



**Date** July 13, 2020

**RESOLUTION HOLDING HEARING ON REQUEST FROM  
PINNACLE ON FLEUR, LLC FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN  
FOR “PINNACLE ON FLEUR” FOR PROPERTY AT 2710 FLEUR DRIVE**

**WHEREAS**, on June 22, 2020, by Roll Call No. 20-1005, the City Council received a communication from the City Plan and Zoning Commission advising that at a public hearing held on June 4, 2020, its members voted 13-0 in support of a motion to recommend **APPROVAL** of a request from Pinnacle on Fleur, LLC (owner), represented by William Kimberly (officer), regarding property located at 2710 Fleur Drive, to allow approval of a PUD Final Development Plan “Pinnacle on Fleur” to allow redevelopment of Lot 5 in the Plan for the former American Institute of Business campus property to be redeveloped with 20 household units within three row-type buildings, subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Compliance with all requirements of the approved 1<sup>st</sup> Amendment to the Village at Gray’s Lake PUD Conceptual Plan including the following:
  - A) Streetscape: Add street trees within the right-of-way spaced 30’ apart. Trees should be no closer than 15’ to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
  - B) Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15’ in height.
  - C) No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15’.
  - D) Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
  - E) Walks shall be provided between sites to adjoining properties within the PUD with shared vehicle/pedestrian ingress/egress easements.
3. Provision of the required end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover to the satisfaction of the Planning Administrator; and

**WHEREAS**, the property is legally described as follows:

LOT 5, THE VILLAGE AT GRAY’S LAKE, AN OFFICIAL PLAT, CITY OF DES MOINES,  
POLK COUNTY, IOWA, CONTAINING 3.06 ACRES MORE OR LESS; AND

**WHEREAS**, on June 22, 2020, by Roll Call No. 20-1005, it was duly resolved by the City Council that the request for approval of the PUD Final Development Plan be set down for hearing on July 13, 2020 at 5:00 p.m., by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community; and



**Roll Call Number**

**Agenda Item Number**

65

**Date** July 13, 2020

**WHEREAS**, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place for hearing on said proposed PUD Final Development Plan; and

**WHEREAS**, in accordance with said notice, those interested in said proposed PUD Final Development Plan, both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council.

**NOW THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:

1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed PUD Final Development Plan "Pinnacle on Fleur" are hereby overruled, and the hearing is closed.
2. The proposed PUD Final Development Plan "Pinnacle on Fleur", as on file in the Community Development Department, is hereby found to be in conformance with PlanDSM: Creating Our Tomorrow Plan and is hereby approved, subject to revision and conditions stated above.

MOVED BY \_\_\_\_\_ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank  
Glenna K. Frank, Assistant City Attorney

(10-2020-7.97)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

**CERTIFICATE**

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

MOTION CARRIED APPROVED

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



June 16, 2020

Date 7-13-20  
 Agenda Item 65  
 Roll Call # \_\_\_\_\_

Honorable Mayor and City Council  
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their June 4, 2020 meeting, the following action was taken regarding a request from Pinnacle on Fleur, LLC represented by William Kimberly (officer) for review and approval of a PUD Final Development Plan "Pinnacle on Fleur" on property located at 2710 Fleur Drive, to allow development of 20 household units within three (3) Row Type Buildings in accordance with the approved PUD Conceptual Plan requirements.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard				X
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

**APPROVAL** of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.

2. Compliance with all requirements of the approved 1<sup>st</sup> Amendment to the Village at Gray's Lake PUD Conceptual Plan including the following:
  - A) Streetscape: Add street trees within the right-of-way spaced 30' apart. Trees should be no closer than 15' to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
  - B) Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
  - C) No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15'.
  - D) Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
  - E) Walks shall be provided between sites to adjoining properties within the PUD with shared vehicle/pedestrian ingress/egress easements.

Provision of the required end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover to the satisfaction of the Planning Administrator.

(10-2020-7.97)

## **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Staff recommends approval of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Compliance with all requirements of the approved 1<sup>st</sup> Amendment to the Village at Gray's Lake PUD Conceptual Plan including the following:
  - A) Streetscape: Add street trees within the right-of-way spaced 30' apart. Trees should be no closer than 15' to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
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Provision of the required end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a

walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover to the satisfaction of the Planning Administrator.

## STAFF REPORT TO THE PLANNING COMMISSION

### I. GENERAL INFORMATION

1. **Purpose of Request:** The request would allow Lot 5 of the Village at Gray's Lake PUD to be redeveloped for a 20-unit Row Building Type multiple-household community. This would include removing the existing garages on site.
2. **Size of Site:** 3.06 acres.
3. **Existing Zoning (site):** "PUD" Planned Unit Development.
4. **Existing Land Use (site):** The property is largely vacant but is developed with a row of garages that were accessory to student apartment buildings that were demolished in 2017.
5. **Adjacent Land Use and Zoning:**
  - North** - "PUD", Uses are former dormitories, offices and classrooms for the former AIB School of Business.
  - South** - "R-3", Uses are multiple-family residential dwellings.
  - East** - Norse "PUD", Use is the Butler Mansion office building.
  - West** - "NX2", Uses include multiple-family residential development.
6. **General Neighborhood/Area Land Uses:** The subject property is located on the Fleur Drive corridor in an area that transitions from Industrial to the north to medium-to-low density residential development toward the south and west.
7. **Applicable Recognized Neighborhood(s):** The subject property is in the Southwestern Hills Neighborhood and within 250 feet of the Gray's Lake Neighborhood. All recognized neighborhoods were notified of the meeting by mailing of the Preliminary Agenda on May 15, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on May 15, 2020 (20 days prior to the hearing) and on May 22, 2020 (13 days prior to the scheduled hearing due to the Memorial Day holiday) to the Southwestern Hills Neighborhood, the Gray's Lake Neighborhood, and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on May 29, 2020.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Southwestern Hills Neighborhood Association mailings were sent to George Davis, 3124 Southwest 29th Street, Des

Moines, IA 50321 and the Gray's Lake Neighborhood Association mailings were sent to Rick Trower, 1310 Broad Street, Des Moines, IA 50315.

- 8. Relevant Zoning History:** On October 14, 2019 by Ordinance No. 15,813 the City Council rezoned the subject property from "M-3" Limited Industrial District and "R-3" Multiple Family Residential District to "PUD" Planned Unit Development District along with adoption of the Village at Gray's Lake PUD Conceptual Plan.

On May 18, 2020 by Roll Call No. 20-0863, the City Council approved the 1<sup>st</sup> Amendment to the Village at Gray's Lake PUD Conceptual Plan to allow the Lot 5 area to be redeveloped with a 20-units of multi-household rowhomes. This was subject to the following revisions to the Conceptual Plan:

- 1) Addition of a statement as to how stormwater management would be handled with future redevelopment.
- 2) Landscaping requirements should be indicated listing standards reflective of the Conceptually shown landscaping.
- 3) Provide the following notes on the PUD Conceptual Plan Amendment:
  - a. Streetscape: Street Trees should be spaced 30' apart within the right-of-way along each frontage. Trees should be no closer than 15' to a street light.
  - b. Frontage Perimeter Landscaping: The required area shall be a minimum of 12-feet in depth measured from the street property line with a 3-foot berm or landscaped screen. Shade trees and shrubs shall be provided at a minimum of 1 tree and three shrubs per 40 lineal feet on center.
  - c. Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
  - d. No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15'.
  - e. Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
  - f. Mechanical vents shall not protrude from any street facing façade. A minimum 5' sidewalk is required along each frontage. Identify either indoor or covered bike parking amenities.
  - g. Easements shall be provided for shared vehicle/pedestrian ingress/egress between sites and to the public sidewalk.
  - h. Direct light trespass beyond the property lines is prohibited. The maximum horizontal illuminance at grade and the maximum illuminance at five feet above graded measure at the property line shall not exceed illuminating Engineering Society of North America recommended practices for light trespass which is 0.5 footcandles for N districts and 2.0 footcandles for all other districts.
  - i. Any Final Development Plan shall discuss the method for trash removal service. If receptacles are not kept within the separate garages for the units, then a screening solution for their outdoor location would need to be shown on the Final Development Plan.

- j. Provisions for permitted site fencing and walls to include heights, design, and materials. Fencing in the front yard between the row townhomes and Fleur should not exceed 4 feet in height.
- 4) Revise typical Row House Type elevations to:
- a. label required materials.
  - b. show stone material wrapped around 360 degrees of the buildings on the main story level, exclusive of windows and door openings.
  - c. show end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover.
  - d. show a minimum of 12% transparency on the façade of the lower/garage floor ends of the buildings oriented toward Fleur Drive. More transparency may be required to receive tax abatement.

**9. PlanDSM Future Land Use Plan Designation:** Community Mixed Use.

**10. Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

**II. ADDITIONAL APPLICABLE INFORMATION**

**1. PUD Conceptual Plan and Planning and Design Ordinance Requirements:** After review of the submitted PUD Final Development Plan the following deficiencies are noted as required by the approved PUD Conceptual Plan Amendment:

- A) Streetscape: Add street trees within the right-of-way spaced 30' apart. Trees should be no closer than 15' to a street light. This should be coordinated with City Engineering Design staff with the Fleur Drive streetscape project.
- B) Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
- C) No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15'.
- D) Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
- E) Walks shall be provided between sites to adjoining properties within the PUD with shared vehicle/pedestrian ingress/egress easements.

**2. Urban Design/Building Requirements:** The submitted PUD Final Development Plan provides elevations for the Row Buildings in clusters of 5, 7 and 8 household units. There is stone proposed on all facades of the lower/garage story on all three building clusters. The upper stories and the ground story sides include at least two contrasting colors of fiber cement board panels and one lap-style fiber cement board. There are various shapes of vertical and horizontal windows on the front and back.

The PUD Conceptual Plan Amendment required that the end facade of the units closest for Fleur Drive is required have a separate prominent pedestrian entrance either from the garage or unit that would have a walkway to the private drive. This entrance is required to have an awning reflective of the building design. This is consistent with other Row House Type end facades in other developments when the main entrances of the units have not faced a public street but rather a private drive. The submitted plan does not provide for elements and any approval of the PUD Final Development Plan must be subject to meeting the requirements of the PUD Conceptual Plan as amended.

- 3. Permit & Development Center Comments:** Any development of row townhomes is subject to compliance with all applicable building codes and issuance of all necessary permits by the Permit and Development Center.

### **SUMMARY OF DISCUSSION**

Erik Lundy suggested Item #5, #7 and #8 can be moved the consent as the applicant agrees with staff recommendations.

Jann Freed asked if any members of the public or the Commission had any concerns about moving Items #5, #7 and #8 to the consent agenda. None requested to speak.

John "Jack" Hilmes made a motion to move Items #5, #7 and #8 to the consent agenda. Motion Carried 13-0

Jann Freed asked if any members of the public or the Commission wanted to speak regarding consent agenda Items #1, #2, #5, #7 or #8. None requested to speak.

### **COMMISSION ACTION:**

John "Jack" Hilmes made a motion for approval of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Compliance with all requirements of the approved 1<sup>st</sup> Amendment to the Village at Gray's Lake PUD Conceptual Plan including the following:
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Motion passed: 13-0

Respectfully submitted,

  
Michael Ludwig, AICP  
Planning Administrator

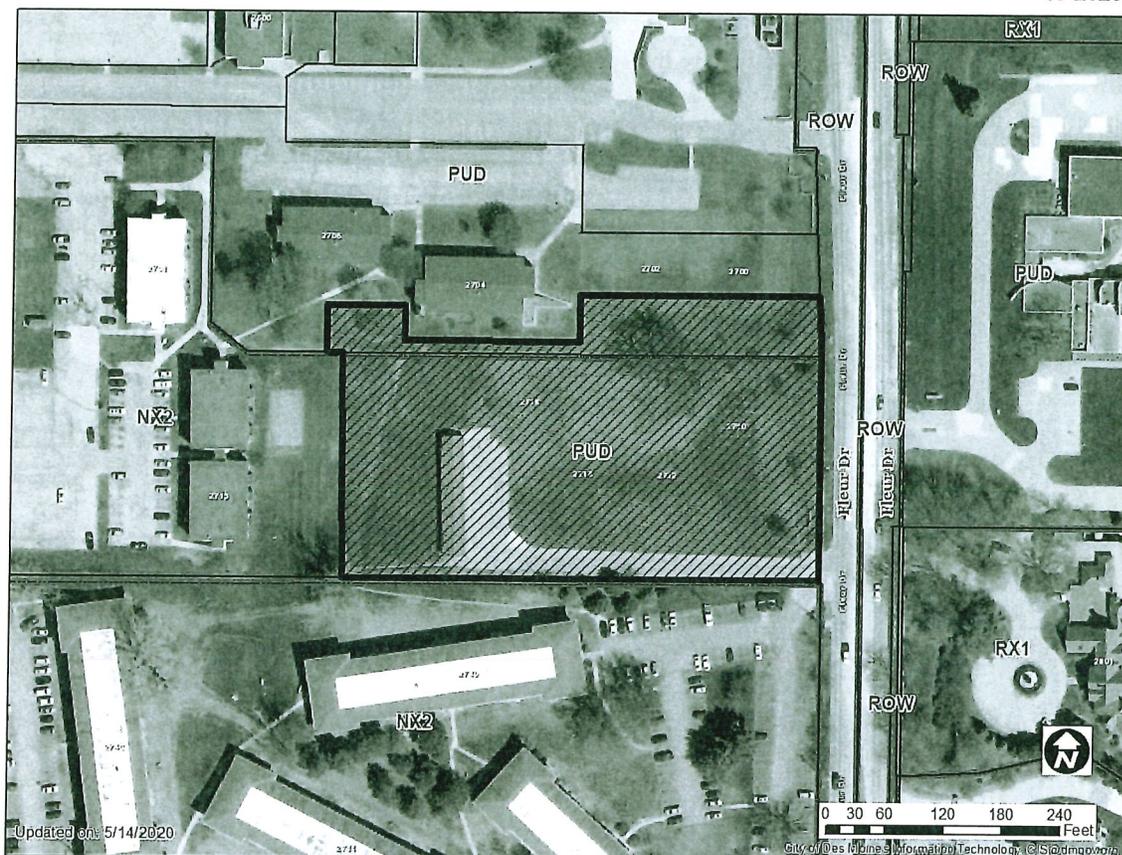
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65

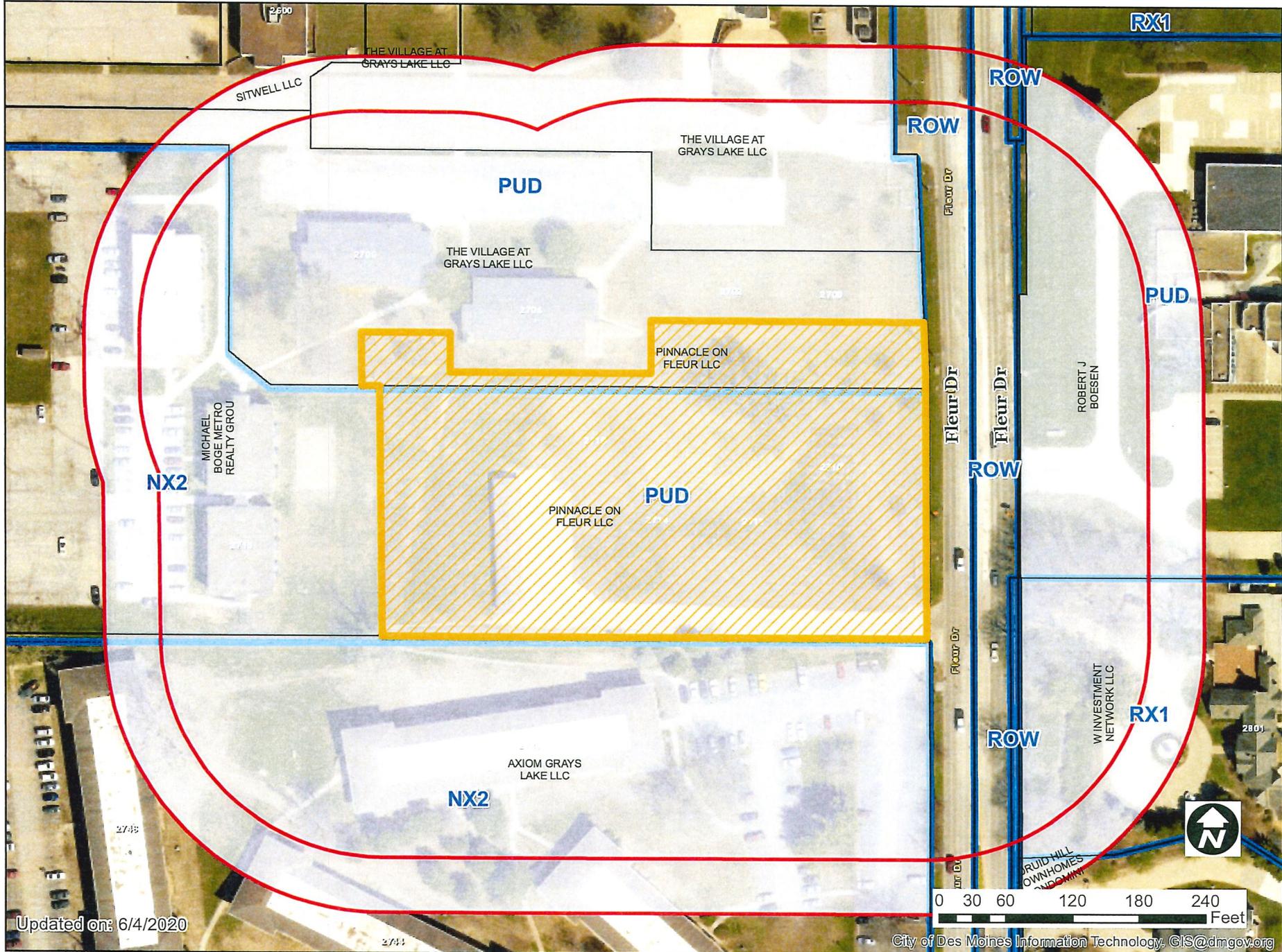
Pinnacle on Fleur, LLC represented by William Kimberly (officer) for property located at 2710 Fleur Drive.				File #	
				10-2020-7.97	
Description of Action	Review and approval of a PUD Final Development Plan "Pinnacle on Fleur", to allow development of 20 household units within three (3) Row Type Buildings in accordance with the approved PUD Conceptual Plan requirements.				
PlanDSM Future Land Use	Current: Community Mixed Use. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No planned improvements.				
Current Zoning District	Legacy "PUD" Planned Unit Development.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	0	0			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

Pinnacle on Fleur, LLC, 2710 Fleur Drive

10-2020-7.97



1 inch = 115 feet



Updated on: 6/4/2020

City of Des Moines Information Technology, GIS@dmgov.org

1 inch = 115 feet

65

**GENERAL NOTES**

1. ALL WORK IN THE CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
2. ALL WORK IN THE CITY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH SUDAS AND THE CITY OF DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUDAS EFFECTIVE AT THE TIME OF PLAN APPROVAL. CONTACT CITY FORESTER (515) 283-4105 BEFORE ANY TREE INSTALLATION COMMENCES.
3. ANY ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
4. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS AND SHALL BE SETBACK FURTHER THAN 15 FEET FROM ANY BUILDING FACADE ORIENTED TOWARD FLEUR DRIVE.
5. LIGHTING MUST BE LOW GLARE OUT OFF THE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
6. THE REQUIRED LANDSCAPING BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
7. ROOFTOP MECHANICAL PLANS AND SCREENING, ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE PUD FINAL DEVELOPMENT PLAN NEED TO BE APPROVED WITH THE RESULT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
8. A SIDEWALK/DRIVE APPROACH PERMIT IS REQUIRED.
9. LIGHTING SHALL BE FEDERAL IN SCALE HAVING POLES NO TALLER THAN 20' WITH CUT-OFF DOWN DIRECTIONAL FIXTURES, AND SHALL NOT INTERFERE WITH LANDSCAPING.
10. PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO UPC. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.
11. CURB TO BE 3-INCH ROLLED CURB PER DETAIL SHOWN ON GRADING SHEET.
12. ALL TRASH & RECYCLING SHALL BE HANDLED THROUGH RESIDENTIAL TRASH PICKUP & ALL TOTES SHALL BE STORED WITHIN GARAGES UNTIL THE DAY OF PICK-UP.

**DIMENSION NOTES**

1. ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH SUDAS.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNDERGOING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUDAS.
5. PAVEMENT SHALL BE 7-INCH P.C.C. IN PUBLIC RIGHT-OF-WAY.
6. PAVEMENT IN PARKING SHALL BE 6-INCH P.C.C.
7. ALL SIDEWALKS SHALL BE 4-INCH P.C.C.

**DISTURBED AREA**  
133,729 S.F. (3.07 ACRES)

**PARKING REQUIREMENTS**

REQUIRED PARKING:  
2 SPACES PER DWELLING UNIT

**BIKE RACK REQUIREMENTS**

REQUIRED PARKING:  
85 x 10' = 8.5

**BENCHMARK**

DES MOINES BENCHMARK #2886  
834.5 PLUS IN SOUTHWEST CORNER OF TRAFFIC BASE AT THE NORTHWEST CORNER OF INTERSECTION OF BELL AVENUE AND FLEUR DRIVE.  
ELEVATION: -64.95

**SHEET INDEX**

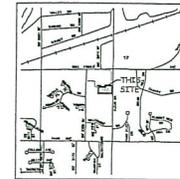
1. DIMENSION PLAN
2. DEMOLITION PLAN
3. GRADING PLAN
4. UTILITY PLAN
5. LANDSCAPE PLAN

**SITE AREAS**

BUILDING 32,670 S.F. 24%  
PAVING 26,079 S.F. 20%  
OPEN SPACE 74,980 S.F. 56% (20% required)  
TOTAL 133,729 S.F. 100%

**SUSTAINABILITY ITEMS**

- BIKES RACKS FOR PUBLIC USE PROVIDED AT 10% PARKING PROVIDED.
- 50% INCREASE IN REQUIRED LANDSCAPING.
- PRIMARY ENTRY WITHIN 1/4 MILE OF BART TRANSIT STOP.
- EXCEED APPLICABLE ENERGY CODE BY 15%



**VICINITY SKETCH**

NORTH  
SCALE: 1"=200'

**PUD FINAL DEVELOPMENT PLAN**  
**PINNACLE ON FLEUR**  
Sheet 1 of 4

**OWNER/APPLICANT**

PINNACLE ON FLEUR, LLC  
2788 NORTH ANKENY BLVD SUITE 22  
ANKENY, IOWA 50023  
515-963-4335  
BILL@PINNACLE.COM

**ZONING**

THE VILLAGES AT GRAY'S LAKE P.U.D. (ZON2019-00152)

**PROJECT USE**

MULTIPLE HOUSEHOLD ROW TYPE DWELLINGS  
MAXIMUM UNITS: 20  
MAX STORY HEIGHT: 3.5

**SETBACKS**

FRONT-25'  
REAR-25'  
SIDE-25'

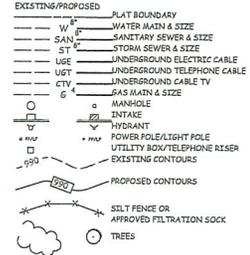
**PARKING SETBACKS**

NORTH-4'  
WEST-0'  
EAST-0'  
SOUTH-4'

**LEGAL DESCRIPTION**

LOTS 5, THE VILLAGES AT GRAY'S LAKE, AN OFFICIAL PLAT, CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 3.06 ACRES MORE OR LESS.

**LEGEND**



**CERTIFICATION**

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.



BRADLEY R. COOPER, IOWA LICENSE NO. 12980  
4415 DENVER ROAD, SUITE 205, DES MOINES, IA 50317  
PAGES OR SHEETS COVERED BY THIS SEAL: 1  
SHEETS 1-4

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-26-2020  
REVISIONS: 3-14-2020



**DIMENSION PLAN**  
**PINNACLE ON FLEUR**

**JOB NUMBER**

**CC 2241**

**SHEET 1 OF 5**

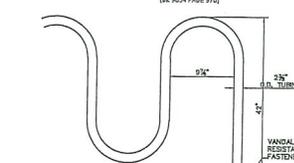
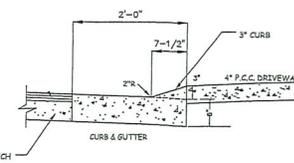
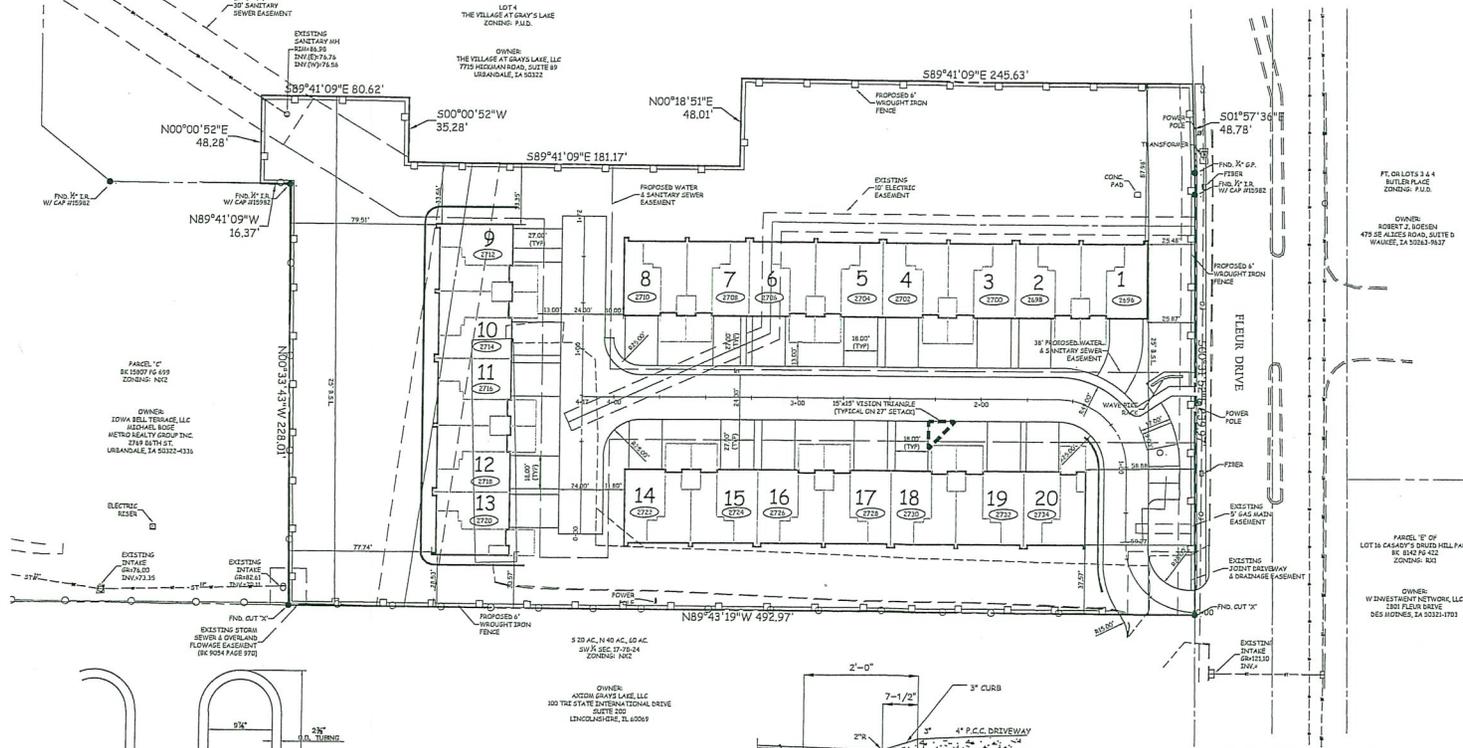
**PUD FINAL DEVELOPMENT PLAN APPROVAL**

APPROVED  APPROVED WITH CONDITION

IN ACCORDANCE WITH SECTION 135-2.2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.

DATE: \_\_\_\_\_ CITY COUNCIL  
DATE: \_\_\_\_\_ COMMUNITY DEVELOPMENT DIRECTOR



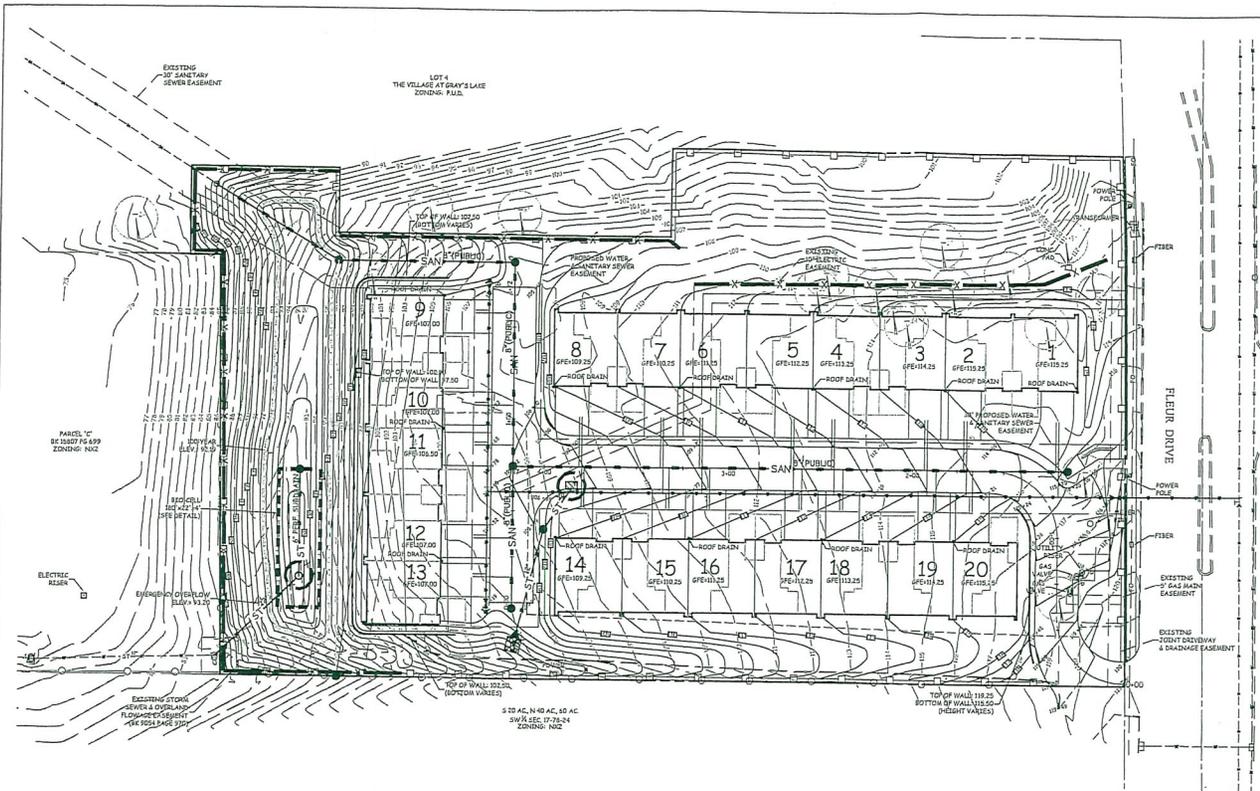
**WAVE STYLE BIKE RACK**  
NO SCALE

**CURB DETAIL**  
NO SCALE



# PINNACLE ON FLEUR

Sheet 3 of 5

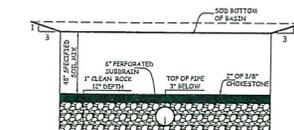


PT. OR LOTS 3 & 4 BUTLER PLACE ZONING: PUD.

PARCEL 10' OF LOT 16 CANNON'S BRUSH HILL PARK BK. 1842 PG. 472 ZONING: R3.

**BASIN ELEVATIONS**

BASIN BOTTOM	89.00'
BASIN TOP	92.00'
EMERGENCY OVERTFLOW	93.20'
WATER QUALITY VOLUME	96.00' ±
100-YEAR SURFACE WATER	92.19'



MODIFIED SOIL: MIX USE UNIFORM MIXTURE OF 75-90% WASHED CONCRETE SAND, 0-0.075 APPROVED ORGANIC COMPOST, 0-2% SOIL WITH A SOIL TEXTURE THAT INCLUDES ANDROGEN CHARACTERISTICS AND MEETS SPECIFICATIONS. TOPSOIL SHALL MEET CITY STANDARDS OF 2% OR MORE ORGANIC MATTER, PH BETWEEN 6 AND 8 AND A CATION EXCHANGE CAPACITY OF 10 OR MORE.

**BASIN RETENTION CELL DETAIL**  
NO SCALE

**GRADING NOTES**

1. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THESE FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREACHING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON ENCOUNTERING THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
5. STOCKPILE SUFFICIENT TOP SOIL TO A MINIMUM OF 4-INCHES ON UNPAVED AREAS.
6. ALL AREAS TO RECEIVE FILL TO BE REFINED.
7. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES.
8. ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
9. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL NOT DEVIATE FROM OPTIMUM BY MORE THAN 2%.
10. MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
11. FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
12. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUBDAS.
14. PROVIDE COMPACTED BACKFILL AT ALL TRENCHES BELOW FOOTINGS AND SLAB.
15. A GRADING PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF SITE WORK. PER CITY CODE SEC. 42-182, A CERTIFICATE OF COMPLETION IS REQUIRED TO BE COMPLETED.

**Stormwater Pollution Prevention Requirements**

A. This Stormwater Management Plan, including plans, notes and sections, shall be carefully inspected and maintained in substantial compliance with the approved Stormwater Management Plan.

B. Litter, silt, sediment and debris shall be promptly removed from such facilities.

C. The placement and vegetation within the Stormwater Management Facilities shall be maintained in conformance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the weather permits.

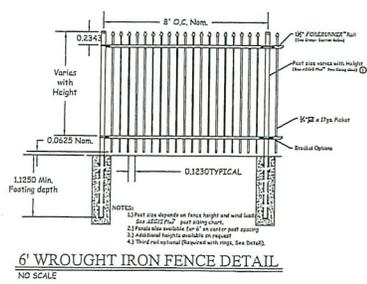
D. No grass, siltgrass, leaves or other soft matter, soil, rocks, concrete, or similar materials shall be placed within a silt trap, or retention or detention pond within the stormwater management system of the City Engineer.

E. No portion of the Stormwater Management Facilities shall be altered or removed without the prior written consent of the City Engineer.

F. Records of inspections, maintenance and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.

**EROSION & POLLUTION CONTROL NOTES**

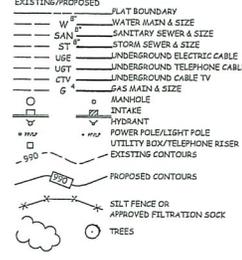
1. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN.
2. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
3. THE SUBCONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF THE END OF A 1 FOOT OR GREATER RAINFALL. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE, ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
4. THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
5. THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
6. AFTER INITIAL GRADING PRIOR TO UTILITY CONSTRUCTION - ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED R.O.W.'S ARE TO HAVE TOWNSHIP SEEDING AND MULCHING (SEE SEEDING DETAIL FOR TABLE). CONTRACTOR AND SUBS ARE TO TRY TO MINIMIZE DISTURBANCE TO THESE SEEDING AREAS THROUGHOUT THE USE OF SPECIFIC ACCESS ROUTES WITHIN THE SITE.
7. DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE RESTORED FOR 21 DAYS, IT SHALL BE SEED BY DAY 7.
8. PERMANENT SEEDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
9. ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
10. ANY SOIL OR SILL WASHES, TRACKS OR DROPPED ONTO ADJACENT RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE OWNER/CONTRACTOR WITHIN 24 HOURS.
11. FILTER SOCKS ARE TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM, LOOK FOR UNDERMINING AND FAILURES IN PUBLIC, REPLACE REPAIR AS NECESSARY.
12. ADDITIONAL FILTER SOCKS (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
13. FILTER SOCKS ARE TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
14. ALL INTAKES SHALL HAVE FILTER SOCKS PRIOR TO PAVING AND INLET FILTERS AFTER PAVING. THESE FILTERS REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERMANENT GROUND COVER.
15. ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM DRAIN SYSTEM.
16. IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.



**6' WROUGHT IRON FENCE DETAIL**  
NO SCALE

NOTES:  
1. Post size depends on fence height and wind load.  
2. See detail for post installation.  
3. Posts also available for 4', 6', 8' or other post spacing.  
4. Additional heights available on request.  
5. This detail is not intended to be used for other applications.

**LEGEND**



**COOPER CRAWFORD & ASSOCIATES, L.L.C. CIVIL ENGINEERS**

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345



DATE: 3-16-2020 REVISIONS: 3-14-2020

APPROVED: [Signature] INITIALS: [Signature] AS-BUILT: [Signature]

**GRADING PLAN PINNACLE ON FLEUR**

**CC 2241**

**SHEET 3 OF 5**

**BENCHMARK**  
DES MOINES BENCHMARK #2886  
BRASS PLUG IN SOUTHEAST CORNER OF TRAFFIC BASE AT THE NORTHWEST CORNER OF INTERSECTION OF BELL AVENUE AND FLEUR DRIVE.  
ELEVATION: 88.145

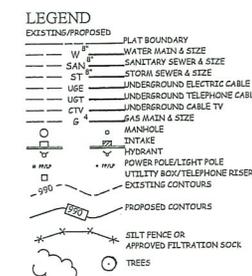
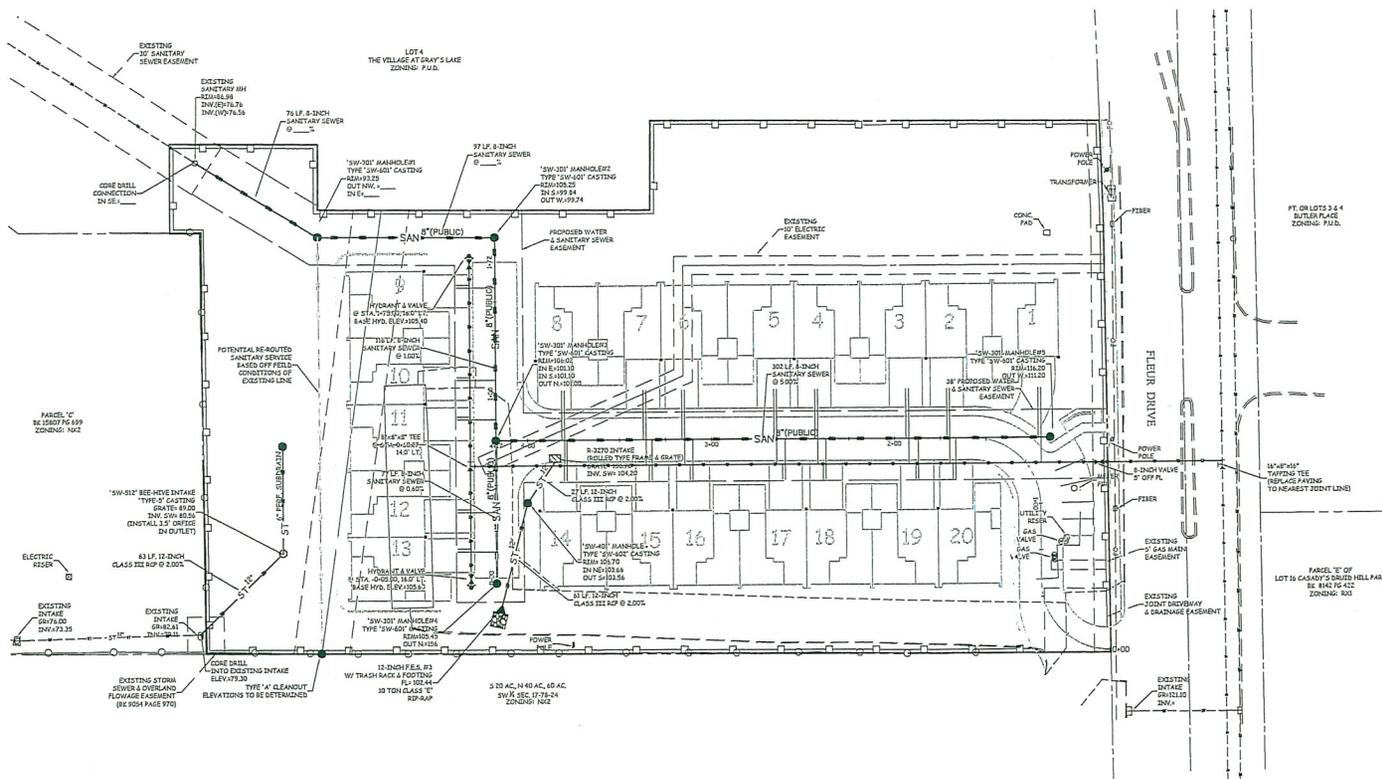


# PINNACLE ON FLEUR

Sheet 4 of 5

### NOTES

1. ALL ELECTRICAL, TELEPHONE AND CABLE TELEVISION TRANSMISSION SYSTEMS SHALL BE PLACED UNDERGROUND.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNDERMINING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
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4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH URBAN DESIGN STANDARDS, CITY OF URBAN AND SUPPLEMENTAL SPECIFICATIONS AND URBAN AND WATER UTILITY STANDARD SPECIFICATION.
5. THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.
6. PRIVATE STORM SEWER SHALL BE INSTALLED BY PLUMBERS PERMIT AND MEET ALL PLUMBING CODES.
7. ALL GRADING, SEWER TRENCH EXCAVATION AND BUILDING FOUNDATIONS SHALL COMPLY WITH THE SOILS INVESTIGATION REPORT.
8. EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
9. FIRE HYDRANTS SHALL BE LOCATED AND INSTALLED PER URBAN DESIGN STANDARDS.
10. ALL UTILITY SERVICE LINES TO THE PROPERTY WILL BE UNDERGROUND.



## COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50565  
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 2-26-2010 JOB NUMBER: CC 2241  
 REVISIONS: 5-14-2010



APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_  
 UTILITY PLAN  
 PINNACLE ON FLEUR

**BENCHMARK**  
 DES MOINES BENCHMARK #2886  
 BRASS PLUG IN SOUTHWEST CORNER OF TRAFFIC  
 BASE AT THE NORTHWEST CORNER OF  
 INTERSECTION OF BELL AVENUE AND FLEUR DRIVE.  
 ELEVATION: 68.145

SHEET 4 OF 5

PUD FINAL DEVELOPMENT PLAN  
**PINNACLE ON FLEUR**  
 Sheet 5 of 5

**PLANTING SCHEDULE**

CONT.	PLANTING	BIOSOURCE/COMMON NAME	SIZE	CONDITION	REMARKS
10	TC	Yucca glauca	1 1/2' col.	TS / B&S	SEE PLAN
11	GT	LET LEAF LINDEN	1 1/2' col.	TS / B&S	SEE PLAN
42	SB	THORNLESS HONEYLOCUST	18" ht.	CONT.	SEE PLAN
45	VT	BUMALDA SPREA Viburnum trilobum Copyright American Cyanamid	18" ht.	CONT.	SEE PLAN

**SITE TREE MATURE CANOPY COVERAGE CALCULATIONS**

REQUIRED: MINIMUM 15% OF SITE = 20,045 S.F.  
 PROPOSED: 21,000 S.F. (14 PROPOSED SHADE TREES + 7 EXISTING SHADE TREES)

**STREETSCAPE**

STREET TREES SHALL BE SPACED A MINIMUM OF 30' APART. TREES SHALL BE NO GREATER THAN 15' TO ANY LIGHT POLE.  
 REQUIRED: 1 STREET TREE EVERY 30 FT.

**STREET TREE CALCULATIONS**

PROPOSED: NO TREES PROPOSED AS THE DISTANCE FROM THE PUBLIC SIDEWALK AND EXISTING CURB OF FLEUR DRIVE IS 3 FEET. THIS DISTANCE IS NOT SUFFICIENT TO SUPPORT STREET TREES.

**FRONTAGE BUFFER**

REQUIRED: A MINIMUM OF 12' DEEP BUFFER MEASURED FROM THE STREET FRONTAGE LOT LINE SHALL CONSIST OF LANDSCAPE SCREEN, 1 TREE AND 3 SHRUBS PER 40 LINEAL FEET.

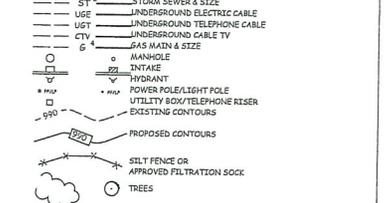
**TREE REPLACEMENT CALCULATIONS**

BASED ON (1) 24" CALIPER AND (1) 30" CALIPER TREES TO BE REMOVED = 2,000 S.F. CANOPY.  
 REQUIRED: (1) TREE PER 1,000 S.F. OF CANOPY REMOVED = 1 TREE

**BENCHMARK**

DES MOINES BENCHMARK #2886  
 BRASS PLUG IN SOUTHWEST CORNER OF TRAFFIC BASE AT THE NORTHWEST CORNER OF INTERSECTION OF BELL AVENUE AND FLEUR DRIVE.  
 ELEVATION = -583.45

**LEGEND**



**CERTIFICATION**

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE, THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.  
 BY: DAVID C. EPPLE, IOWA LICENSE NO. 379 DATE: \_\_\_\_\_  
 PAGES OR SHEETS COVERED BY THIS SEAL: THIS SHEET  
 LICENSE EXPIRES: JUNE 30, 2023

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
 CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
 PHONE: (515) 224-1344 FAX: (515) 224-1345  
 DATE: 3-26-2020 JOB NUMBER: 100-0000  
 REVISIONS: 5-14-2020

APPROVED: [Signature] INITIALS: [Signature] AS-BUILT: [Signature]  
 SCALE: 1"=30'  
**LANDSCAPE PLAN**  
**PINNACLE ON FLEUR**

**CC**  
**2241**  
**SHEET**  
**5 OF 5**

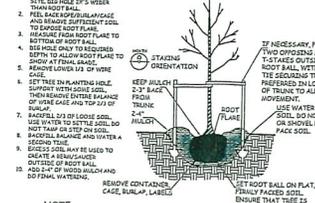
**LANDSCAPING NOTES**

- ALL SITEWORK, SOODING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH SUB-D.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXIST AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
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- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1990).
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
- THE CONTRACTOR SHALL REMOVE THE TREE STAKES ONE YEAR AFTER INSTALLATION.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL TREES, SHRUBS, BEDS AND GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3-INCHES SHREDED BARK MULCH.
- ONE WEEK PRIOR TO INSTALLATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL STATE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE DIGGING WORKS.
- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF PUD FINAL DEVELOPMENT PLAN APPROVAL.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE PUD FINAL DEVELOPMENT PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION / CONSTRUCTION.
- ALL DISTURBED SITE AREA SHALL BE RESTORED BY SOODING.
- ALL SIDEWALKS SHALL BE 4" C.C.
- THE AREA BETWEEN THE PUBLIC SIDEWALK AND STREET CURB SHALL BE GRASS VEGETATION.

**RIGHT-OF-WAY PLANTINGS NOTES**

- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4105.
- ALL WIRE, TYING AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
- NO STAKING OF STREET TREES IS ALLOWED.

**THE PLANTING SITE**

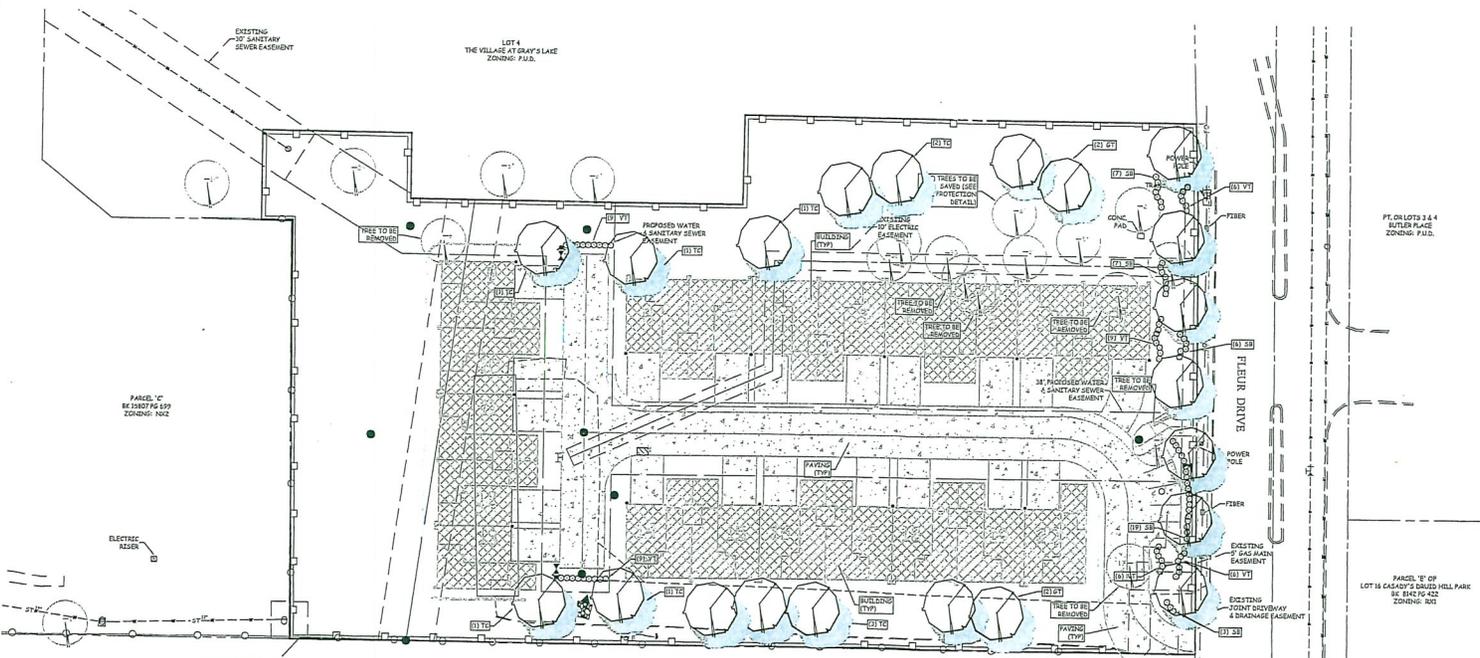
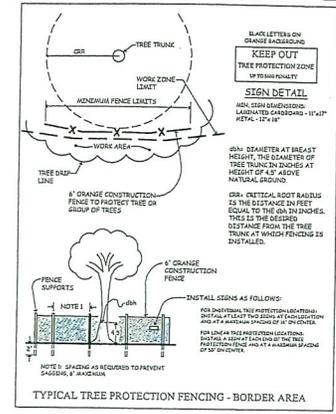


NOTE: DO NOT SET TOP OF ROOT BALL AT FINISHED GRADE IT IS ESSENTIAL THAT THE ROOT BALL BE EXPOSED BEFORE PLANTING, SO THE TREE CAN BE SET TO SHOW THE ROOT BALL AT FINISHED GRADE.

**DECIDUOUS TREE PLANTING & STAKING DETAIL**  
 NO SCALE

**TAX ABATEMENT CALCULATIONS**

REQUIRED: 50% INCREASE IN THE REQUIRED LANDSCAPING.  
 14 TREES AND 58 SHRUBS  
 PROVIDED: 21 TREES AND 87 SHRUBS



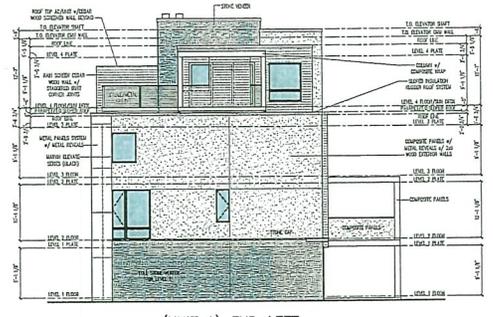
FT. ON LOTS 3 & 4 BUTLER PLACE ZONING: P.U.D.

PARCEL 'B' OF LOT 16 CASARY'S SUBD. HILL PARK BE BUCKLE 452 ZONING: R01



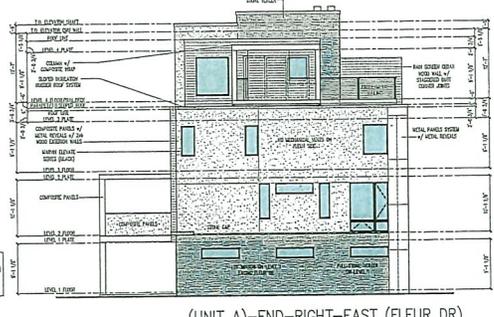


REAR ELEVATION (CLUSTER 8)  
SCALE: 1/8"=1'-0"



(UNIT A)-END-LEFT  
SCALE: 1/8"=1'-0"

LEFT ELEVATION (CLUSTER 8)  
SCALE: 1/8"=1'-0"



(UNIT A)-END-RIGHT-EAST (FLEUR DR)  
SCALE: 1/8"=1'-0"

RIGHT ELEVATION (CLUSTER 8)  
SCALE: 1/8"=1'-0"



FRONT ELEVATION (CLUSTER 8)  
SCALE: 1/8"=1'-0"

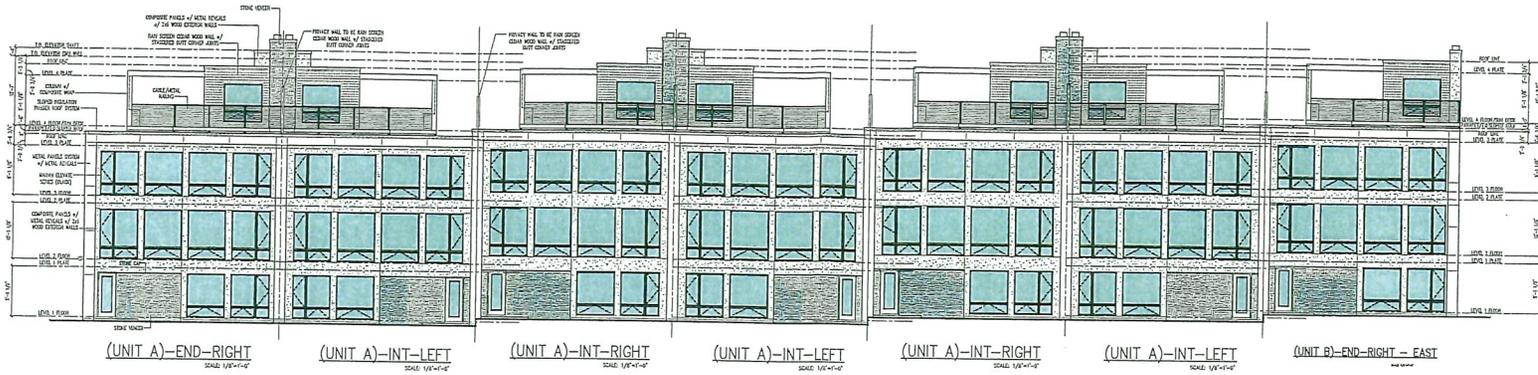
Architect of Record  
**RAINS ARCHITECTURE**  
 RAINS ARCHITECTURE  
 3033 79th Street  
 Minneapolis, MN 55422  
 Phone: 612-314-0216  
 j@rainsarch.com

Review Set - Not for Construction - 05.18.20  
 Pinnacle on Fleur (8 Unit Complex)  
 Address Required for Permit

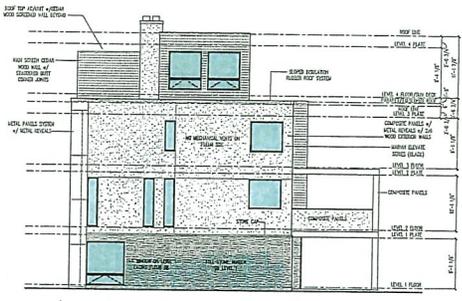
ALLER design GROUP  
 1000 Hennepin Avenue, Suite 1000  
 Minneapolis, MN 55402  
 Phone: 612-338-1111  
 www.allerdesign.com

RAINS ARCHITECTURE  
 3033 79th Street, Suite 3032  
 Minneapolis, MN 55422  
 Phone: 612-314-0216  
 www.rainsarch.com

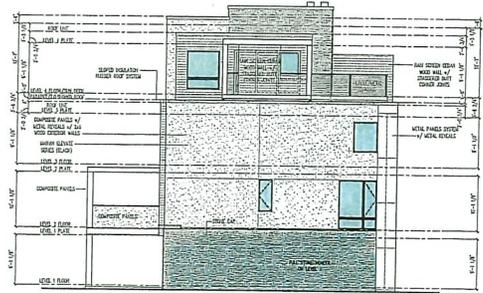
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Date	05/18/20
Drawn By	JW/R/S
Checked By	
Scale	
Sheet Title	CLUSTER 8 ELEVATIONS
Sheet No.	20



REAR ELEVATION (CLUSTER 7)  
SCALE: 1/8"=1'-0"



(UNIT B)-END-RIGHT-EAST - FLEUR DR  
LEFT ELEVATION (CLUSTER 7)  
SCALE: 1/8"=1'-0"



(UNIT A)-END-RIGHT  
RIGHT ELEVATION (CLUSTER 7)  
SCALE: 1/8"=1'-0"



Architect of Record  
Rains Architecture  
Jeff Rains  
3225 79th Street  
Ogden, Utah 84202  
Phone: 313-214-8822  
jra@rainsarch.com



FRONT ELEVATION (CLUSTER 7)  
SCALE: 1/8"=1'-0"

Review Set-Not For Construction - 05.18.20

Pinnacle on Fleur (7 Unit Complex)  
Address Required for Permit

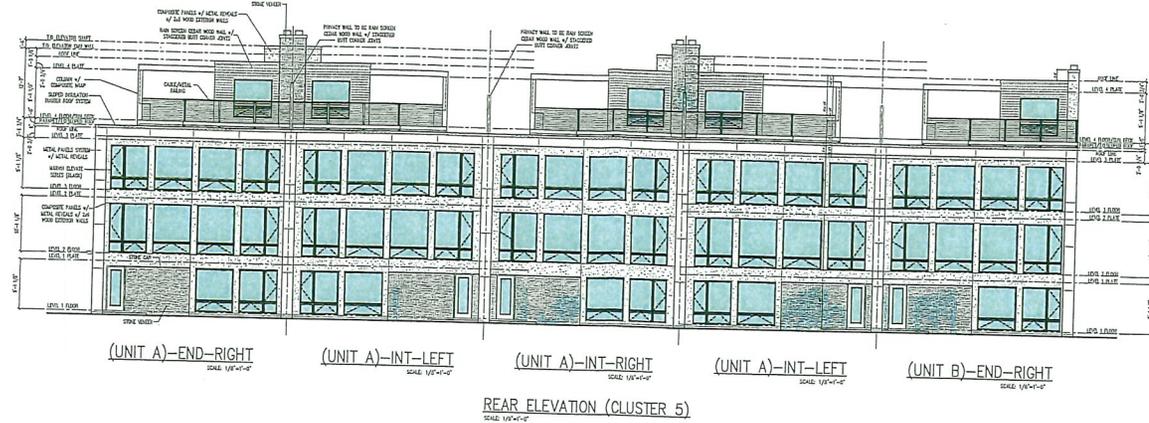
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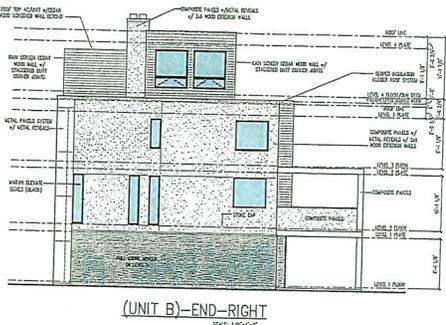
RAIN'S ARCHITECTURE  
2020 79th Street, Ogden, Utah 84202

Project No.	35500023
Date	Drawn by: JLR/JP
Revision	
Sheet Title	
Quantity	
Revisions	
Sheet No.	2.0

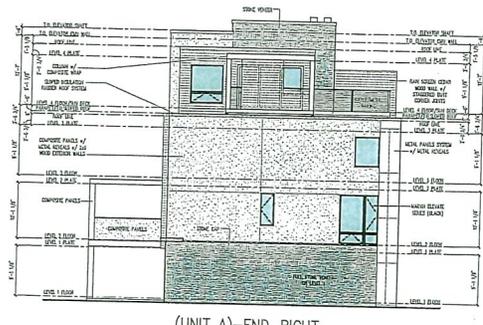




REAR ELEVATION (CLUSTER 5)  
SCALE: 1/8"=1'-0"



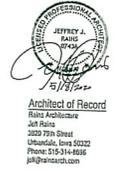
LEFT ELEVATION (CLUSTER 5)  
SCALE: 1/8"=1'-0"



RIGHT ELEVATION (CLUSTER 5)  
SCALE: 1/8"=1'-0"



FRONT ELEVATION (CLUSTER 5)  
SCALE: 1/8"=1'-0"



Architect of Record  
Rains Architecture  
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Review Set- Not For Construction - 05.18.20

Pinnacle on Fleur (5 Unit Complex)

Address Required for Permit

All work and its construction shall be in accordance with the applicable codes and regulations of the State of Virginia, including but not limited to the Virginia State Board of Professional Engineers, Architects, and Surveyors (VSBPEAS) and the Virginia State Board of Professional Land Surveyors (VSBPLS).  
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ALLEN design group  
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Project No:	3000010
Date:	
Drawn By:	JR/RS/JS
Revisions:	
Sheet Title:	
Author:	
Reviewer:	
Sheet No.:	2.0