



Date August 3, 2020

**RESOLUTION SETTING HEARING ON REQUEST FROM ELECTRO MANAGEMENT CORPORATION (OWNER) FOR REVIEW AND APPROVAL OF A PUD FINAL DEVELOPMENT PLAN AMENDMENT, "CITY GATEWAY-PHASE 1A", FOR PROPERTY LOCATED AT 4240 ARMY POST ROAD TO ALLOW EXPANSION FOR THE EXISTING WAREHOUSE WITH A 60,000 SQUARE FOOT BUILDING ADDITION AND ON-SITE SURFACE PARKING EXPANSION**

**WHEREAS**, the City Plan and Zoning Commission has advised that at a public hearing held on July 16, 2020, its members voted 13-0 in support of a motion to recommend **APPROVAL** of a request from Electro Management Corporation (Owner), represented by Britt Baker (Officer), regarding property located at 4240 Army Post Road, to for review and approval of a PUD Final Development Plan Amendment, "City Gateway- Phase 1", to allow expansion of the existing 242,800-square foot Workshop/Warehouse building with a 60,000 square foot addition and on-site surface parking expansion, subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center; and
2. Revision of the requirement for rooftop mechanical units to indicate that all rooftop mechanical units be screened in accordance with Chapter 135 Section 135-4.4.5 of the City Code.

**WHEREAS**, the property is legally described as follows:

PART OF THE E1/2 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5th P.M., CITY OF DES MOINES, POLK COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AS A POINT OF REFERENCE AT THE EAST QUARTER CORNER OF SAID SECTION 36, THENCE S00°03'51"W, 33.00 FEET ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 TO A POINT; THENCE N89°55'37"W, 115.03 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SW 42ND STREET AND THE SOUTH RIGHT-OF-WAY LINE OF ARMY POST ROAD; THENCE S00°03'51"W, 1,118.35 FEET ALONG SAID WEST RIGHT-OF-WAY LINE OF SW 42ND STREET TO A POINT; THENCE S66°59'30"W, 56.72 FEET TO A POINT; THENCE S60°03'51"W, 143.64 FEET TO A POINT; THENCE N89°56'09"W, 314.97 FEET TO A POINT; THENCE N71°11'51"W, 341.94 FEET TO A POINT; THENCE N00°03'51"E, 636.15 FEET TO A POINT; THENCE N41°17'19"E, 215.42 FEET TO A POINT; THENCE N00°03'51"E, 179.52 FEET TO A POINT; THENCE N07°41'12"W, 120.74 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF ARMY POST ROAD; THENCE EASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3926.81 FEET, AND A CHORD BEARING OF N82°20'22"E, AN ARC LENGTH OF 39.61 FEET, ALONG SAID SOUTH RIGHT-OF-WAY LINE OF ARMY POST ROAD TO A POINT; THENCE S89°55'37"E, 650.43 FEET ALONG SAID SOUTH RIGHT-OF-WAY LINE OF ARMY POST ROAD TO THE POINT OF BEGINNING CONTAINING 20.8503 ACRES MORE OR LESS.



**Roll Call Number**

**Agenda Item Number**

17

Date August 3, 2020

**NOW THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed Review and Approval of PUD Final Development Plan Amendment, "City Gateway-Phase 1", is to be considered shall be held on August 17, 2020, at 5:00 p.m., to be held by electronic means in accordance with the Governor's and Mayor's Proclamations, the City Manager's Determination of July 24, 2020, and to encourage and maintain social distancing to curb the spread of COVID19 in the community, with electronic public access to the meeting location, without physical public access to the meeting location, at which time the City Council will hear both those who oppose and those who favor the proposal.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

Moved by \_\_\_\_\_ to adopt.

APPROVED AS TO FORM:

  
 Judy K. Parks-Kruse, Assistant City Attorney

(10-2020-7.117)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED APPROVED

\_\_\_\_\_  
Mayor

**CERTIFICATE**

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

\_\_\_\_\_  
City Clerk



July 28, 2020

Honorable Mayor and City Council  
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their July 16, 2020 meeting, the following action was taken regarding a request from Electro Management Corp. (owner) represented by Britt Baker (officer) for review and approval of an PUD Final Development Plan amendment "City Gateway – Phase 1A", for property located at 4240 Army Post Road, to allow expansion of the existing 242,800-square foot Workshop/Warehouse Building with a 60,000-square foot addition and on-site surface parking expansion.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath				X
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

**APPROVAL** of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Revision of the requirement for rooftop mechanical units to indicate that all rooftop mechanical units be screened in accordance with Chapter 135 Section 135-4.4.5 of the City Code.

(10-2020-7.117)

## **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Staff recommends approval of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Revision of the requirement for rooftop mechanical units to indicate that all rooftop mechanical units be screened in accordance with Chapter 135 Section 135-4.4.5 of the City Code.

## **STAFF REPORT TO THE PLANNING COMMISSION**

### **I. GENERAL INFORMATION**

1. **Purpose of Request:** The request would allow expansion of the existing building with associated parking. This expansion was previously identified on the most recent PUD Conceptual Plan in 2015 for the development of the existing building.
2. **Size of Site:** 20.85 acres.
3. **Existing Zoning (site):** "PUD" Planned Unit Development.
4. **Existing Land Use (site):** The property is developed with a 242,800-square foot facility for the headquarters office for Electrical Power Products and for production of electrical relay panels and other electrical products.
5. **Adjacent Land Use and Zoning:**
  - North** - "P2", Use is Des Moines International Airport.
  - South** - "PUD", Use is vacant land for future business park development.
  - East** – "EX", Uses are The Des Moines Register/Gannett printing facility and Katecho medical products research and production facility.
  - West** - "PUD", Use is vacant land for future business park development.
6. **General Neighborhood/Area Land Uses:** The subject property is located at the junction of Iowa Highway 5 and Iowa Highway 28, within business park areas southwest of the Des Moines International Airport.

**7. Applicable Recognized Neighborhood(s):** The subject property is not in or within 250 feet of a recognized neighborhood. All recognized neighborhoods were notified of the meeting by mailing of the Preliminary Agenda on June 26, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on June 26, 2020 (20 days prior to the hearing) and on July 6, 2020 (10 days prior to the hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on July 10, 2020.

**8. Relevant Zoning History:** On September 27, 1999 by Ordinance No. 13,754 the City Council rezoned the subject property to “PUD” Planned Unit Development District along with adoption of the City Gateway PUD Conceptual Plan.

On September 28, 2015 by Roll Call No. 15-1648, the City Council approved the 1<sup>st</sup> Amendment to the City Gateway PUD Conceptual Plan to allow the area to be developed with business park development broken into two phases. The first phase a 288,000-square foot facility for the existing property and a second phase for a 225,000-square foot flex warehouse facility on the property to the west of the subject property.

**9. PlanDSM Future Land Use Plan Designation:** Business Park.

**10. Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

## **II. ADDITIONAL APPLICABLE INFORMATION**

**1. PUD Conceptual Plan and Planning and Design Ordinance Requirements:** The approved Legacy PUD Conceptual Plan amendment provides for permitted uses in the former “M-1” Light Industrial District and site landscaping in accordance with requirements applicable to the “C-2” District. Other general site elements are reviewed under the existing Planning and Design Ordinance (Chapter 135 of the City Code).

After review of the submitted PUD Final Development Plan the only Staff concern is regarding the screening of rooftop mechanical equipment. The submitted plan indicates that the equipment shall be screened from street level view and from adjoining residential areas. The requirement for new construction is that such equipment be screened on all sides to the height of the equipment if it is over 3 feet in height with architectural methods such as a parapet of the building or a metal screening system. Staff believes that the PUD Final Development Plan should be updated to reflect this standard in Chapter 135 of the City Code.

**2. Urban Design/Building Requirements:** The submitted PUD Final Development Plan provides for a 60,000-square foot pre-cast concrete panel system. This material is a permitted material within the PUD and matches the material and design of the existing building.

**3. Permit & Development Center Comments:** Any development of the proposed 60,000-square foot building addition and parking lot expansion is subject to compliance

with all applicable Building Codes and Planning and Design Ordinance review in accordance with PUD Conceptual Plan and applicable Site Plan requirements, with issuance of all necessary permits by the Permit and Development Center.

## **SUMMARY OF DISCUSSION**

Jann Freed asked if any member of the public or the commission desired to speak on the item. None requested to speak.

## **COMMISSION ACTION:**

Carolyn Jension made a motion for approval of the requested PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments by the Permit and Development Center.
2. Revision of the requirement for rooftop mechanical units to indicate that all rooftop mechanical units be screened in accordance with Chapter 135 Section 135-4.4.5 of the City Code.

Motion passed: 13-0

Respectfully submitted,



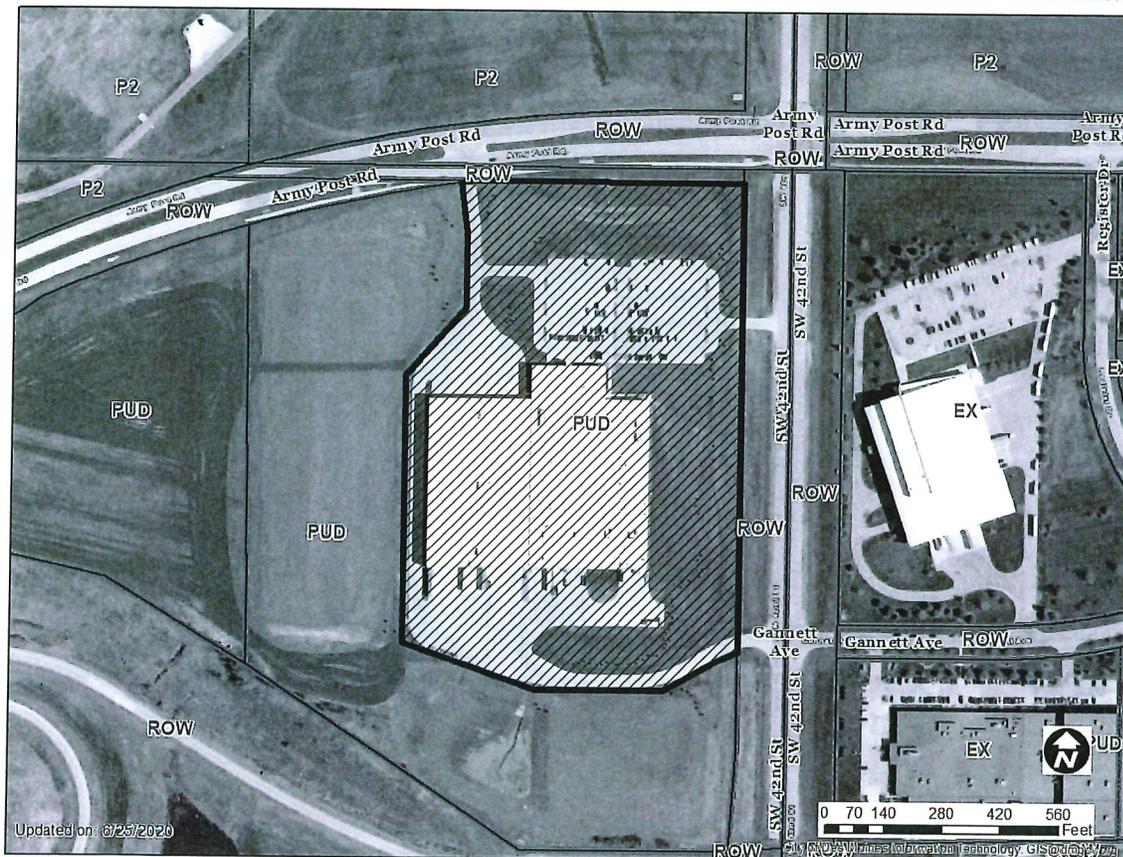
Michael Ludwig, AICP  
Planning Administrator

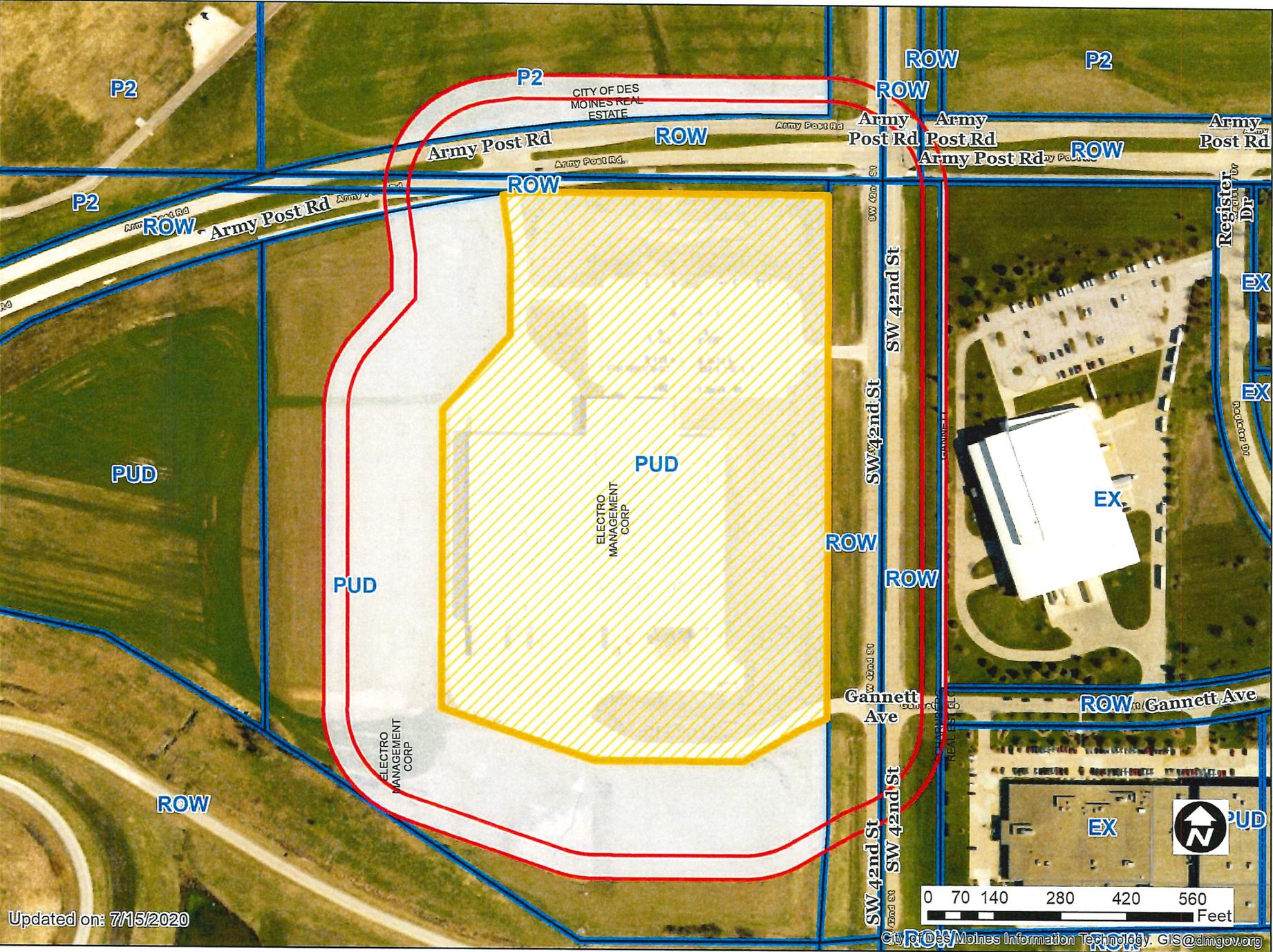
MGL:tjh

Electro Management Corp. (owner) represented by Britt Baker (officer) for property located at 4240 Army Post Road.				File #	
				10-2020-7.117	
Description of Action	Review and approval of an PUD Final Development Plan amendment "City Gateway – Phase 1A", to allow expansion of the existing 242,800-square foot Workshop/Warehouse Building with a 60,000-square foot addition and on-site surface parking expansion.				
PlanDSM Future Land Use	Current: Business Park. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No Planned Improvements.				
Current Zoning District	City Gateway Legacy "PUD" Planned Unit Development District.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	0	0			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

Electro Management Corp., 4240 Army Post Road

10-2020-7.117





Updated on: 7/15/2020

City of Des Moines Information Technology. GIS@dmgov.org

1 inch = 269 feet

FINAL DEVELOPMENT PLAN APPROVAL:

- APPROVED APPROVED WITH CONDITIONS SEE EXHIBIT "A"

IN ACCORDANCE WITH SECTION 135-2.2.9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.

PLAN & ZONING COMMISSION DATE:

CITY COUNCIL APPROVAL DATE:

DATE: COMMUNITY DEVELOPMENT DIRECTOR:

OWNER / APPLICANT ELECTRO MANAGEMENT CORP. 2400 86th Street, Unit 12, Des Moines, Iowa 50322

PROJECT MANAGER PAUL CLAUSEN PE CIVIL ENGINEERING CONSULTANTS 2060 80th STREET #20 DES MOINES, IOWA 50322

LEGAL DESCRIPTION PART OF THE 1/2 OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 18N, R25 WEST OF THE 5TH PRM MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 36, TOWNSHIP 18N, R25 WEST OF THE FIFTH PRM, THENCE NORTH 04° 55' 33" WEST ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 36 A DISTANCE OF 150.00 FEET, THENCE SOUTH 00° 00' 50" WEST PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST 1/4 33.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING THE INTERSECTION OF THE WEST LINE OF SA 42ND STREET (IOWA HIGHWAY 20) AND THE SOUTH LINE OF PINE STREET, THENCE SOUTH 00° 02' 35" WEST ON SAID WEST LINE OF SA 42ND STREET A DISTANCE OF 124.20 FEET, THENCE SOUTH 03° 24' 14" WEST ON SAID WEST LINE OF SA 42ND STREET 254.18 FEET, TO THE NORTH LINE OF RELOCATED IOWA HIGHWAY 5, THENCE SOUTH 90° 00' 00" WEST ON SAID NORTH LINE OF RELOCATED IOWA HIGHWAY 5 A DISTANCE OF 515.54 FEET, THENCE NORTH 64° 50' 00" WEST ON SAID NORTH LINE OF RELOCATED IOWA HIGHWAY 5 A DISTANCE OF 805.95 FEET, THENCE NORTH 00° 11' 51" WEST A DISTANCE OF 1040.50 FEET TO A POINT ON THE SOUTH LINE OF RELOCATED ARMY POST ROAD, THENCE NORTHEAST ALONG A 59.25-ft FOOT RADIIUS CURVE CONCAVE SOUTHWEST WITH A CENTRAL ANGLE OF 09° 16' 25" A CHORD DISTANCE OF 596.16 FEET, A CHORD BEARING OF NORTH 10° 24' 45" EAST, FOR AN ARC DISTANCE OF 596.65 FEET, SAID ARC BEING THE SOUTH LINE OF RELOCATED ARMY POST ROAD, THENCE SOUTH 04° 55' 33" EAST ON SAID SOUTH LINE OF RELOCATED ARMY POST ROAD A DISTANCE OF 450.42 FEET TO THE POINT OF BEGINNING CONTAINING 99.25 ACRES MORE OR LESS.

EXISTING ZONINGS

CITY GATEWAY PUD - LAND USES ARE AS PERMITTED AND LIMITED IN THE M-1 LIGHT INDUSTRIAL DISTRICT, APPROVED ON 4/27/14 BY ORDINANCE NO. 15754. FIRST AMENDMENT APPROVED ON 8/20/15 BY ORDINANCE NO. 15-1645.

ZONING NOTES

- 1. ALLIGHT INDUSTRIAL USES PERMETER PARKING LOT AND OPEN SPACE LANDSCAPING SHALL BE IN ACCORDANCE WITH C-2 LANDSCAPING REQUIREMENTS. STORAGE WATER DETENTION SHALL BE ON SITE AS SHOWN. DISTRICT ALLOWANCES AND REQUIREMENTS. OUTDOOR STORAGE AREAS SHALL BE PAVED WITH ASPHALT CONCRETE OR PORTLAND CEMENT OR OTHER SURFACE THAT PROVIDES A DURABLE AND DISTRESS SURFACE THAT THE CITY ENGINEERS DEPARTMENT APPROVES.

TOTAL LAND AREA

1740.251 SQ. FT. / 3.919 ACRES

BUILDING AREA

BUILDING AREA: 250,425 SQ. FT. BUILDING HEIGHT: 32 FEET SINGLE STORY

FLOOR AREA RATIO

228,400 SF / 1740.251 = 0.131

IMPERVIOUS AREA

BUILDING FOOTPRINTS = 228,400 SQ. FT. PROPOSED PAVING = 24,245 SQ. FT. TOTAL IMPERVIOUS LOT = 252,645 SQ. FT. PUBLIC PARKING LOT = 2,733 SQ. FT. TOTAL = 553,382 SQ. FT.

OPEN SPACE

TOTAL OPEN SPACE REQUIRED - 20% (348,093 SQ. FT.) TOTAL BUILDING FOOTPRINT AREA 228,400 SQ. FT. 13.1% TOTAL PAVED (IMPERVIOUS) AREA 242,645 SQ. FT. TOTAL OPEN SPACE 1740.251 SQ. FT. 10.2% TOTAL 228,400 SQ. FT. 64.7%

BULK STANDARDS

FRONT YARD - 25' SIDE YARD - 25' REAR YARD - 25' MAX. BUILDING HEIGHT - 32' MAX. BUILDING STORES - 3

GENERAL USE

OFFICE / PRODUCTION CENTER / HARDWARE - SINGLE USER

UTILITIES

WATER SUPPLY, DES MOINES WATER WORKS. SANITARY SEWER, CITY OF DES MOINES. STORM SEWER, CITY OF DES MOINES.

PARKING & LOADING

PARKING SPACES 1 (1 STALL PER 2 EMPLOYEE, PLUS 1 STALL PER 400 SF. OF OFFICE) (10 EMPLOYEES AND 20,000 SF. OF OFFICE SPACE) STALLS REQUIRED = 102 STALLS STALLS PROVIDED = 250 STALLS HANDICAP REQUIRED = 1 STALLS HANDICAP PROVIDED = 1 STALLS TOTAL PROVIDED = 251 STALLS TOTAL REQUIRED = 103 STALLS

LOADING

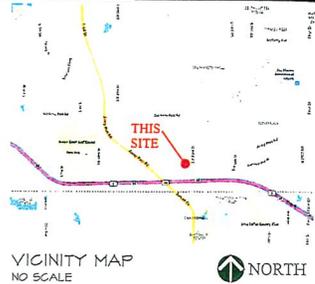
10,000 SQ. FT. 100,000 (OVER 1000) REQUIRED = 1 STALLS PROVIDED = 1 STALLS TOTAL = 1 STALLS

NUMBER OF EMPLOYEES

216 EMPLOYEES

SITE PLAN CITY GATEWAY DES MOINES, IOWA

ELECTRO MANAGEMENT, CORP. 4240 ARMY POST ROAD, DES MOINES, IOWA 50321



DEVELOPMENT SCHEDULE Table with columns: Activity, Date, Sheet Number, Sheet Title. Includes Tree Clearing, Site Grading, Building Foundation, etc.

GENERAL NOTES

- 1. ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY... 2. ALL DIMENSIONS ARE TO FACE OF CURB, OUTSIDE OF BUILDING HALL, AND TO PROPERTY LINES... 3. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION...

GRADING NOTES

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN ALLENBETTER ENGINEERS' GEOTECHNICAL REPORT MN 18424... 2. A MINIMUM OF 4" OF TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT INCLUDING WASTE AND/OR BERRON AREAS...

UTILITY NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATEWIDE URBAN DESIGN STANDARDS AND SPECIFICATIONS... 2. ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY... 3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION...

OPEN SPACE PLANTINGS

REQUIREMENT - 1 OVERSTORY TREES, EVERGREEN TREES 1 1/2 IN DBH / 2500 SQ. FT. OF REQUIRED OPEN SPACE

PARKING LOT INTERIOR PLANTINGS

REQUIREMENT - 1 OVERSTORY TREE 1 1/2 IN DBH / 20 SPACES

PARKING LOT PERIMETER PLANTINGS

REQUIREMENT - 1 OVERSTORY TREE 1 1/2 IN DBH / 50 LF

Table with columns: OS, IV, SH, SE, BS, BS/SE, IS, IS/SE, IS/SH, IS/BS

INTERIOR PARKING PLANTINGS CAN BE INCLUDED TOWARDS THE OPEN SPACE REQUIREMENT.

TAX ABATEMENT NOTES

- 1. ANY GROUND-MOUNTED OR MALL-MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET... 2. ANY MALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDINGS...

SEEDING NOTES

- 1. FERTILIZER (N-10-P-10) SHALL BE APPLIED TO THE AREA TO BE SEED AT A RATE OF 150 LBS/ACRE... 2. THE AREA TO BE SEED SHALL BE MOIST AND GULLES FILLED TO MEET THE SPECIFIED GRASS SEEDING... 3. THE FERTILIZER SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/2 INCHES...

SODDING NOTES

- 1. SOD SHALL BE A 4'0" MAX BY BLEND WHICH SHALL CONTAIN 25% OF EACH OF THE FOLLOWING: KENTUCKY BLUE GRASS AND ONE OTHER BLUE GRASS, GREENING REED PEGGIE, AND TALL FESCUE... 2. THE SOD SHALL BE CUT AT AN UNIFORM THICKNESS OF APPROXIMATELY 1 1/2 PLUS OR MINUS 1/4"... 3. BEFORE SPREADING, THE SOD SHALL BE MOIST TO AN UNIFORM MOISTURE OF 2 1/2"...

PLANTING NOTES

- 1. ALL SITE ROOT, SODDING AND LANDSCAPING SHALL MEET THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (GRASS)... 2. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.4-2004)... 3. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION...

UTILITY CONTACTS

DES MOINES WATER WORKS PH: 515-283-1824 JAMES HODGES JHODGES@DMW.WA.IA.GOV CHAS HANCOCK CHANCOCK@DMW.WA.IA.GOV

BENCHMARKS

110 NO. 28th BRASS CAP ON NW CORNER OF TRAFFIC SIGNAL SE CORNER OF ARMY POST ROAD AND SA 42ND STREET ELEVATION: 1162.78

CERTIFICATIONS

Professional certification stamps for Patrick Shepard and Kent Jarley, including dates and signatures.

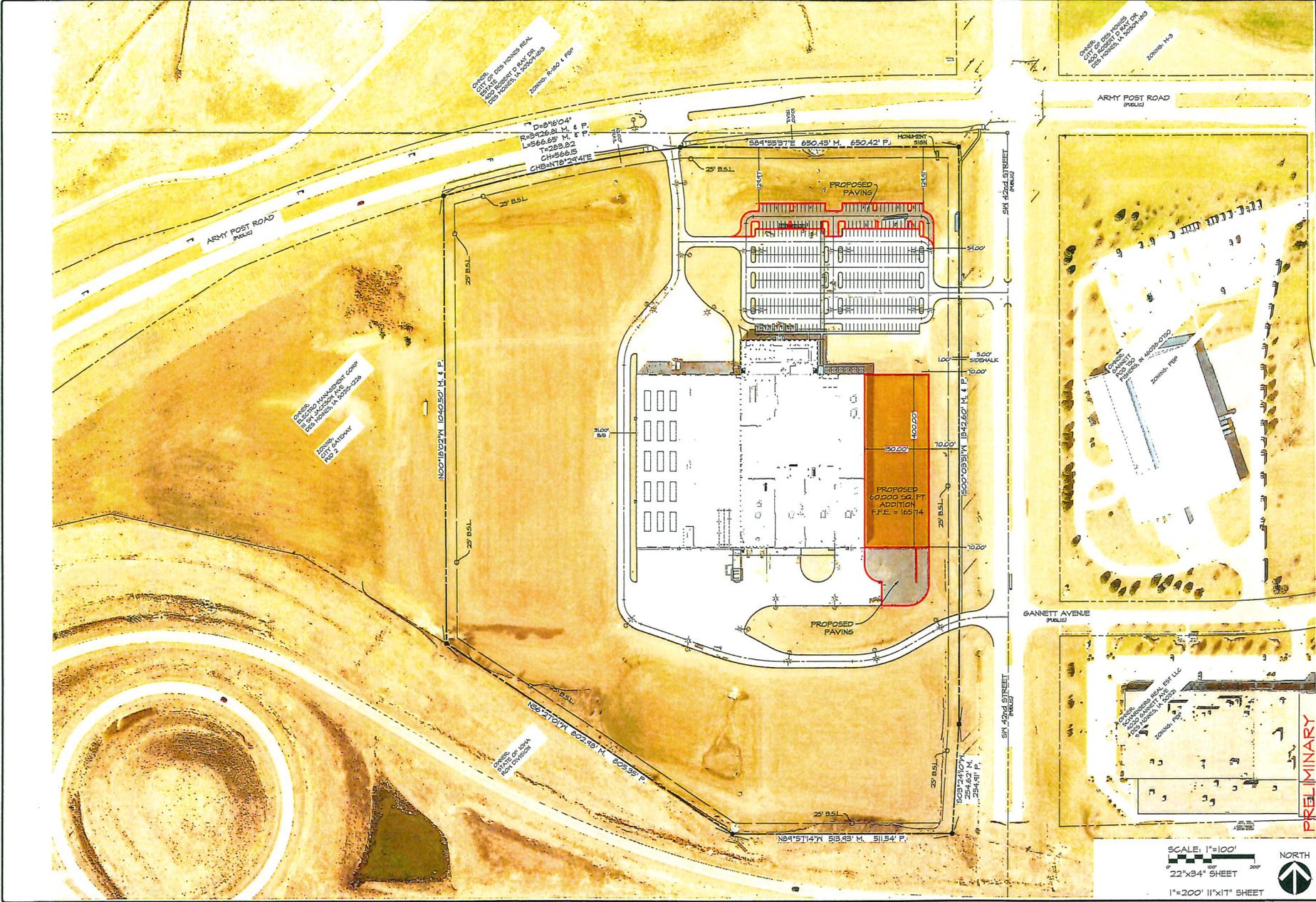
LEGEND

Legend symbols for property boundary, section lines, lot lines, centerlines, pond location, set property corner, pond property corner, measured distance, proposed contours, fire fence, soil borings location, transformer pad, street light pole.

FLOOD ZONE CLASSIFICATION IOWA ONE CALL logo and contact information for flood zone determination.

Vertical sidebar containing Civil Engineering Consultants, Inc. logo, project name 'CITY GATEWAY - PHASE 2', sheet number 'COVER SHEET', and other project details.

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OWNER:  
CITY OF DES MOINES IOWA  
100 EAST BROADWAY  
DES MOINES, IA 50309-0008  
Zoning: T-300 I RFP

OWNER:  
DESIGN MANAGEMENT CORP  
1100 JACKSON AVE  
DES MOINES, IA 50319-0008  
Zoning: P-1  
RFD 500000000

OWNER:  
CITY OF DES MOINES IOWA  
100 EAST BROADWAY  
DES MOINES, IA 50309-0008  
Zoning: I-3

OWNER:  
DESIGN MANAGEMENT CORP  
1100 JACKSON AVE  
DES MOINES, IA 50319-0008  
Zoning: P-1  
RFD 500000000

OWNER:  
DESIGN MANAGEMENT CORP  
1100 JACKSON AVE  
DES MOINES, IA 50319-0008  
Zoning: P-1  
RFD 500000000

SCALE: 1"=100'  
22"x34" SHEET  
1"=200' 11"x17" SHEET



**PRELIMINARY**  
CITY GATEWAY - PHASE 2  
DES MOINES, IOWA

SHEET  
OF  
03  
10  
E1935 SP2

DATE	REVISIONS	COMMENTS
MAY 11, 2020	1	2020-CP-01
	2	
	3	
	4	
	5	
	6	
	7	
	8	

Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12, Des Moines, Iowa 50322  
515.276.0884 • Fax: 515.276.0884 • mail@cecinc.com





**PLANTING NOTES**

1. ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF DES MOINES STANDARD SPECIFICATIONS UNLESS SPECIFIED OTHERWISE.
2. ALL PLANT MATERIAL SHALL MEET OR EXCEED MINIMUM REQUIREMENTS SHOWN IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1).
3. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
4. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF LANDSCAPE ARCHITECT AND CITY.
5. DECIDUOUS TREES LARGER THAN 1" CALIBER SHALL BE STAKED (2 STAKES) AND WRAPPED IMMEDIATELY AFTER PLANTING. ALL CONIFERS SHALL BE STAKED (2 STAKES). TREE WRAP SHALL BE HELD IN PLACE WITH DEGRADABLE STRING, TAPES AND PLASTIC TIES ARE NOT ALLOWED.
6. ALL TREES, SHRUBS SHALL BE MULCHED WITH 3" SHREDDED HARDWOOD MULCH UNLESS NOTED OTHERWISE.
7. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE CONFLICT OCCURS.
8. ONE WEEK PRIOR TO INSTALLATION, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AT CIVIL ENGINEERING CONSULTANTS, INC. TELEPHONE 503.276-1004.
9. CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECTS APPROVAL BEFORE DIGGING HOLES.
10. ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 6" FROM R.O.W. AND CONIFEROUS TREES AT LEAST 10" FROM R.O.W.
11. ALL DISTURBED AREAS SHALL BE SEEDDED WITH TYPE 1 SEED MIX PER S.U.D.S.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF CONTAINERS, WIRE BASKETS, AND BRIDGING CORDS ON ALL PLANT MATERIAL PRIOR TO INITIAL ACCEPTANCE. CONTRACTOR TO REMOVE PLANT TAGS AFTER INITIAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND CITY.
13. ALL WETTERS AND GROUND-MOUNTED MECHANICAL UNITS TO BE SCREENED BY PLANTINGS.
14. NO OVERSTORY TREES ARE ALLOWED WITHIN PUBLIC SANITARY AND STORM SEWER EASEMENTS.
15. CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4105.
16. ALL WIRE, TRINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
17. NO STAKING OF TREES IS ALLOWED WITHIN R.O.W.

**PLANT SCHEDULE - NORTH**

MARK	Botanical Name	QUAN.	SIZE	ROOT	COMMENTS
GT	<i>Gleditsia triacanthos Inermis 'Skyline'</i>	3	2-1/2" CAL.	B&B	MATCHED, SPECIMEN, STAKE
SKYLINE HONEYLOCUST					
PD	<i>Platanus occidentalis</i>	1	2-1/2" CAL.	B&B	MATCHED, SPECIMEN, STAKE
AMERICAN SYCAMORE					
QR	<i>Quercus rubra</i>	4	2-1/2" CAL.	B&B	MATCHED, SPECIMEN, STAKE
NORTHERN RED OAK					
RA	<i>Rhus aromatica 'Discolor'</i>	12	3 GAL.	CONT.	MATCHED, SPECIMEN, 5" OC, MULCH BED
SILK-LAW BRANDED SUMAC					

**PLANT SCHEDULE - SOUTH**

MARK	Botanical Name	QUAN.	SIZE	ROOT	COMMENTS
GT	<i>Gleditsia triacanthos Inermis 'Skyline'</i>	1	2-1/2" CAL.	B&B	SPECIMEN, STAKE
SKYLINE HONEYLOCUST					
MR	<i>Malus 'Redburst'</i>	3	2-1/2" CAL.	B&B	MATCHED, SPECIMEN, STAKE
ROBINSON CRABAPPLE					
PP	<i>Picea pungens glauca</i>	0	7" HT.	B&B	MATCHED, SPECIMEN, STAKE, 14" OC.
COLORADO BLUE SPRUCE					
PT	<i>Pteris longifolia (m) 'Blue'</i>	15	7" HT.	B&B	MATCHED, SPECIMEN, STAKE, 14" OC.
DOUGLASS PINE					
QR	<i>Quercus rubra</i>	3	2-1/2" CAL.	B&B	MATCHED, SPECIMEN, STAKE
NORTHERN RED OAK					

**SIZES NOTED IN PLANT SCHEDULE ARE STRICT MINIMUM SIZES AND WILL BE VERIFIED DURING INITIAL ACCEPTANCE INSPECTION.**

**MINIMUM OF 10% OF EACH SPECIES SPECIFIED ARE TO HAVE PLANT IDENTIFICATION TAGS ATTACHED DURING INITIAL ACCEPTANCE. TAGS SHALL BE REMOVED AFTER PLANT MATERIAL HAS BEEN ACCEPTED.**

**ALL DECIDUOUS TREES ARE TO BE WRAPPED WITH TREE WRAP AND SHALL BE ATTACHED WITH COTTON STRING, TAPES AND PLASTIC FASTENERS ARE NOT ACCEPTABLE.**

**OPEN SPACE REQUIREMENTS**  
ASSUME OPEN SPACE REQUIREMENT WAS SATISFIED WITH PREVIOUS SITE PLAN APPROVAL.  
WHENEVER A TREE IS REMOVED FOR THIS PHASE, ANOTHER TREE WILL BE ADDED.

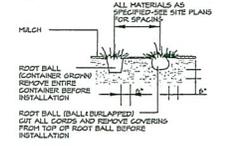
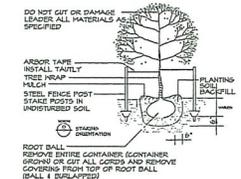
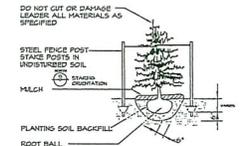
**PARKING PERIMETER REQUIREMENTS**  
ASSUME PERIMETER REQUIREMENTS WERE SATISFIED WITH PREVIOUS SITE PLAN APPROVAL.  
WHENEVER A TREE OR SHRUB IS REMOVED FOR THIS PHASE, ANOTHER TREE OR SHRUB WILL BE ADDED.

**INTERIOR PARKING LOT REQUIREMENTS**  
REQUIRED 1 PLANT UNIT + 1 OVERSTORY TREE AND 9 SHRUBS / 20 PARKING STALLS.  
NORTHWEST PARKING STALLS ADDED - 4 PLANT UNITS.  
PARKING LOT LANDSCAPING REQUIRED.  
4 OVERSTORY TREES (2 SPECIES).  
PARKING LOT LANDSCAPING PROVIDED.  
6 OVERSTORY TREES AND 12 SHRUBS.

60,000 SQ. FT. ADDITION  
F.F.E. = 165.74

CITY ARBORIST SHALL BE CONTACTED AT 283-4105 TO AUTHORIZE PLANTING IN THE RIGHT-OF-WAY

**SITE PLAN  
ELECTRO MANAGEMENT CORP.  
@ CITY GATEWAY  
648 ARMY POST ROAD  
DES MOINES, IA 50321**



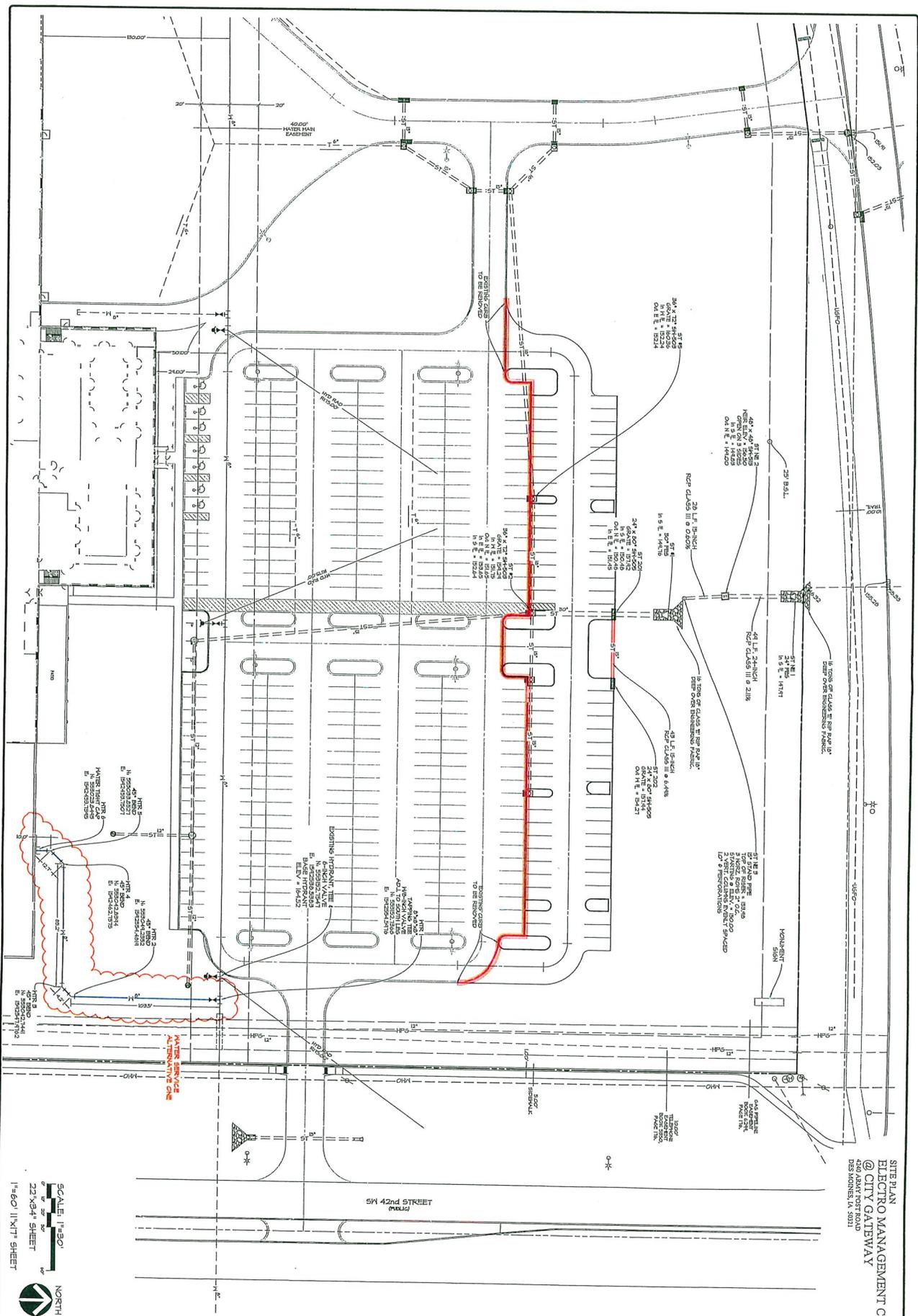
Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12 • Des Moines, Iowa 50325  
515.276.4884 • Fax: 515.276.7084 • mail@cec.com



DATE	REVISIONS	COMMENTS
MAY 11, 2020	1	2020-07-01
	2	
	3	
	4	
	5	
	6	

**PRELIMINARY**  
CITY GATEWAY - PHASE 2  
DES MOINES, IOWA  
DIMENSION & LANDSCAPING PLAN - SOUTH

SCALE: 1"=30'  
22"x34" SHEET  
1"=60' 11"x17" SHEET



SCALE: 1"=30'  
 SHEET 22 X 34 SHEET  
 OF 10 11'-60" 11'-17" SHEET



PRELIMINARY

CITY GATEWAY - PHASE 2  
 DES MOINES, IOWA  
 UTILITY PLAN - NORTH

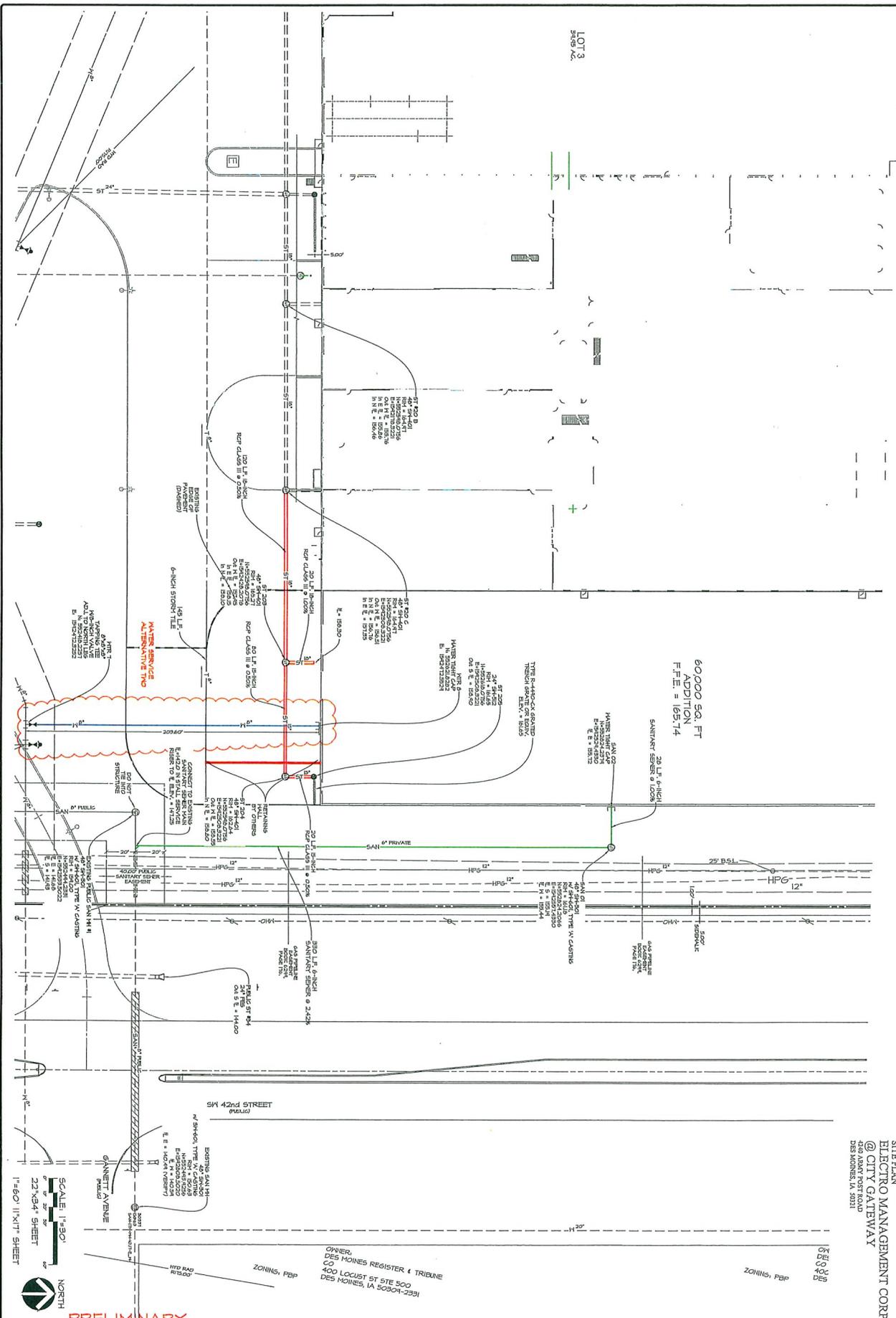
DATE	REVISIONS	COMMENTS
MAY 11, 2020	2020-01-07	
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DATE OF SURVEY: \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_  
 DRAIN BY: \_\_\_\_\_



Civil Engineering Consultants, Inc.  
 2400 86th Street, Unit 12 - Des Moines, Iowa 50322  
 515.276.4884 - Fax: 515.276.7084 - mail@cecinc.com

SITE PLAN  
 ELECTRO MANAGEMENT CORP.  
 @ CITY GATEWAY  
 430 ASHLEY ROAD  
 DES MOINES, IA 50317



60,000 SQ. FT.  
ADDITION  
F.F.E. = 165,714

SITE PLAN  
ELECTRO MANAGEMENT CORP.  
450 DAWK POST ROAD  
DES MOINES, IA 50311

SCALE: 1"=50'  
22"x34" SHEET  
1"=60' 11"x17" SHEET

PRELIMINARY

CITY GATEWAY - PHASE 2  
DES MOINES, IOWA  
UTILITY PLAN - SOUTH

OWNER:  
DES MOINES REGISTER & TRIBUNE  
CO  
400 LOCUST ST SITE 500  
DES MOINES, IA 50308-2011

DATE	REVISIONS	COMMENTS
MAY 11, 2020	1	2020-07-07
	2	
	3	
	4	
	5	
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Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12, Des Moines, Iowa 50322  
515.276.4884 • Fax: 515.276.7084 • mail@cecinc.com

SITE PLAN  
ELECTRO MANAGEMENT CORP.  
@ CITY GATEWAY  
4240 ARMY POST ROAD  
DES MOINES, IA 50321

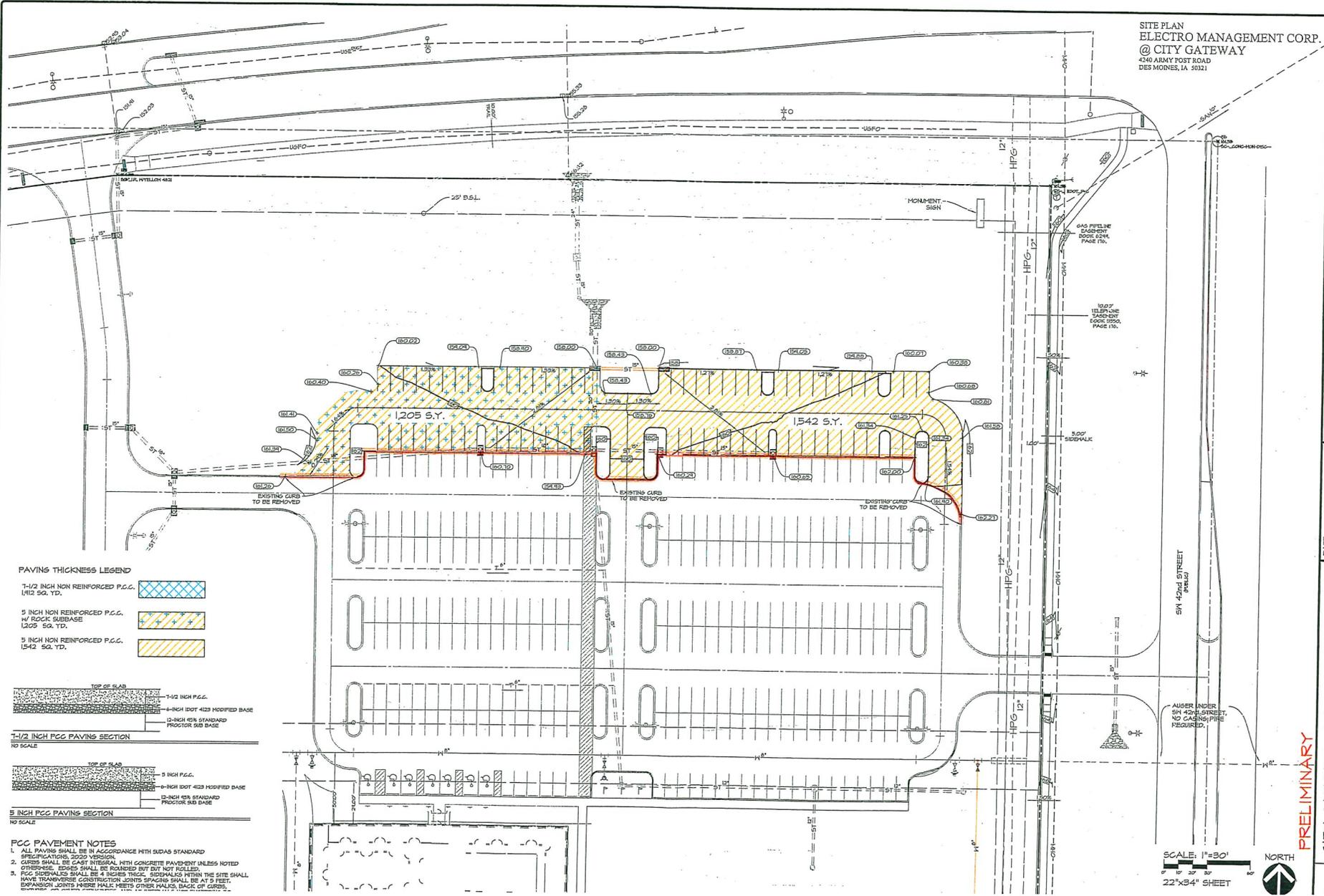
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2409 96th Street, Unit 17, Des Moines, Iowa 50322  
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DATE	MAY 11, 2020	REVISIONS	COMMENTS
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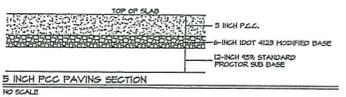
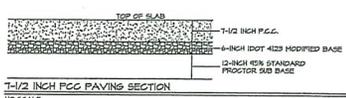
PRELIMINARY  
CITY GATEWAY - PHASE 2  
DES MOINES, IOWA  
GRADING & PAVING PLAN - NORTH

SHEET  
08



PAVING THICKNESS LEGEND

- 1-1/2 INCH NON REINFORCED P.C.C.  
1412 SQ. YD.
- 5 INCH NON REINFORCED P.C.C.  
w/ ROCK SUBBASE  
1205 SQ. YD.
- 5 INCH NON REINFORCED P.C.C.  
1542 SQ. YD.



- PCC PAVEMENT NOTES
- ALL PAVING SHALL BE IN ACCORDANCE WITH SDAS STANDARD SPECIFICATIONS, 2020 VERSION.
  - CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT FILLED.
  - PCC SIDEWALKS SHALL BE 4 INCHES THICK. SIDEWALKS WITHIN THE SITE SHALL HAVE TRANSVERSE CONSTRUCTION JOINTS SPACING SHALL BE AT 5 FEET. EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, AND AT CURB CORNERS SHALL BE 1/2" WIDE.



DATE PLOTTED: 05/11/2020 10:58:11 AM BY: JEFFREY L. HARRIS, P.E. (515) 276-4884

**PAVING THICKNESS LEGEND**

- 7 1/2" NON REINFORCED P.C.C.
- 5" NON REINFORCED P.C.C.

**1 1/2" INCH P.C.C. PAVING SECTION**

**3" INCH P.C.C. PAVING SECTION**

**4" INCH P.C.C. PAVING SECTION**

**5" INCH P.C.C. PAVING SECTION**

**6" INCH P.C.C. PAVING SECTION**

**7 1/2" INCH P.C.C. PAVING SECTION**

**8" INCH P.C.C. PAVING SECTION**

**9" INCH P.C.C. PAVING SECTION**

**10" INCH P.C.C. PAVING SECTION**

**11" INCH P.C.C. PAVING SECTION**

**12" INCH P.C.C. PAVING SECTION**

**13" INCH P.C.C. PAVING SECTION**

**14" INCH P.C.C. PAVING SECTION**

**15" INCH P.C.C. PAVING SECTION**

**16" INCH P.C.C. PAVING SECTION**

**17" INCH P.C.C. PAVING SECTION**

**18" INCH P.C.C. PAVING SECTION**

**19" INCH P.C.C. PAVING SECTION**

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**100" INCH P.C.C. PAVING SECTION**

**FCM PAVEMENT NOTES**

1. ALL PAVEMENT SHALL BE CONCRETE.
2. CURBS SHALL BE CONCRETE.
3. ALL PAVEMENT SHALL BE 4" THICK UNLESS OTHERWISE NOTED.
4. ALL PAVEMENT SHALL BE 5" THICK UNLESS OTHERWISE NOTED.
5. ALL PAVEMENT SHALL BE 6" THICK UNLESS OTHERWISE NOTED.
6. ALL PAVEMENT SHALL BE 7 1/2" THICK UNLESS OTHERWISE NOTED.
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**LOT 3**

**60,000 SQ. FT. ADDITION**

**F.F.E. = 165,74**

**1,412 S.F.**

**NO CURB - PAVEMENT TO NO CURB**

**6" PUBLIC**

**5/4" 42nd STREET (PUBLIC)**

**GANNETT AVENUE (PUBLIC)**

**227'x241' SHEET**

**1"=60' 11"x17" SHEET**

**SCALE: 1"=30'**

**NORTH**

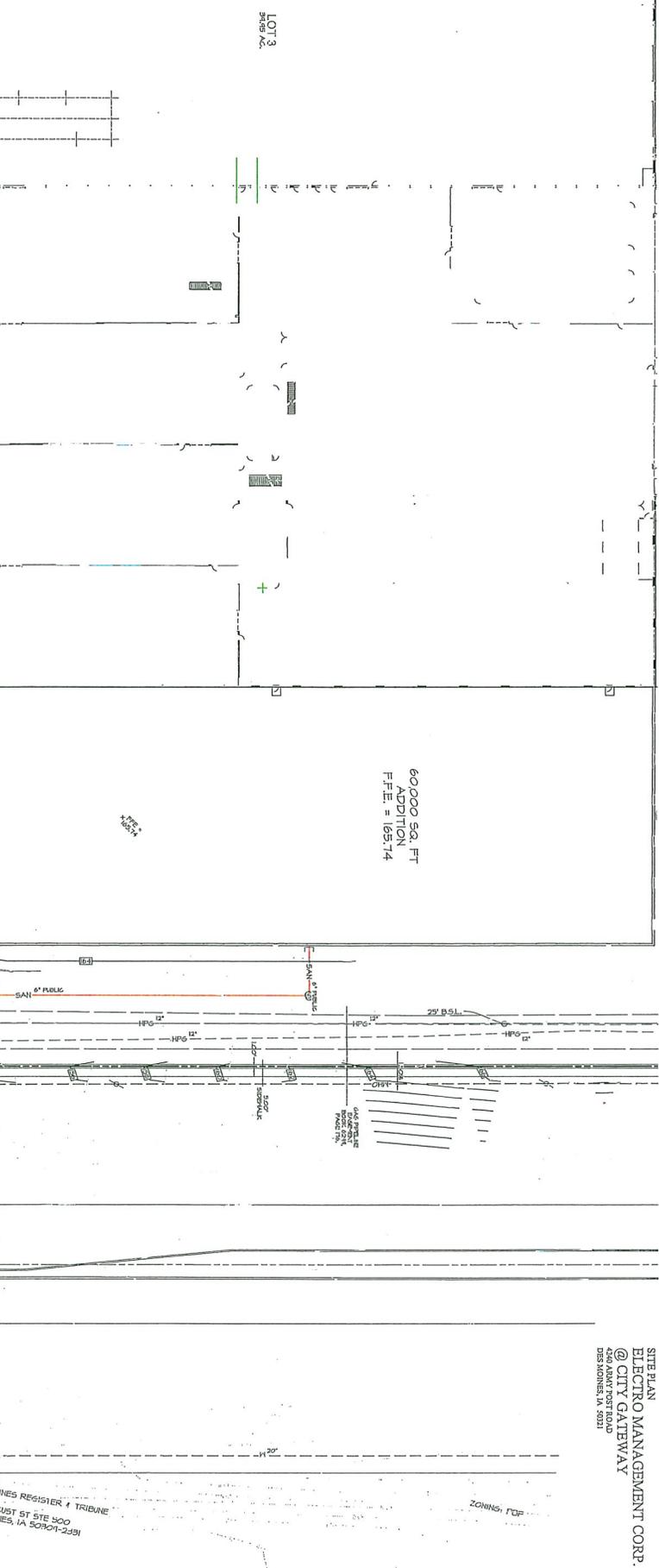
**OWNER: DES MOINES REGISTER & TRIBUNE CO**

**420 LOCUST ST. SITE 500**

**DES MOINES, IA 50301-2351**

**ZONING: PEP**

**ZONING: FCP**



**PRELIMINARY**

**CITY GATEWAY - PHASE 2**

**DES MOINES, IOWA**

**GRADING & PAVING PLAN - SOUTH**

**DATE: MAY 11, 2020**

**REVISIONS**

NO.	DATE	COMMENTS
1	2020-01-07	
2		
3		
4		
5		
6		

**DESIGNED BY: PC**

**DRAWN BY: MEH**

**Civil Engineering Consultants, Inc.**

**2400 86th Street, Unit 12 - Des Moines, Iowa 50322**

**515.276.4884 - Fax: 515.276.7084 - mail@cecinc.com**

**SITE PLAN**

**ELECTRO MANAGEMENT CORP.**

**@ CITY GATEWAY**

**420 AMARYSTOWN ROAD**

**DES MOINES, IA 50311**

