - "N1a"; Uses include East 56th Street, a church, and an archery range.

West - "Brook Landing PUD"; Uses are East 54th Street and single-family dwellings.

6. **General Neighborhood/Area Land Uses:** The subject property is in a developing area that includes a mix of residential and agricultural production uses.

7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Brook Run Neighborhood. The neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on May 15, 2020 and by mailing of the Final Agenda on May 29, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on May 15, 2020 (20 days prior to the public hearing) and May 22, 2020 (10 days prior to the public hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Brook Run Neighborhood Association notices were mailed to Amanda Robinson, 5227 Brook View Avenue, Des Moines, IA 50317.

Due to the COVID-19 pandemic, the applicant was unable to hold a neighborhood meeting. However, on May 26, 2020, the applicant mailed a letter to the neighboring property owners to explain their proposal and to provide contact information in case they had any questions or comments. The applicant will provide a summary of any communications with neighboring property owners prior to the public hearing.

8. **Relevant Zoning History:** The property was annexed to the City of Des Moines in 2009, at which time it became zoned "A-1" Agricultural District.

On May 23, 2016, the City Council rezoned the site to "PUD" District by Ordinance No. 15,479. The Brook Landing "PUD" Conceptual Plan established at that time allowed for development of single-family residential lots and designated a 7.5-acre "Parcel B" for future development of a church use.

On August 8, 2016, the City Council approved the first amendment to the Brook Landing "PUD" Conceptual Plan by Ordinance 15,501. This 1st amendment added 2 acres to the north edge of the "PUD", which allowed creation of three (3) additional lots for single-family residential development.

9. **PlanDSM Creating Our Tomorrow Designation:** The subject property is located within an area designated on the PlanDSM Future Land Use Map as Low-Density

Residential. The plan defines this category as “Areas developed with primarily single-family and two-family residential units with up to 6 dwelling units per net acre”. The proposed “PUD” Conceptual Plan amendment and Final development site plan would not require this designation to be amended.

10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the application, accompanying evidence and Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of the City Code and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the amended PUD Conceptual Plan as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the Commission shall be referred to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **PUD Conceptual Plan:** The existing “PUD” Conceptual Plan currently states: “Any development of a religious assembly use on Parcel B shall be subject to an amendment of the PUD so that the architectural character and site layout can be reviewed and approved”.

The submitted amendment to the “PUD” Conceptual Plan provides the following architectural standards for the building: Building design will use similar architectural styles and be consistent with the quality and character of the surrounding structures. Construction to be wood frame with standard exterior materials including vinyl siding, cement fiber siding, or horizontal steel siding within hidden fasteners; asphalt shingles or standing seam metal roof, brick, stone, and glass. EIFS may be used as an accent or trim only. Prohibited materials include plywood, plastic, plaster, and composite wood-based panel systems.”

Staff recommends that the building elevations submitted with the Site Plan (10-2020-7.110) should be included on the “PUD” Conceptual Plan as “Sheet 4” in order to provide an architectural character example of what can be developed on “Parcel B”.

Given that the west façade of the building would be highly visible from houses on the west side of East 54th Street, Staff recommends that additional brick be provided on the west façade. Staff recommends that brick cover the entire first floor portion of the tall wall section at the middle of the building and that the brick section be topped with a decorative soldier course.

Staff also recommends that notes be added to the elevations to state that each façade shall have a minimum transparency (windows and doors) of 12% and that the roof shall either be architectural asphalt shingles or standing seam metal.

2. **Drainage:** The approved “PUD” Conceptual Plan amendment proposes a network of public storm sewers throughout the development and four (4) stormwater detention basins on outlots located at the periphery of the site. It states that “the detention

facilities will be maintained by a homeowner's association". The City will require the entire subdivision to be located within a horizontal property regime, with the detention basins designated as common areas shared by the owners of all the residential units. Common areas within a horizontal property regime are not separately taxed. In a horizontal property regime, the value of the common areas is allocated among the residential units.

The Site Plan for the religious assembly use demonstrates that a stormwater detention basin would be provided on both the east and west sides of the site.

3. **Grading:** The proposed "PUD" Conceptual Plan amendment contains a note stating that a stormwater runoff control plan per City Code Section 106-136 is required and that all grading is subject to an approved grading permit and soil erosion control plan.
4. **Street System/Off-Street Parking:** The submitted Site Plan demonstrates that the religious assembly use on "Parcel B" would contain an off-street parking lot accessed by a single driveway from Brook View Avenue. Staff recommends that "Sheet 2" of the "PUD" Conceptual Plan be revised to reflect a conceptual layout of "Parcel B". Staff also recommends a note be added to state that off-street parking on "Parcel B" will be provided at a minimum ration of 1 parking space per 6 seats in the principal auditorium, plus 1 parking space per 400 square feet of office space.

The Site Plan must provide public sidewalks along all public streets, as well as pedestrian connections from the building to each street frontage.

5. **Landscaping:** Staff recommends that the "PUD" Conceptual Plan provide a note that states "Parcel B" shall landscaped in conformance with the regulations contained in City Code Chapter 135 that are applicable to a Civic Building in a "P2" District. Staff also recommends that a note be added to state that native plantings shall be considered around the stormwater basins on the site.
6. **Additional Information:** Staff recommends provision of a note stating that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gates.

Also, the duplicate signature block and the reference to existing zoning on "Sheet 1" should be eliminated.

SUMMARY OF DISCUSSION

Bert Drost presented staff report and recommendation.

Jann Freed asked if the applicant agreed with all staff recommendations.

Greg Wattier asked what they are amending.

Bert Drost stated the existing PUD conceptual plan stated any future development on parcel B shall be subject to an amendment so this is to review building architecture.

Jann Freed asked for the count for cards in favor and opposition?

Bert Drost stated it was 7 in favor and 8 in opposition.

Wally Pelds, Pelds Design Services, 2323 Dixon Street representing the applicant stated they were intending to be on the consent agenda tonight. They are sensitive to the traffic issues and will make sure to address those concerns as they go through the site plan process.

Greg Wattier asked if they are required to do a traffic study?

Wally Pelds stated that hasn't been requested yet.

Erik Lundy stated Traffic and Transportation didn't require a Traffic Impact Analysis.

CHAIRPERSON OPENED THE PUBLIC HEARING

None were present or requested to speak.

CHAIRPERSON CLOSED THE PUBLIC HEARING

COMMISSION ACTION:

Rocky Sposato made a motion for approval of the submitted "PUD" Final Development Plan "Anchor Baptist Church" on property at 5510 Brook View Avenue, subject to the following conditions:

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Motion passed: 13-0

Respectfully submitted,

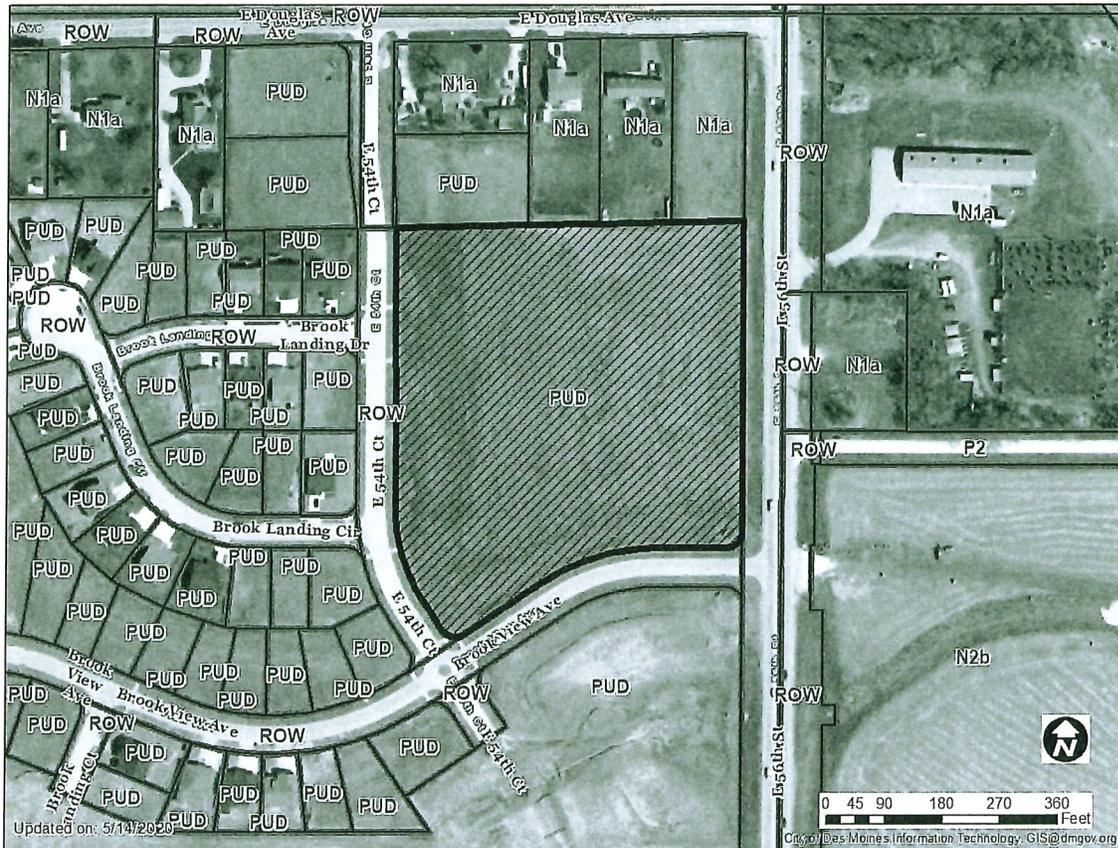

Michael Ludwig, AICP
Planning Administrator

MGL:tjh

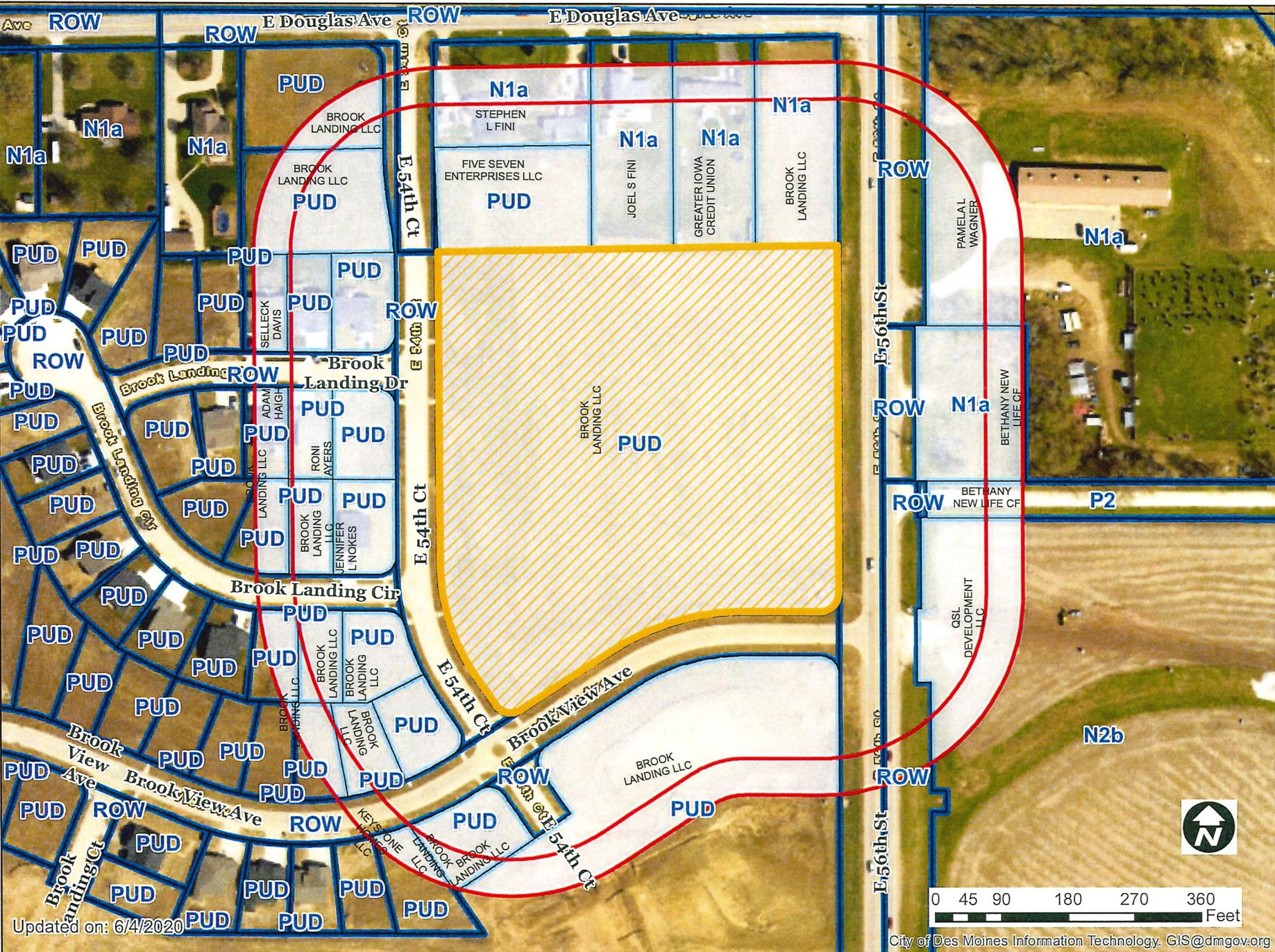
Brook Landing, LLC (owner) represented by Jon Galloway (officer) for property at 5510 Brook View Avenue.				File #	
				10-2020-7.110	
Description of Action	Review and approval of a PUD Final Development Plan "Anchor Baptist Church", to allow development of a 6.71-acre property with a worship assembly use within a 16,864-square foot building.				
Plan/DSM Future Land Use	Current: Low Density Residential. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	2020-2024 East Douglas Avenue Widening (LRTP ID#10)..				
Current Zoning District	Legacy "PUD" Planned Unit Development.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	0	0			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council		Yes
	Denial				No X

Brook Landing, LLC, 5510 Brook View Avenue

10-2020-7.110



1 inch = 174 feet



Updated on: 6/4/2020



City of Des Moines Information Technology, GIS@dmgov.org

1 inch = 173 feet

Handwritten signature or initials.