



Date September 14, 2020

RESOLUTION SETTING HEARING ON REQUEST FROM 3801 GRAND ASSOCIATES LP (OWNER), FOR REVIEW AND APPROVAL OF PUD FINAL DEVELOPMENT SITE PLAN FOR “3801 GRAND AVENUE” FOR PROPERTY AT 3801 AND 3721 GRAND AVENUE

WHEREAS, on August 20, 2020, the City Plan and Zoning Commission voted 12-0 to **APPROVE** a request from 3801 Grand Associates LP (owner), represented by Frank Levy (officer), to approve the PUD Final Development Site Plan for “3801 Grand Avenue” for property located at 3801 and 3721 Grand Avenue (“Property”) to allow development of a 4-story independent senior living apartment building in accordance with the 3801 Grand Avenue “PUD” Conceptual Plan requirements, subject to:

1. Compliance with all administrative review requirements; and
2. To review and approval of the finalized building design and materials by the City’s Planning Administrator; and

WHEREAS, the Property is legally described as follows:

THE EAST 50 FEET OF LOT 13; ALL OF LOTS 14, 15, 16; THE SOUTH 68.75 FEET OF LOT 17; THE SOUTH 434.00 FEET OF LOT 18; THE SOUTH 300 FEET OF LOT 19; ALL OF LOT 20; AND THE SOUTH 292 FEET OF LOT 22 ALL IN THE OFFICIAL PLAT OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 78 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

NOW THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed PUD Final Development Site Plan for “3801 Grand Avenue” is to be considered, and at which time the City Council will hear both those who oppose and those who favor the proposal, shall be held at 5:00 p.m. on October 5, 2020, by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community, without public access to the meeting location.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code. The City Clerk is instructed to provide this notice including information about participation in the electronic meeting as indicated above.



Roll Call Number

Agenda Item Number

35

Date September 14, 2020

MOVED BY _____ TO ADOPT.

FORM APPROVED: Judy K Parks-Kruse (10-2020-7.126)
Judy K. Parks-Kruse
Assistant City Attorney

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED APPROVED

Mayor

CERTIFICATE

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk



September 8, 2020

Date September 14, 2020
 Agenda Item 35
 Roll Call # _____

Honorable Mayor and City Council
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their August 20, 2020 meeting, the following action was taken regarding a request from 3801 Grand Associates LP (owner), represented by Frank Levy (officer), for review and approval of a "PUD" Final Development Site Plan "3801 Grand Avenue" for property located at 3801 and 3721 Grand Avenue, to allow development of a 4-story independent senior living apartment building in accordance with the 3801 Grand Avenue "PUD" Conceptual Plan requirements.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 12-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones				X
William Page				X
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the proposed "PUD" Final Development Site Plan, subject to the following conditions:

1. Compliance with all administrative review requirements.

2. Review and approval of the finalized building design and materials by the City's Planning Administrator.

(10-2020-7.126)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed "PUD" Final Development Site Plan, subject to the following conditions:

1. Compliance with all administrative review requirements.
2. Review and approval of the finalized building design and materials by the City's Planning Administrator.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to construct a 4-story multiple-household building with 57 units that would connect to the existing senior housing development to the west. The boundary of the "PUD" also includes a commercial property with frontage along Ingersoll Avenue.

2. **Size of Site:** 174,828 square feet or 4.01 acres.

3. **Existing Zoning (site):** Legacy "PUD" Planned Unit Development District.

4. **Existing Land Use (site):** An independent senior living apartment building, an assisted living apartment building, and an office building.

5. **Adjacent Land Use and Zoning:**

North – "MX2": Uses are commercial businesses along Ingersoll Avenue.

South - "NX3" & P2": Uses are multiple-household residential and institutional.

East - "NX3": Uses are multiple-household residential.

West - "P2": Use is a church.

6. **General Neighborhood/Area Land Uses:** The site is located on the north side of Grand Avenue to the east of the 39th Street intersection. The Grand Avenue corridor contains a mix of multiple-household residential, institutional, and commercial uses.

7. **Applicable Recognized Neighborhood(s):** The subject property is located in the North of Grand Neighborhood and within 250 feet of both the Greenwood Historic Neighborhood and the Salisbury Oaks Neighborhood. All neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on July 31, 2020 and by mailing of the Final Agenda on August 14, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on August 10, 2020 (10 days prior to the original public hearing) to the neighborhood association and to the

primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The North of Grand Neighborhood Association mailings were sent to Jason Norris, 647 34th Street, Des Moines, IA 50312. The Greenwood Historic Neighborhood Association mailings were sent to Nicholas Larson, 127 34th Street, Des Moines, IA 50312. The Salisbury Oaks Neighborhood Association mailings were sent to Jenn Kirke, 409 43rd Street, Des Moines, IA 50312.

8. **Relevant Zoning History:** On March 9, 2020, the City Council rezoned the subject property to “PUD” District and conditionally approved the 3801 Grand Avenue “PUD” Conceptual Plan by Roll Call Number 20-0473 and Ordinance Number 15,873. The Plan and Zoning Commission considered this request on February 6, 2020.
9. **PlanDSM Future Land Use Plan Designation:** High Density Residential and Community Mixed Use located in a Community Node.
10. **Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City’s Stormwater Management requirements to the satisfaction of the City’s Permit and Development Center. Groundwater recharge pits would be constructed below the access drives to the north and south of the new building.
2. **Access & Parking:** The site is located on the north side of Grand Avenue. The Development Plan includes a driveway at the east end of the site and an access drive that connects to a driveway that would be shared with the building to the west. A total of 74 parking spaces would be added with the construction of the new building with 69 of the spaces being located within the basement of the building.
3. **Urban Design:** The applicant is proposing to construct a 4-story multiple-household building with 57 dwelling units. The units would complement the existing senior housing development to the west, which are also located in the “PUD” District. The new building would be contemporary in style with a mix of masonry, metal, prefinished wood, and fiber cement board panel siding. Units on all sides of the building would have balconies. The stack of balconies near the front entrance would have glass railing. The remaining balconies would consist of galvanized steel construction.

The design of the building generally matches the design that was presented with the “PUD” Conceptual Plan. However, the applicant has decreased the amount of metal siding on the front façade and eliminated the accent brick siding in the interior courtyard area. Staff has asked the applicant to look at alternatives that would better

reflect the level of material quality expressed by the original design. The applicant team is currently exploring alternatives. Staff recommends approval subject to the review of the finalized building design and materials by the Planning Administrator. This will allow Staff to continue to work with the applicant in considering alternatives.

SUMMARY OF DISCUSSION

Jann Freed asked if any member of the public or the commission desired to speak on the item. None requested to speak.

COMMISSION ACTION:

Emily Webb made a motion for approval of the proposed "PUD" Final Development Site Plan, subject to the following conditions:

1. Compliance with all administrative review requirements.
2. Review and approval of the finalized building design and materials by the City's Planning Administrator.

Motion passed: 12-0

Respectfully submitted,



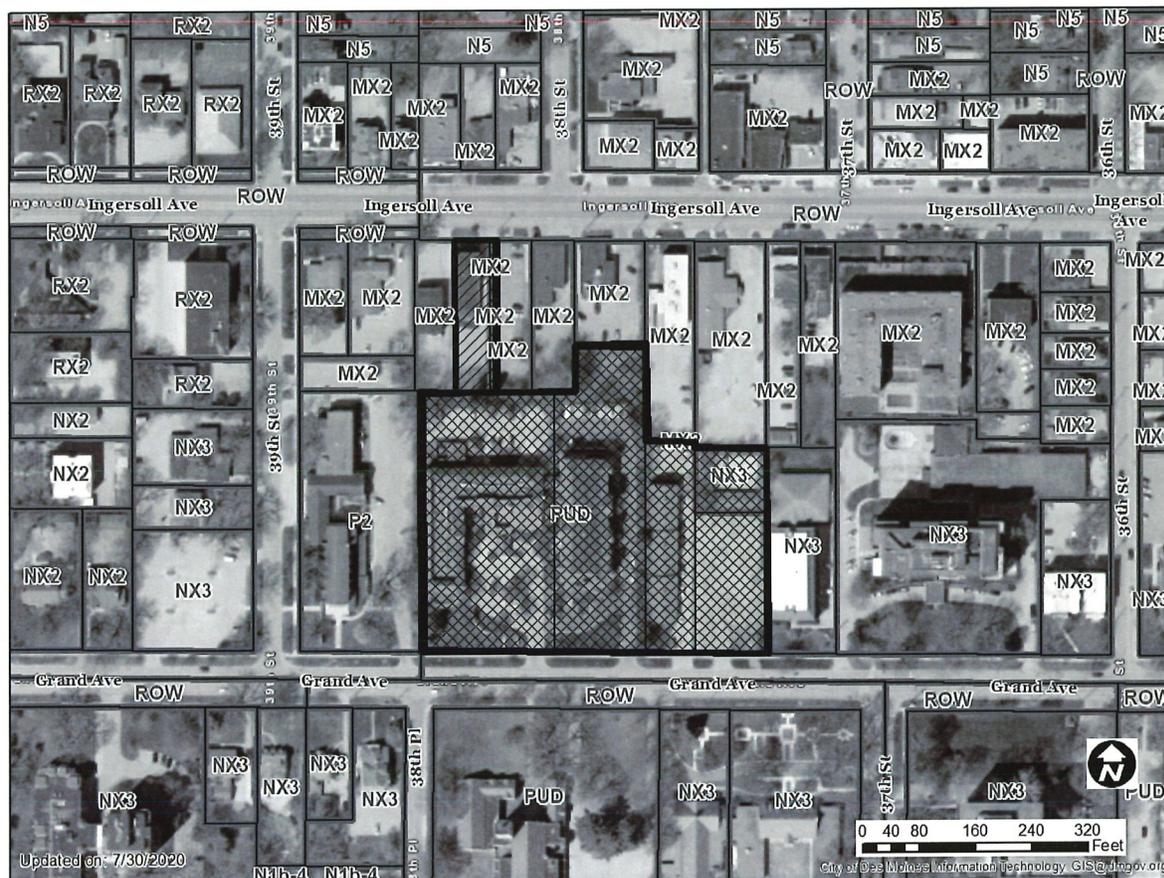
Michael Ludwig, AICP
Planning Administrator

MGL:tjh

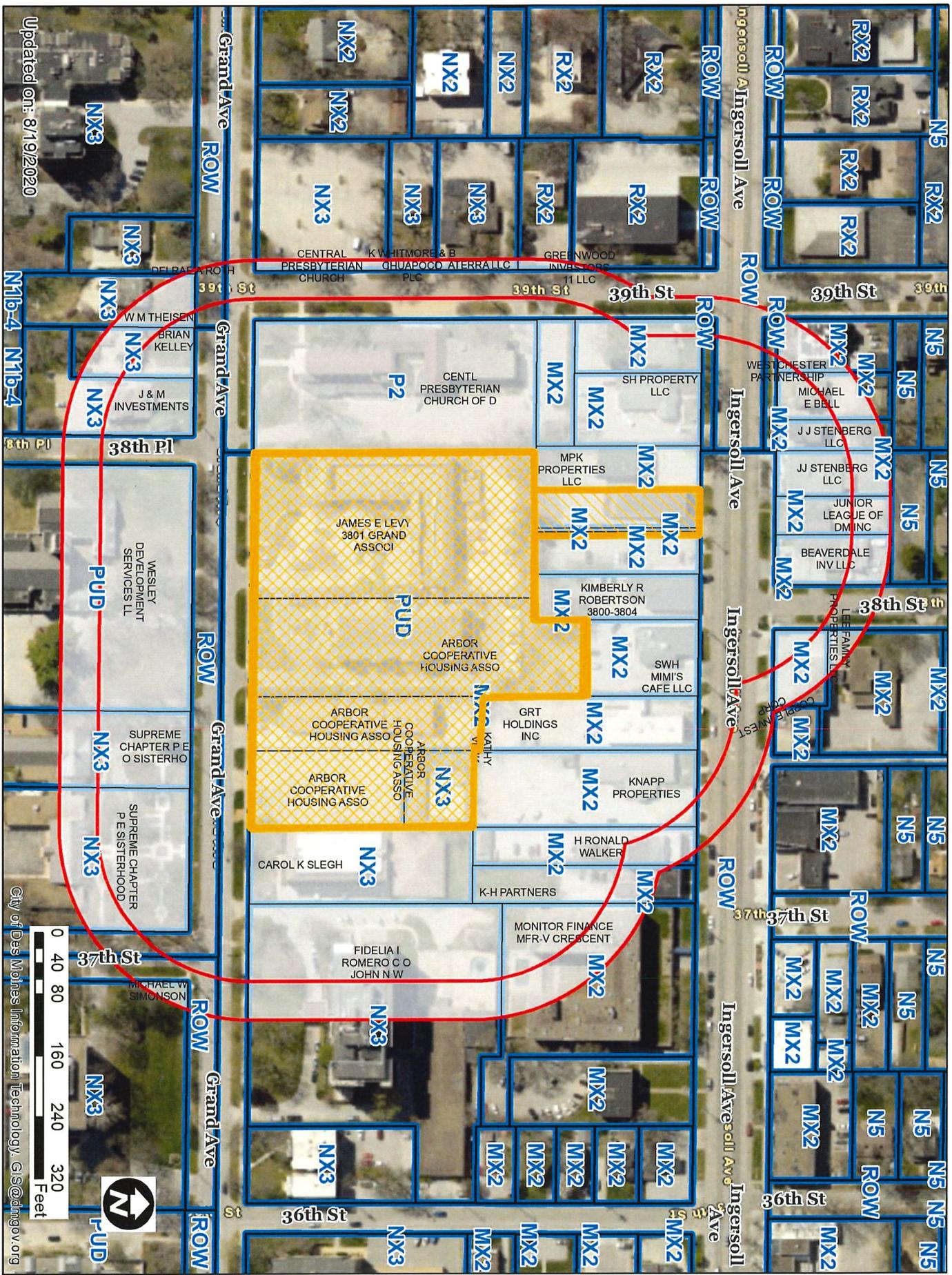
Request from 3801 Grand Associates LP (owner), represented by Frank Levy (officer) for property located at 3801 and 3721 Grand Avenue.				File #
				10-2020-7.126
Description of Action	Review and approval of a "PUD" Final Development Site Plan "3801 Grand Avenue" for property located at 3801 and 3721 Grand Avenue, to allow development of a 4-story independent senior living apartment building in accordance with the 3801 Grand Avenue "PUD" Conceptual Plan requirements.			
PlanDSM Future Land Use	Current: High Density Residential. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	No planned improvements.			
Current Zoning District	3801 Grand Avenue Legacy "PUD" Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	0	0		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No

3801 Grand Associates LP, 3801 and 3721 Grand Avenue

10-2020-7.126



1 inch = 165 feet



Updated on: 8/19/2020



1 inch = 165 feet

City of Des Moines Information Technology. GIS@dm.gov

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NOTE:

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

OWNER/DEVELOPER:

FRANK LEVY
3501 GRAND ASSOCIATES LP
3408 WOODLAND AVE STE 305
WEST DES MOINES, IA 50266

SITE ADDRESS:

3501 GRAND AVE
3771 GRAND AVE

UTILITIES OWNERSHIP:

STORM SEWERS CITY OF DES MOINES
SANITARY SEWERS CITY OF DES MOINES
WATER DES MOINES WATER WORKS
NATURAL GAS IOWA ENERGY SERVICES
ELECTRIC IOWA ENERGY SERVICES
TELEPHONE IOWA ENERGY SERVICES

CONSTRUCTION SCHEDULE:

ITEM	BEGAN	COMPLETED
GRADING/PERSON CONTROL	08/20	09/22
BUILDING CONSTRUCTION	08/20	09/22
PAVING	08/20	09/22
LANDSCAPING	09/21	10/22

INDEX OF SHEETS:

- 1 - PROJECT MAP
- 2 - GRADING PLAN
- 3 - GRADING PLAN 1
- 4 - GRADING PLAN 2
- 5 - GRADING PLAN 3
- 6 - STORMWATER FACILITY MANAGEMENT PLAN
- 7 - UTILITY PLAN
- 8 - DEVOLUTION PLAN
- 9 - LANDSCAPE PLAN
- 10 - DETAILS

USE:

MULTI-RESIDENTIAL

ZONING:

PUD

PARKING:

REQUIRED:
MINORITY CARE: 0/AJUNT
PLUS 0.5/STAFF ON SHIFT

ASSISTED LIVING: 0.5/AJUNT
INDEPENDENT LIVING: 1/AJUNT

PROVIDED:
3501 GRAND AVE
- 33 SURFACE STALLS (INCLUDING 2 H.C.)

3771 GRAND AVE
- 25 SURFACE STALLS (INCLUDING 2 H.C.)

3771 GRAND AVE
- 3 SURFACE STALLS (INCLUDING 1 H.C.)

- 89 GARAGE STALLS

TOTAL = 158 STALLS
(64 SURFACE/94 GARAGE)

CITY DES MOINES BENCHMARK:

BENCHMARK ID # 1079
NW CORNER

ELEVATION = 178.447

LEGAL DESCRIPTION:

All of Lots 14, 15, 16; the South 68.75 feet of Lot 17; the South 434.00 feet of Lot 18; the South 350 feet of Lot 19; all of Lot 20; and the South 292 feet of Lot 22 all in the Official Plat of the Southeast Quarter of the Southeast Quarter of Section 6, Township 78 North, Range 24 West of the 5th P.M., now included in and forming a part of the City of Des Moines, Polk County, Iowa.
Containing 4.01 AC, 174,828 SF

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS
2. ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR
3. ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTICES INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
5. THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE CITY PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS.
7. WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUTS AND APPURTENANCES REQUIRED BY CODES.
8. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING & CRUSING THE SITE, AND REMOVAL & DISPOSAL OF ANY DEBRIS AND EXCESS MATERIALS FROM THE SITE.
9. ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK INCLUDING SIDEWALK AND DRIVEWAY APPROACH.
11. THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK INCLUDING SIDEWALK AND DRIVEWAY APPROACH.
13. A SIDEWALK AND DRIVEWAY APPROACH PERMIT WILL BE REQUIRED OF THE DEVELOPER OR CONTRACTOR.
14. BEFORE TRAFFIC SIGNS ARE IMPACTED, CONTACT CITY TRAFFIC AND TRANSPORTATION (283-4973)
15. ALL WORK IN CITY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH CURRENT EDITION OF SDAS AND THE CITY OF DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SDAS.
16. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
17. PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO UPC. IN ADDITION, PRIVATE "MAN" SEWER MUST MEET UPC, DEVELOPER / CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.
18. ANY GROUND-MOUNTED OR WALL MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
19. ANY WALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
20. ALL UTILITY SERVICES TO BUILDING SHALL BE UNDERGROUND UNLESS OTHERWISE ALLOWED PER SITE PLAN
21. SIGNAGE SHALL BE MONUMENT OR DIRECTORY BUT IN NO CASE SHALL BE POLE SIGNAGE.
22. ANY NEW ROOF TOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
23. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS.
24. LIGHTING MUST BE LOW GLARE CUT-OFF TYPE FIXTURES TO REDUCE THE CLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
25. THE SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
26. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE PLAN THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/ COMPLETION
27. PARKING LOT LIGHTING SHALL BE PEDESTRIAN IN SCALE, HAVING POLES NO TALLER THAN 20 FEET WITH CUT-OFF DOWN-DIRECTIONAL LIGHT FIXTURES.

SETBACKS:

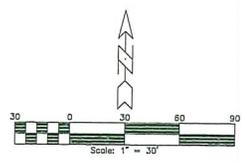
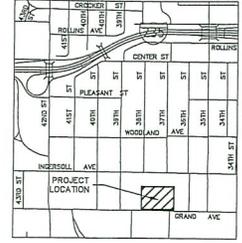
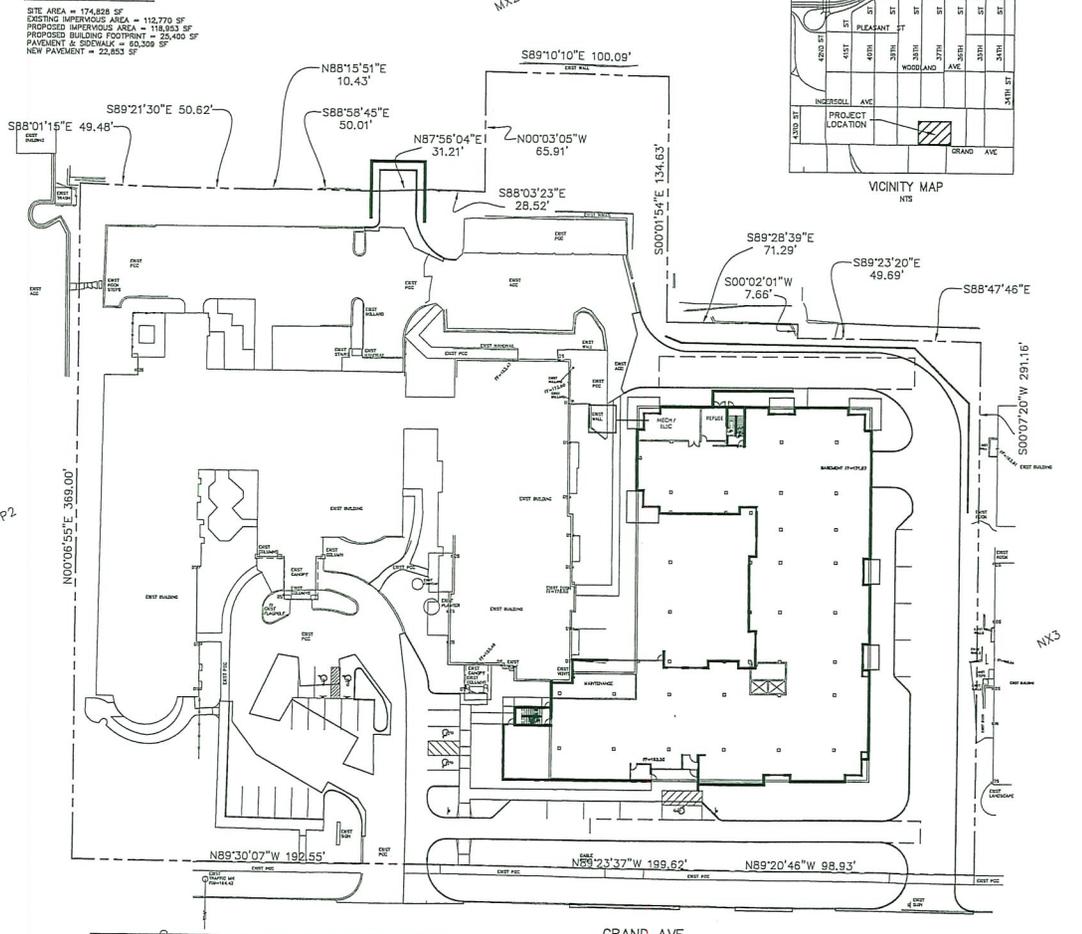
FT = 44'
ST = 10'
RY = 30'

OPEN SPACE:

REQUIRED 15% = 26,224 SF
PROVIDED = 55,875 SF = 32%

IMPERVIOUS SURFACE:

SITE AREA = 174,828 SF
EXISTING IMPERVIOUS AREA = 110,770 SF
PROPOSED IMPERVIOUS AREA = 118,063 SF
PROPOSED BUILDING FOOTPRINT = 25,400 SF
PAVEMENT & SIDEWALK = 60,309 SF
NEW PAVEMENT = 22,653 SF



SITE PLAN
 APPROVED
 APPROVED WITH CONDITION
see conditions attached hereto.
 IN ACCORDANCE WITH SECTION 135-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.
 NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.
 DATE _____ PLANNING DIRECTOR _____



DRAWING DESCRIPTION:
 I HEREBY CERTIFY THAT THE DRAWING, SPECIFICATION OR REPORT WAS PREPARED BY ME, OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
 DOUGLAS A. SALSINGER, P.E. #1953 DATE: 08/20/2020
 PAGES OR SHEETS COVERED BY THIS SEAL: 10
 1953
 IOWA

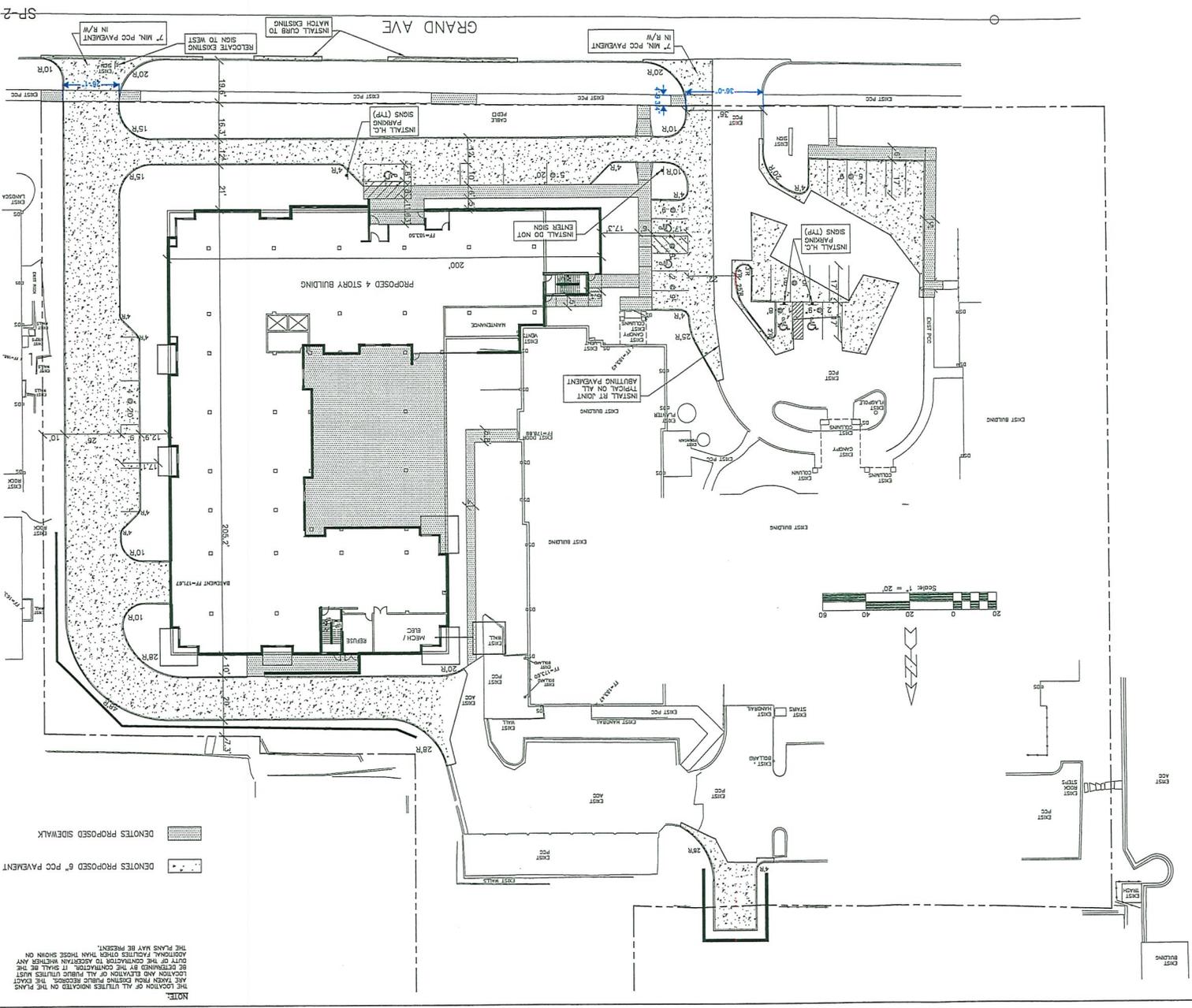
3721 GRAND EXPANSION- PROJECT MAP

NO.	REVISION	DATE	BY	FOR

SCALE: 1" = 30'
 DWG: 19-104-PRJ.dwg
 LOCATION: 3721 GRAND AVE
 DESIGNED BY: D.A.S.
 CHECKED BY: D.A.S.
 DRAWN BY: B.R.H.
 DATE: 08/21/2020
 SHEET: 10 OF 10
 FIELD BOOK: 19-104

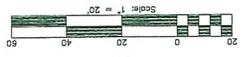
DRG
 Douglas A. Salsinger, Inc.
 Engineers and Surveyors
 2413 GRAND AVENUE
 DES MOINES, IOWA 50319
 (515) 281-4923

SP-1



- DENOTES PROPOSED SIDEWALK
- DENOTES PROPOSED 6" PCC PAVEMENT

NOTE:
 THE LOCATION OF ALL UTILITIES RELAYED ON THE PLANS ARE TAKEN FROM DISTINGUISHED PUBLIC RECORDS. THE EXACT LOCATION AND DEPTH OF ALL UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



19-104

Engineering Resource Group, Inc.
 2413 GRAND AVENUE
 SUITE 100
 (512) 416-4185

FRG

3721 GRAND EXPANSION - GEOMETRIC PLAN

NO.	REVISION	DATE	BY	FOR

LOCATION: AS NOTED

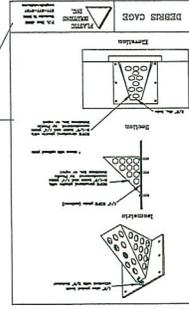
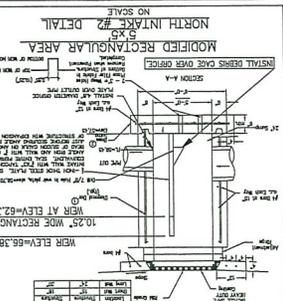
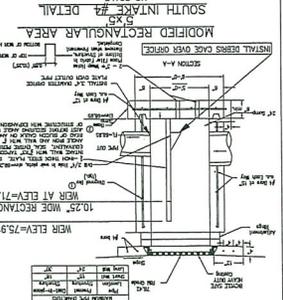
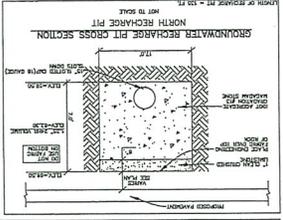
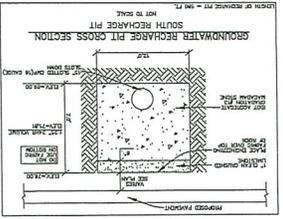
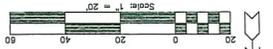
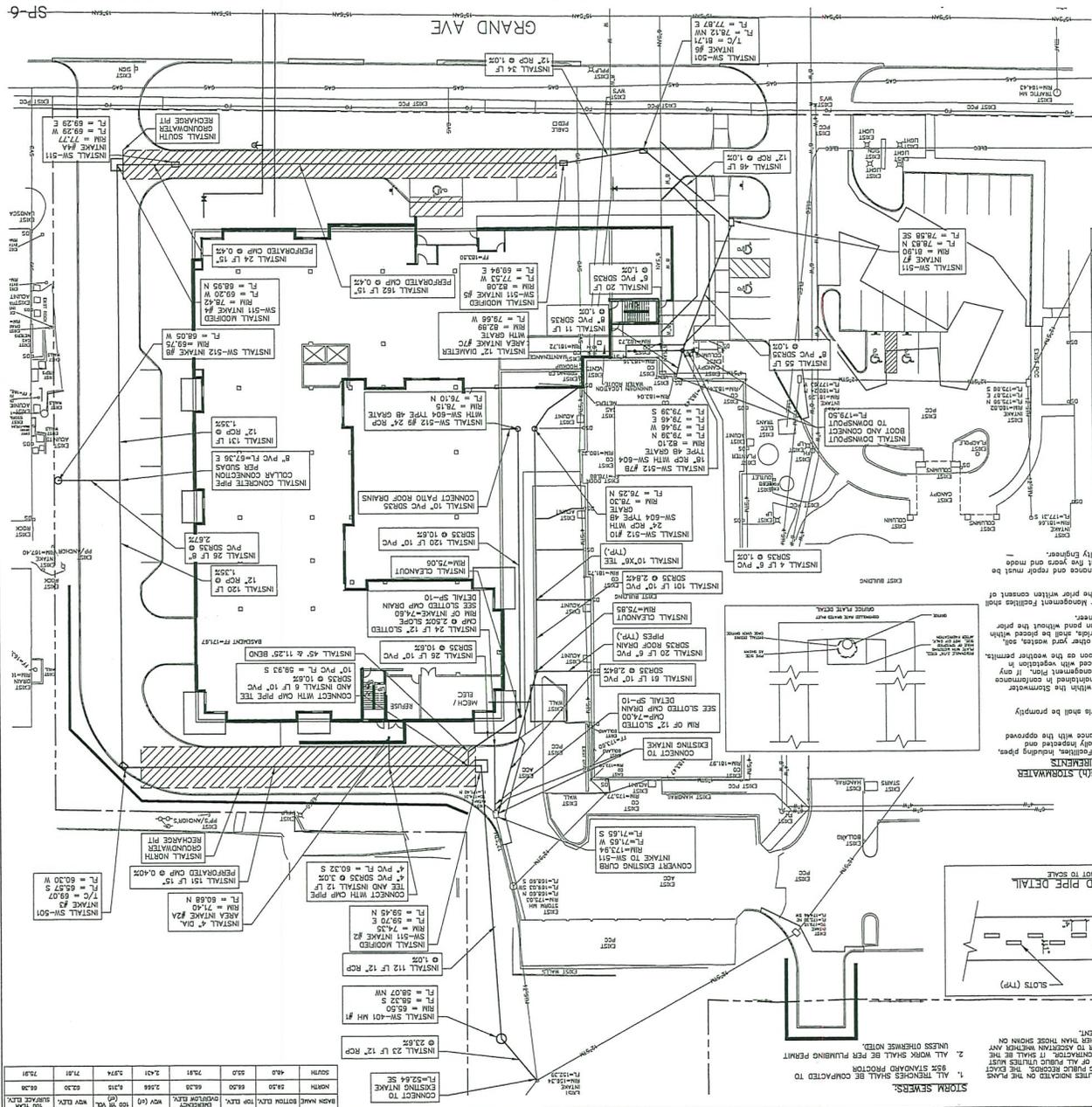
SCALE: 1" = 20'

DWG: 19-104-GE04WG

FIELD BOOK: SHEET 2 OF 10

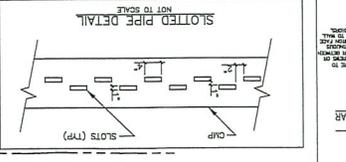
DATE: 06/17/2020

FILE NO.: 19-104



CITY CODE SECTION 106-13A(8) STORMWATER FACILITY MAINTENANCE REQUIREMENTS

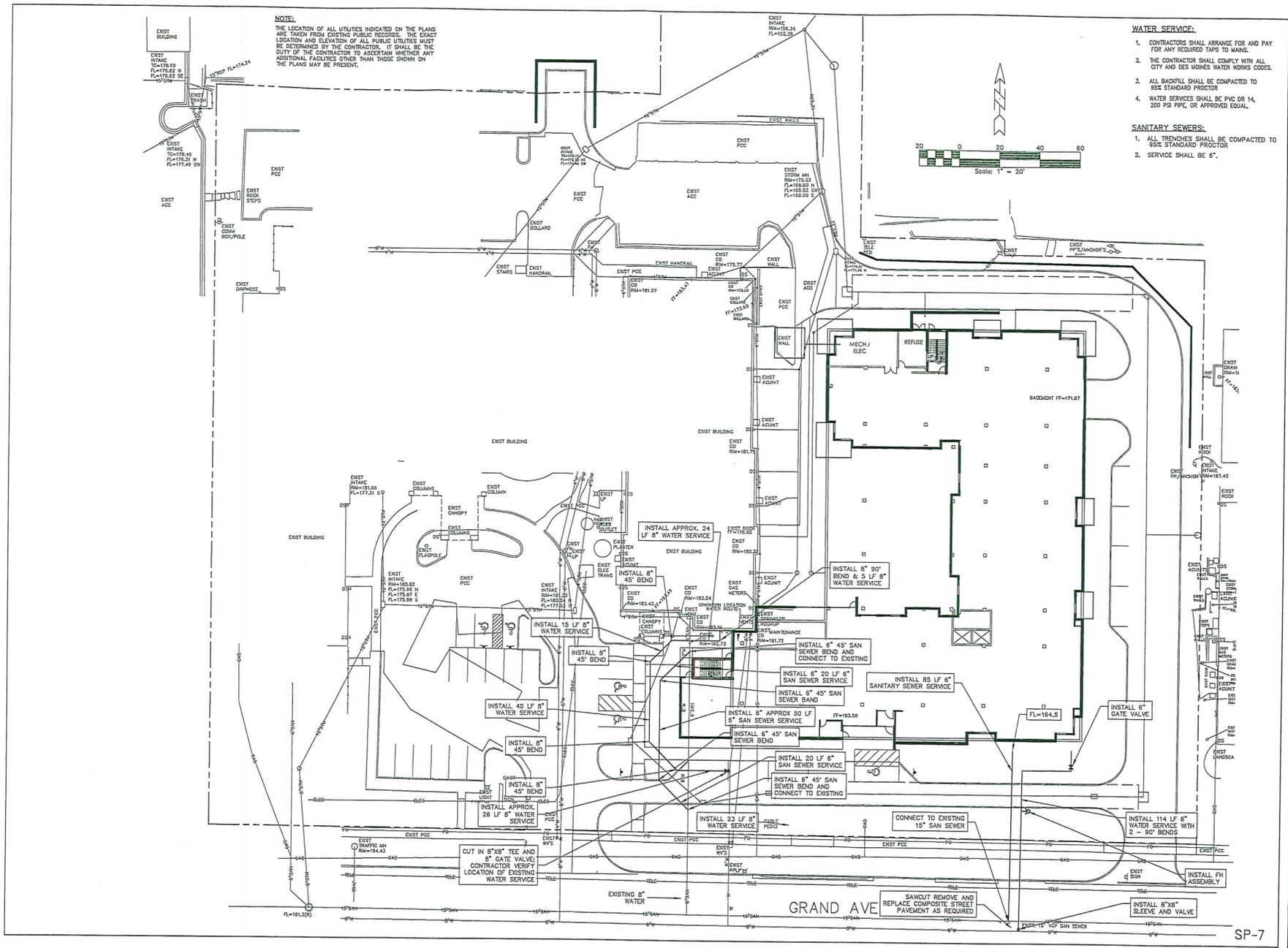
- The Stormwater Management Facilities, including pipes, inlets and culverts, shall be promptly inspected and maintained in accordance with the approved Stormwater Management Plan.
- Urban, silt, sediment and debris shall be promptly removed from such facilities.
- The parking area vegetation within the Stormwater Management Facilities shall be maintained in accordance with the approved Stormwater Management Plan. If any weeds, grasses, or other plants are present within the parking area, they shall be removed with the appropriate equipment.
- No grass clippings, leaves or other yard wastes, soil, rocks, concrete, or other materials shall be placed within the Stormwater Management Facilities.
- The location of all utilities located on the plans shall be shown on the plans. If any additional utilities are located on the site, they shall be shown on the plans.



STORM SEWERS.

1. ALL TRENCHES SHALL BE COMPACTED TO UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE PER PLUMBING PERMIT.

DIR.	NO.	TYPE	DATE	BY	REVISION
SOUTH	66.0	EXISTING	7/18	BSB	1
NORTH	66.20	EXISTING	7/18	BSB	1
EAST	66.30	EXISTING	7/18	BSB	1
WEST	66.40	EXISTING	7/18	BSB	1
	66.50	EXISTING	7/18	BSB	1
	66.60	EXISTING	7/18	BSB	1
	66.70	EXISTING	7/18	BSB	1
	66.80	EXISTING	7/18	BSB	1
	66.90	EXISTING	7/18	BSB	1
	67.00	EXISTING	7/18	BSB	1



- WATER SERVICE.**
1. CONTRACTORS SHALL ARRANGE FOR AND PAY FOR ANY REQUIRED TAPS TO MAINS.
 2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY AND DES URBAN WATER WORKS CODES.
 3. ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
 4. WATER SERVICES SHALL BE PVC DR 14, 200 PSI PIPE OR APPROVED EQUAL.
- SANITARY SEWERS.**
1. ALL TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
 2. SERVICE SHALL BE 6".

3721 GRAND EXPANSION- UTILITY PLAN

SCALE:	AS NOTED	DESIGNED BY:	DJS	DRAWN BY:	BCB
DWG. NO.:	19-104-UTL.dwg	CHECKED BY:	DJS	DATE:	05/17/2020
LOCATION:		SHEET	7	OF	10
REVISED		FIELD BOOK		FILE NO.:	19-104
NO.		DATE	BY	FOR	

FRC
 Engineering & Surveying Group, Inc.
 Engineers and Surveyors
 DES MONTESS, LOUISIANA 70002
 (504) 288-4823

NOTE:
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4105
 ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
 NO STAKING OF TREES IS ALLOWED IN R/W

PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL REQUIRED LANDSCAPE MATERIALS AND ANY DEAD OR SUBSTANTIALLY DAMAGED LANDSCAPE MATERIALS SHALL BE REPLACED

THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.

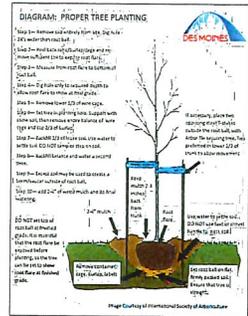
ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.

LANDSCAPING CALCULATIONS

SITE AREA = 174,828 SF
 REQUIRED 15% CANOPY = 26,224
 1 SHADE TREE = 1000 SF CANOPY
 1 ORNAMENTAL TREE = 700 SF CANOPY
 1 EVERGREEN TREE = 300 SF CANOPY
 9 SHADE TREES = 7,396 SF*
 22 ORNAMENTAL TREES = 13,720 SF*
 4 EVERGREEN TREES SF = 912 SF*
 EXISTING TREES CANOPY = 4,610 SF*
 *OVERLAPPING CANOPY & BLOCKED CANOPY AREA REMOVED
 TOTAL CANOPY PROVIDED = 26,538 SF

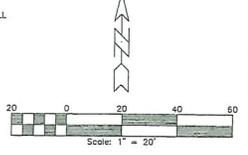
I HEREBY CERTIFY THAT THE PLANTING PORTION OF THIS TECHNICAL SUBMISSION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A CERTIFIED NURSERY PROFESSIONAL UNDER THE LAWS OF THE STATE OF IOWA
 SHEETS COVERED: THIS SHEET ONLY
 SIGNED: _____ DATE: _____

DEBRA L. REGENITTER



PLANT SCHEDULE:

Code	Common Name	Botanical Name	Quantity	Min. Planting Size
LS	Shrubbery	Liquidambar styraciflua	1	1.5" cal. B&B
MA	Conical Tree	Thuja occidentalis	1	1.5" cal. B&B
LY	Tall Tree	Liriodendron tulipifera	1	1.5" cal. B&B
OL	Shrublet	Quercus laevis	1	1.5" cal. B&B
OC	Yellowwood	Claytonia lanceolata	2	1.5" cal. B&B
VP	Bluish Yellowwood	Viburnum prunifolium (Tree Form)	3	1.5" cal. B&B
CA	Pygmy Dogwood	Cornus alternifolia	3	1.5" cal. B&B
OV	Redbud	Cercis canadensis	2	1.5" cal. B&B
SR	Japanese Tree Lilac	Claytonia virginiana	4	1.5" cal. B&B
AS	Shrubbery	Claytonia virginiana	4	1.5" cal. B&B
VP	White Flower	Hamamelis virginiana (Tree Form)	4	1.5" cal. B&B
LL	American Larch	Larix laricina	2	1.5" cal. B&B
TC	Eastern Hemlock	Tsuga canadensis	2	1.5" cal. B&B



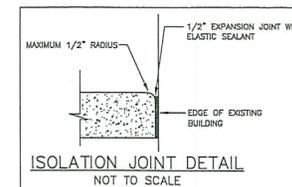
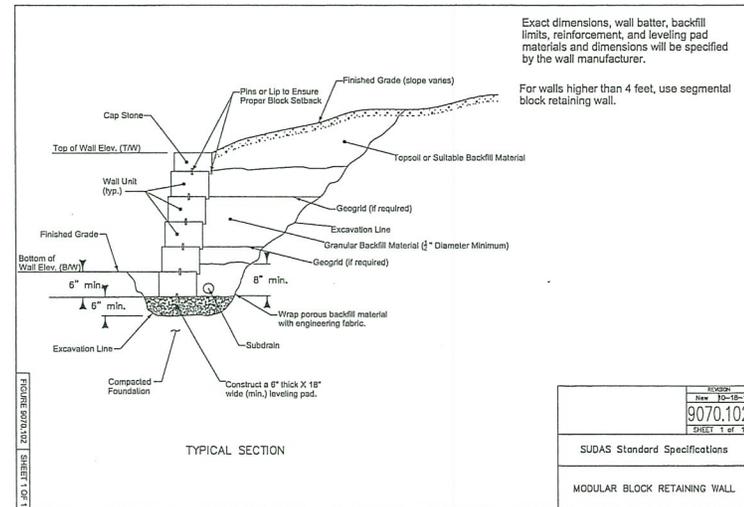
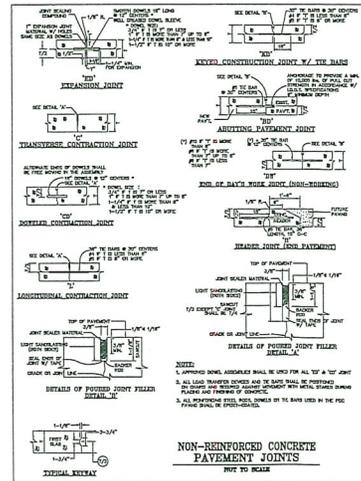
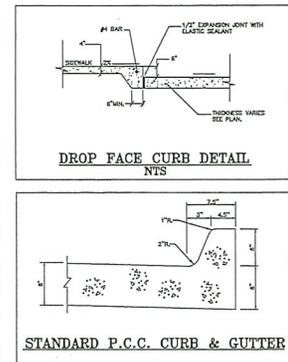
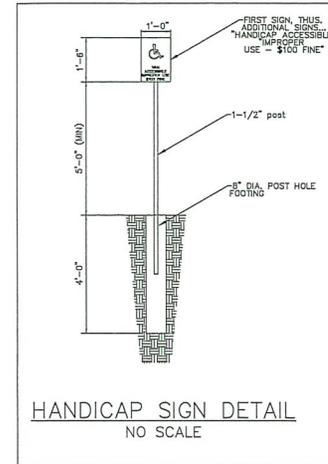
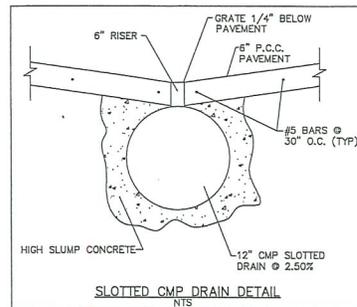
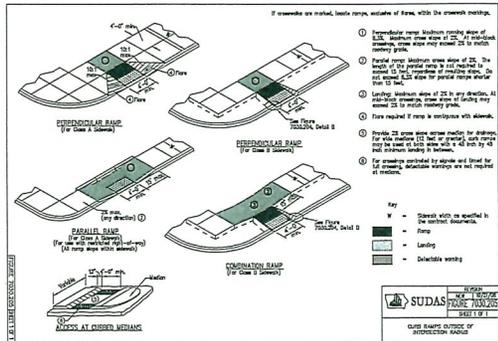
SP-9

3721 GRAND EXPANSION - LANDSCAPE PLAN

AS NOTED
 DESIGNED BY: DJS
 CHECKED BY: DJS
 DATE: 06/17/2020
 SCALE: 19-10-10-LIB.dwg
 FIELD BOOK: _____
 LOCATION: _____

DATE: _____
 BY: _____
 REVISION: _____
 NO. _____

ERC
 Engineers, Inc.
 2610 GRAND AVENUE
 DES MOINES, IOWA 50319
 (515) 281-4823



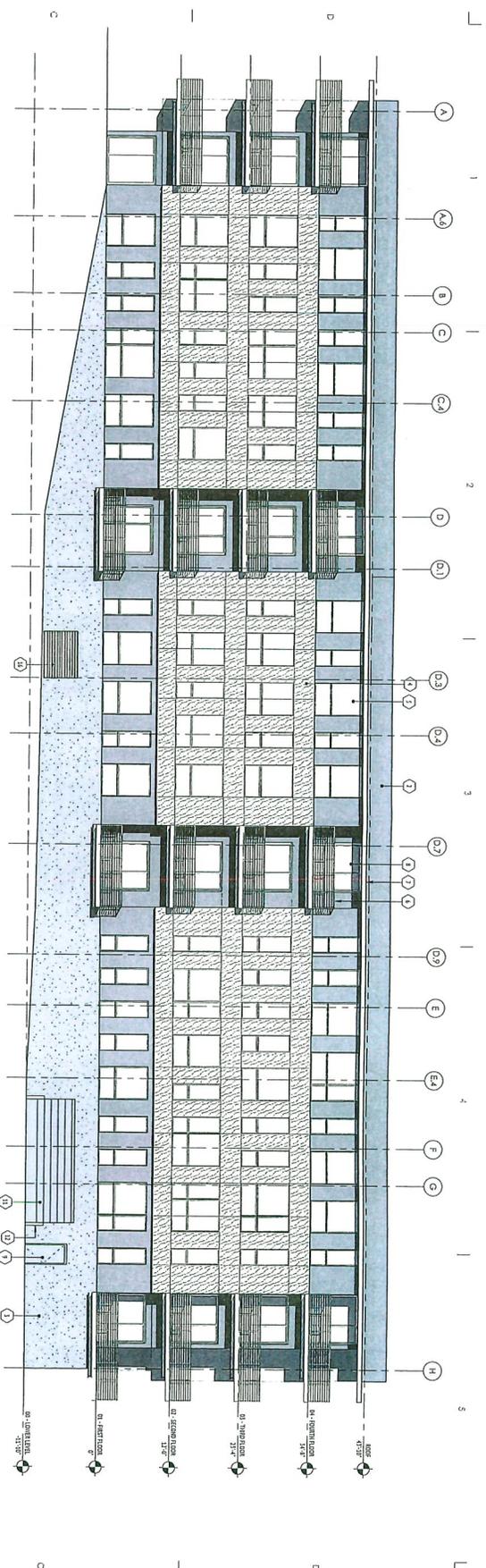
3721 GRAND EXPANSION- DETAILS

DATE: 10-10-11
BY: FOR
REVISION: 9070.102
SHEET 1 OF 1

DESIGNED BY: D.S.
CHECKED BY: D.S.
DATE: 08/11/2010
FILE NO.: 19-104

LOCATION: 3721 GRAND AVENUE
SUDAS
3721 GRAND AVENUE
SUDAS
3721 GRAND AVENUE
SUDAS

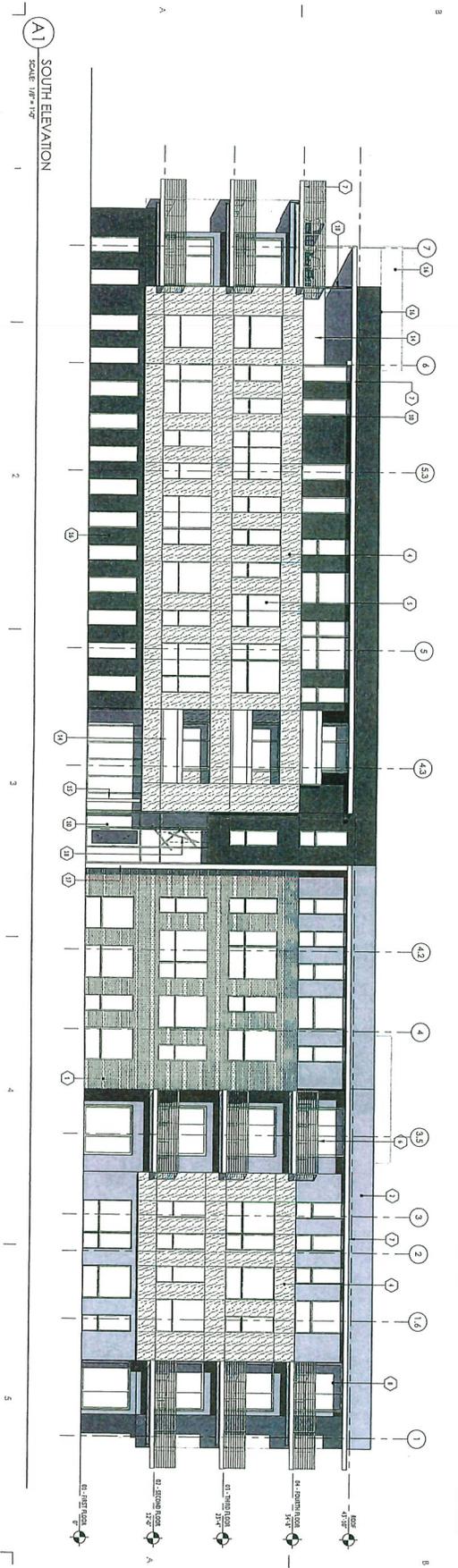
INC. 3721 GRAND AVENUE SUDAS 3721 GRAND AVENUE SUDAS



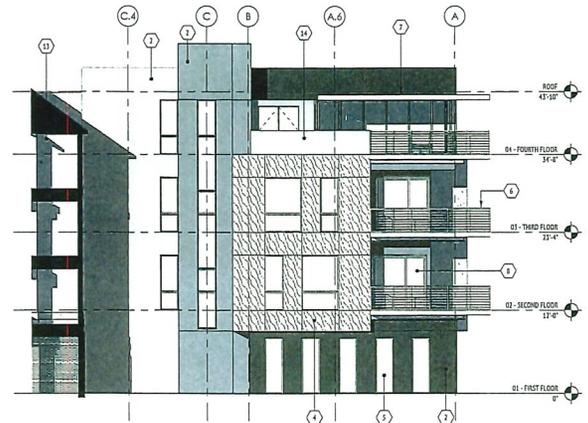
(C1) EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION FINISHES

1	FLAT, DIAPHRAGM BRICK CLADA A	11	INSULATED RIGID CLADDED ROOF
2	FLAT, DIAPHRAGM BRICK CLADA B	12	GLAZED STEEL BALCONY RAILING
3	FLAT, DIAPHRAGM BRICK CLADA C	13	EXTERIOR FINISH
4	FLAT, DIAPHRAGM BRICK CLADA D	14	GLAZED STEEL BALCONY RAILING
5	FLAT, DIAPHRAGM BRICK CLADA E	15	STEEL CORNER HANDRAIL
6	FLAT, DIAPHRAGM BRICK CLADA F	16	GLAZED STEEL BALCONY RAILING
7	FLAT, DIAPHRAGM BRICK CLADA G	17	GLAZED STEEL BALCONY RAILING
8	FLAT, DIAPHRAGM BRICK CLADA H	18	GLAZED STEEL BALCONY RAILING
9	FLAT, DIAPHRAGM BRICK CLADA I	19	GLAZED STEEL BALCONY RAILING
10	FLAT, DIAPHRAGM BRICK CLADA J	20	GLAZED STEEL BALCONY RAILING
11	FLAT, DIAPHRAGM BRICK CLADA K	21	GLAZED STEEL BALCONY RAILING
12	FLAT, DIAPHRAGM BRICK CLADA L	22	GLAZED STEEL BALCONY RAILING
13	FLAT, DIAPHRAGM BRICK CLADA M	23	GLAZED STEEL BALCONY RAILING
14	FLAT, DIAPHRAGM BRICK CLADA N	24	GLAZED STEEL BALCONY RAILING
15	FLAT, DIAPHRAGM BRICK CLADA O	25	GLAZED STEEL BALCONY RAILING
16	FLAT, DIAPHRAGM BRICK CLADA P	26	GLAZED STEEL BALCONY RAILING
17	FLAT, DIAPHRAGM BRICK CLADA Q	27	GLAZED STEEL BALCONY RAILING
18	FLAT, DIAPHRAGM BRICK CLADA R	28	GLAZED STEEL BALCONY RAILING
19	FLAT, DIAPHRAGM BRICK CLADA S	29	GLAZED STEEL BALCONY RAILING
20	FLAT, DIAPHRAGM BRICK CLADA T	30	GLAZED STEEL BALCONY RAILING
21	FLAT, DIAPHRAGM BRICK CLADA U	31	GLAZED STEEL BALCONY RAILING
22	FLAT, DIAPHRAGM BRICK CLADA V	32	GLAZED STEEL BALCONY RAILING
23	FLAT, DIAPHRAGM BRICK CLADA W	33	GLAZED STEEL BALCONY RAILING
24	FLAT, DIAPHRAGM BRICK CLADA X	34	GLAZED STEEL BALCONY RAILING
25	FLAT, DIAPHRAGM BRICK CLADA Y	35	GLAZED STEEL BALCONY RAILING
26	FLAT, DIAPHRAGM BRICK CLADA Z	36	GLAZED STEEL BALCONY RAILING
27	FLAT, DIAPHRAGM BRICK CLADA AA	37	GLAZED STEEL BALCONY RAILING
28	FLAT, DIAPHRAGM BRICK CLADA AB	38	GLAZED STEEL BALCONY RAILING
29	FLAT, DIAPHRAGM BRICK CLADA AC	39	GLAZED STEEL BALCONY RAILING
30	FLAT, DIAPHRAGM BRICK CLADA AD	40	GLAZED STEEL BALCONY RAILING
31	FLAT, DIAPHRAGM BRICK CLADA AE	41	GLAZED STEEL BALCONY RAILING
32	FLAT, DIAPHRAGM BRICK CLADA AF	42	GLAZED STEEL BALCONY RAILING
33	FLAT, DIAPHRAGM BRICK CLADA AG	43	GLAZED STEEL BALCONY RAILING
34	FLAT, DIAPHRAGM BRICK CLADA AH	44	GLAZED STEEL BALCONY RAILING
35	FLAT, DIAPHRAGM BRICK CLADA AI	45	GLAZED STEEL BALCONY RAILING
36	FLAT, DIAPHRAGM BRICK CLADA AJ	46	GLAZED STEEL BALCONY RAILING
37	FLAT, DIAPHRAGM BRICK CLADA AK	47	GLAZED STEEL BALCONY RAILING
38	FLAT, DIAPHRAGM BRICK CLADA AL	48	GLAZED STEEL BALCONY RAILING
39	FLAT, DIAPHRAGM BRICK CLADA AM	49	GLAZED STEEL BALCONY RAILING
40	FLAT, DIAPHRAGM BRICK CLADA AN	50	GLAZED STEEL BALCONY RAILING
41	FLAT, DIAPHRAGM BRICK CLADA AO	51	GLAZED STEEL BALCONY RAILING
42	FLAT, DIAPHRAGM BRICK CLADA AP	52	GLAZED STEEL BALCONY RAILING
43	FLAT, DIAPHRAGM BRICK CLADA AQ	53	GLAZED STEEL BALCONY RAILING
44	FLAT, DIAPHRAGM BRICK CLADA AR	54	GLAZED STEEL BALCONY RAILING
45	FLAT, DIAPHRAGM BRICK CLADA AS	55	GLAZED STEEL BALCONY RAILING
46	FLAT, DIAPHRAGM BRICK CLADA AT	56	GLAZED STEEL BALCONY RAILING
47	FLAT, DIAPHRAGM BRICK CLADA AU	57	GLAZED STEEL BALCONY RAILING
48	FLAT, DIAPHRAGM BRICK CLADA AV	58	GLAZED STEEL BALCONY RAILING
49	FLAT, DIAPHRAGM BRICK CLADA AW	59	GLAZED STEEL BALCONY RAILING
50	FLAT, DIAPHRAGM BRICK CLADA AX	60	GLAZED STEEL BALCONY RAILING
51	FLAT, DIAPHRAGM BRICK CLADA AY	61	GLAZED STEEL BALCONY RAILING
52	FLAT, DIAPHRAGM BRICK CLADA AZ	62	GLAZED STEEL BALCONY RAILING
53	FLAT, DIAPHRAGM BRICK CLADA BA	63	GLAZED STEEL BALCONY RAILING
54	FLAT, DIAPHRAGM BRICK CLADA BB	64	GLAZED STEEL BALCONY RAILING
55	FLAT, DIAPHRAGM BRICK CLADA BC	65	GLAZED STEEL BALCONY RAILING
56	FLAT, DIAPHRAGM BRICK CLADA BD	66	GLAZED STEEL BALCONY RAILING
57	FLAT, DIAPHRAGM BRICK CLADA BE	67	GLAZED STEEL BALCONY RAILING
58	FLAT, DIAPHRAGM BRICK CLADA BF	68	GLAZED STEEL BALCONY RAILING
59	FLAT, DIAPHRAGM BRICK CLADA BG	69	GLAZED STEEL BALCONY RAILING
60	FLAT, DIAPHRAGM BRICK CLADA BH	70	GLAZED STEEL BALCONY RAILING
61	FLAT, DIAPHRAGM BRICK CLADA BI	71	GLAZED STEEL BALCONY RAILING
62	FLAT, DIAPHRAGM BRICK CLADA BJ	72	GLAZED STEEL BALCONY RAILING
63	FLAT, DIAPHRAGM BRICK CLADA BK	73	GLAZED STEEL BALCONY RAILING
64	FLAT, DIAPHRAGM BRICK CLADA BL	74	GLAZED STEEL BALCONY RAILING
65	FLAT, DIAPHRAGM BRICK CLADA BM	75	GLAZED STEEL BALCONY RAILING
66	FLAT, DIAPHRAGM BRICK CLADA BN	76	GLAZED STEEL BALCONY RAILING
67	FLAT, DIAPHRAGM BRICK CLADA BO	77	GLAZED STEEL BALCONY RAILING
68	FLAT, DIAPHRAGM BRICK CLADA BP	78	GLAZED STEEL BALCONY RAILING
69	FLAT, DIAPHRAGM BRICK CLADA BQ	79	GLAZED STEEL BALCONY RAILING
70	FLAT, DIAPHRAGM BRICK CLADA BR	80	GLAZED STEEL BALCONY RAILING
71	FLAT, DIAPHRAGM BRICK CLADA BS	81	GLAZED STEEL BALCONY RAILING
72	FLAT, DIAPHRAGM BRICK CLADA BT	82	GLAZED STEEL BALCONY RAILING
73	FLAT, DIAPHRAGM BRICK CLADA BU	83	GLAZED STEEL BALCONY RAILING
74	FLAT, DIAPHRAGM BRICK CLADA BV	84	GLAZED STEEL BALCONY RAILING
75	FLAT, DIAPHRAGM BRICK CLADA BW	85	GLAZED STEEL BALCONY RAILING
76	FLAT, DIAPHRAGM BRICK CLADA BX	86	GLAZED STEEL BALCONY RAILING
77	FLAT, DIAPHRAGM BRICK CLADA BY	87	GLAZED STEEL BALCONY RAILING
78	FLAT, DIAPHRAGM BRICK CLADA BZ	88	GLAZED STEEL BALCONY RAILING
79	FLAT, DIAPHRAGM BRICK CLADA CA	89	GLAZED STEEL BALCONY RAILING
80	FLAT, DIAPHRAGM BRICK CLADA CB	90	GLAZED STEEL BALCONY RAILING
81	FLAT, DIAPHRAGM BRICK CLADA CC	91	GLAZED STEEL BALCONY RAILING
82	FLAT, DIAPHRAGM BRICK CLADA CD	92	GLAZED STEEL BALCONY RAILING
83	FLAT, DIAPHRAGM BRICK CLADA CE	93	GLAZED STEEL BALCONY RAILING
84	FLAT, DIAPHRAGM BRICK CLADA CF	94	GLAZED STEEL BALCONY RAILING
85	FLAT, DIAPHRAGM BRICK CLADA CG	95	GLAZED STEEL BALCONY RAILING
86	FLAT, DIAPHRAGM BRICK CLADA CH	96	GLAZED STEEL BALCONY RAILING
87	FLAT, DIAPHRAGM BRICK CLADA CI	97	GLAZED STEEL BALCONY RAILING
88	FLAT, DIAPHRAGM BRICK CLADA CJ	98	GLAZED STEEL BALCONY RAILING
89	FLAT, DIAPHRAGM BRICK CLADA CK	99	GLAZED STEEL BALCONY RAILING
90	FLAT, DIAPHRAGM BRICK CLADA CL	100	GLAZED STEEL BALCONY RAILING

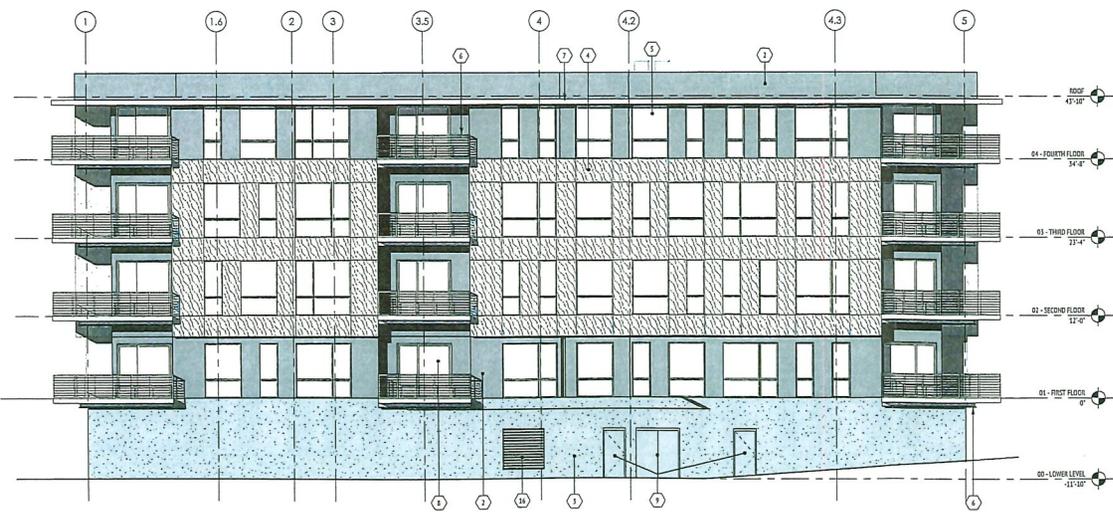


(A1) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

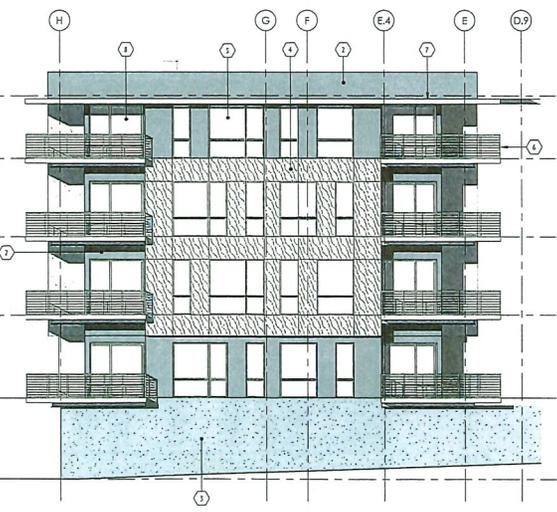


C3 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES	
1	FULL DIMENSIONAL BRICK, COLOR A
2	FIBER CEMENT BOARD PANEL, PAINT
3	PRECAST CONCRETE WALL
4	PREFINISHED COMPOSITE WOOD MATERIAL
5	VINYL WINDOWS
6	GLAZERIZED STEEL BALCONY AND RAILING
7	OVERHAND W/ MEMBRANE ROOFING, PREFINISHED METAL FASCIA AND SOFFIT
8	VINYL PATIO DOOR
9	THERMALLY BROKEN HH DOOR AND FRAME, PAINT
10	ALUM STOREFRONT
11	INSULATED HTL GARAGE DOOR
12	GALV. STEEL BOLLARDS, PAINT
13	EXIST. ADJ. BUILDING
14	GLASS BALCONY RAILING
15	STEEL COLUMN, PAINTED
16	METAL LOUVER, PAINTED
17	PREFAB. METAL PANEL W/ING WALL W/ HTL FASCIA
18	DECORATIVE ENTRY LIGHT FIXTURE
19	WING WALL CLAD W/ PREFAB. METAL PANELS AND FASCIA



A1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A4 NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

