

Date October 5, 2020

**RESOLUTION HOLDING HEARING ON REQUEST FROM 3801 GRAND ASSOCIATES LP (OWNER), FOR REVIEW AND APPROVAL OF PUD FINAL DEVELOPMENT SITE PLAN FOR “3801 GRAND AVENUE” FOR PROPERTY AT 3801 AND 3721 GRAND AVENUE**

**WHEREAS**, on September 14, 2020, by Roll Call No. 20-1443, the City Council received a communication from the City Plan and Zoning Commission advising that on August 20, 2020, they voted 12-0 to **APPROVE** a request from 3801 Grand Associates LP (owner), represented by Frank Levy (officer), to approve the PUD Final Development Site Plan for “3801 Grand Avenue” for property located at 3801 and 3721 Grand Avenue (“Property”) to allow development of a 4-story independent senior living apartment building in accordance with the 3801 Grand Avenue “PUD” Conceptual Plan requirements, subject to:

1. Compliance with all administrative review requirements; and
2. To review and approval of the finalized building design and materials by the City’s Planning Administrator; and

**WHEREAS**, the Property is legally described as follows:

THE EAST 50 FEET OF LOT 13; ALL OF LOTS 14, 15, 16; THE SOUTH 68.75 FEET OF LOT 17; THE SOUTH 434.00 FEET OF LOT 18; THE SOUTH 300 FEET OF LOT 19; ALL OF LOT 20; AND THE SOUTH 292 FEET OF LOT 22 ALL IN THE OFFICIAL PLAT OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 78 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

**NOW THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:

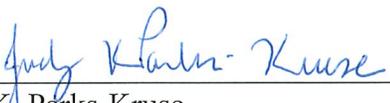
1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed PUD Final Development Plan “3801 Grand Avenue” are hereby overruled, and the hearing is closed.
2. The proposed PUD Final Development Plan “3801 Grand Avenue”, as on file in the Community Development Department, is hereby found to be in conformance with PlanDSM: Creating Our Tomorrow Plan and is hereby approved, subject to revision and conditions stated above.

 **Roll Call Number**

**Agenda Item Number**

Date October 5, 2020

MOVED BY \_\_\_\_\_ TO ADOPT.

FORM APPROVED:  (10-2020-7.126)  
Judy K. Parks-Kruse  
Assistant City Attorney

| COUNCIL ACTION | YEAS | NAYS | PASS | ABSENT |
|----------------|------|------|------|--------|
| COWNIE         |      |      |      |        |
| BOESEN         |      |      |      |        |
| GATTO          |      |      |      |        |
| GRAY           |      |      |      |        |
| MANDELBAUM     |      |      |      |        |
| VOSS           |      |      |      |        |
| WESTERGAARD    |      |      |      |        |
| TOTAL          |      |      |      |        |

MOTION CARRIED

APPROVED

\_\_\_\_\_  
Mayor

**CERTIFICATE**

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

\_\_\_\_\_  
City Clerk

Date October 5, 2020  
 Agenda Item 57  
 Roll Call # \_\_\_\_\_

September 8, 2020

Honorable Mayor and City Council  
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their August 20, 2020 meeting, the following action was taken regarding a request from 3801 Grand Associates LP (owner), represented by Frank Levy (officer), for review and approval of a "PUD" Final Development Site Plan "3801 Grand Avenue" for property located at 3801 and 3721 Grand Avenue, to allow development of a 4-story independent senior living apartment building in accordance with the 3801 Grand Avenue "PUD" Conceptual Plan requirements.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 12-0 as follows:

| Commission Action: | Yes | Nays | Pass | Absent |
|--------------------|-----|------|------|--------|
| Francis Boggus     | X   |      |      |        |
| Dory Briles        | X   |      |      |        |
| Abby Chungath      | X   |      |      |        |
| Kayla Berkson      | X   |      |      |        |
| Jann Freed         | X   |      |      |        |
| Johnny Alcivar     | X   |      |      |        |
| Lisa Howard        | X   |      |      |        |
| Carolyn Jenison    | X   |      |      |        |
| Greg Jones         |     |      |      | X      |
| William Page       |     |      |      | X      |
| Rocky Sposato      | X   |      |      |        |
| Steve Wallace      | X   |      |      |        |
| Greg Wattier       | X   |      |      |        |
| Emily Webb         | X   |      |      |        |

**APPROVAL** of the proposed "PUD" Final Development Site Plan, subject to the following conditions:

1. Compliance with all administrative review requirements.

2. Review and approval of the finalized building design and materials by the City's Planning Administrator.

(10-2020-7.126)

## **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Staff recommends approval of the proposed "PUD" Final Development Site Plan, subject to the following conditions:

1. Compliance with all administrative review requirements.
2. Review and approval of the finalized building design and materials by the City's Planning Administrator.

## **STAFF REPORT TO THE PLANNING COMMISSION**

### **I. GENERAL INFORMATION**

1. **Purpose of Request:** The applicant is proposing to construct a 4-story multiple-household building with 57 units that would connect to the existing senior housing development to the west. The boundary of the "PUD" also includes a commercial property with frontage along Ingersoll Avenue.
2. **Size of Site:** 174,828 square feet or 4.01 acres.
3. **Existing Zoning (site):** Legacy "PUD" Planned Unit Development District.
4. **Existing Land Use (site):** An independent senior living apartment building, an assisted living apartment building, and an office building.
5. **Adjacent Land Use and Zoning:**  
**North** – "MX2": Uses are commercial businesses along Ingersoll Avenue.  
**South** - "NX3" & P2": Uses are multiple-household residential and institutional.  
**East** - "NX3": Uses are multiple-household residential.  
**West** - "P2": Use is a church.
6. **General Neighborhood/Area Land Uses:** The site is located on the north side of Grand Avenue to the east of the 39<sup>th</sup> Street intersection. The Grand Avenue corridor contains a mix of multiple-household residential, institutional, and commercial uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is located in the North of Grand Neighborhood and within 250 feet of both the Greenwood Historic Neighborhood and the Salisbury Oaks Neighborhood. All neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on July 31, 2020 and by mailing of the Final Agenda on August 14, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on August 10, 2020 (10 days prior to the original public hearing) to the neighborhood association and to the

primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The North of Grand Neighborhood Association mailings were sent to Jason Norris, 647 34<sup>th</sup> Street, Des Moines, IA 50312. The Greenwood Historic Neighborhood Association mailings were sent to Nicholas Larson, 127 34<sup>th</sup> Street, Des Moines, IA 50312. The Salisbury Oaks Neighborhood Association mailings were sent to Jenn Kirke, 409 43rd Street, Des Moines, IA 50312.

8. **Relevant Zoning History:** On March 9, 2020, the City Council rezoned the subject property to “PUD” District and conditionally approved the 3801 Grand Avenue “PUD” Conceptual Plan by Roll Call Number 20-0473 and Ordinance Number 15,873. The Plan and Zoning Commission considered this request on February 6, 2020.
9. **PlanDSM Future Land Use Plan Designation:** High Density Residential and Community Mixed Use located in a Community Node.
10. **Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

## II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City’s Stormwater Management requirements to the satisfaction of the City’s Permit and Development Center. Groundwater recharge pits would be constructed below the access drives to the north and south of the new building.
2. **Access & Parking:** The site is located on the north side of Grand Avenue. The Development Plan includes a driveway at the east end of the site and an access drive that connects to a driveway that would be shared with the building to the west. A total of 74 parking spaces would be added with the construction of the new building with 69 of the spaces being located within the basement of the building.
3. **Urban Design:** The applicant is proposing to construct a 4-story multiple-household building with 57 dwelling units. The units would complement the existing senior housing development to the west, which are also located in the “PUD” District. The new building would be contemporary in style with a mix of masonry, metal, prefinished wood, and fiber cement board panel siding. Units on all sides of the building would have balconies. The stack of balconies near the front entrance would have glass railing. The remaining balconies would consist of galvanized steel construction.

The design of the building generally matches the design that was presented with the “PUD” Conceptual Plan. However, the applicant has decreased the amount of metal siding on the front façade and eliminated the accent brick siding in the interior courtyard area. Staff has asked the applicant to look at alternatives that would better

reflect the level of material quality expressed by the original design. The applicant team is currently exploring alternatives. Staff recommends approval subject to the review of the finalized building design and materials by the Planning Administrator. This will allow Staff to continue to work with the applicant in considering alternatives.

## **SUMMARY OF DISCUSSION**

Jann Freed asked if any member of the public or the commission desired to speak on the item. None requested to speak.

## **COMMISSION ACTION:**

Emily Webb made a motion for approval of the proposed "PUD" Final Development Site Plan, subject to the following conditions:

1. Compliance with all administrative review requirements.
2. Review and approval of the finalized building design and materials by the City's Planning Administrator.

Motion passed: 12-0

Respectfully submitted,



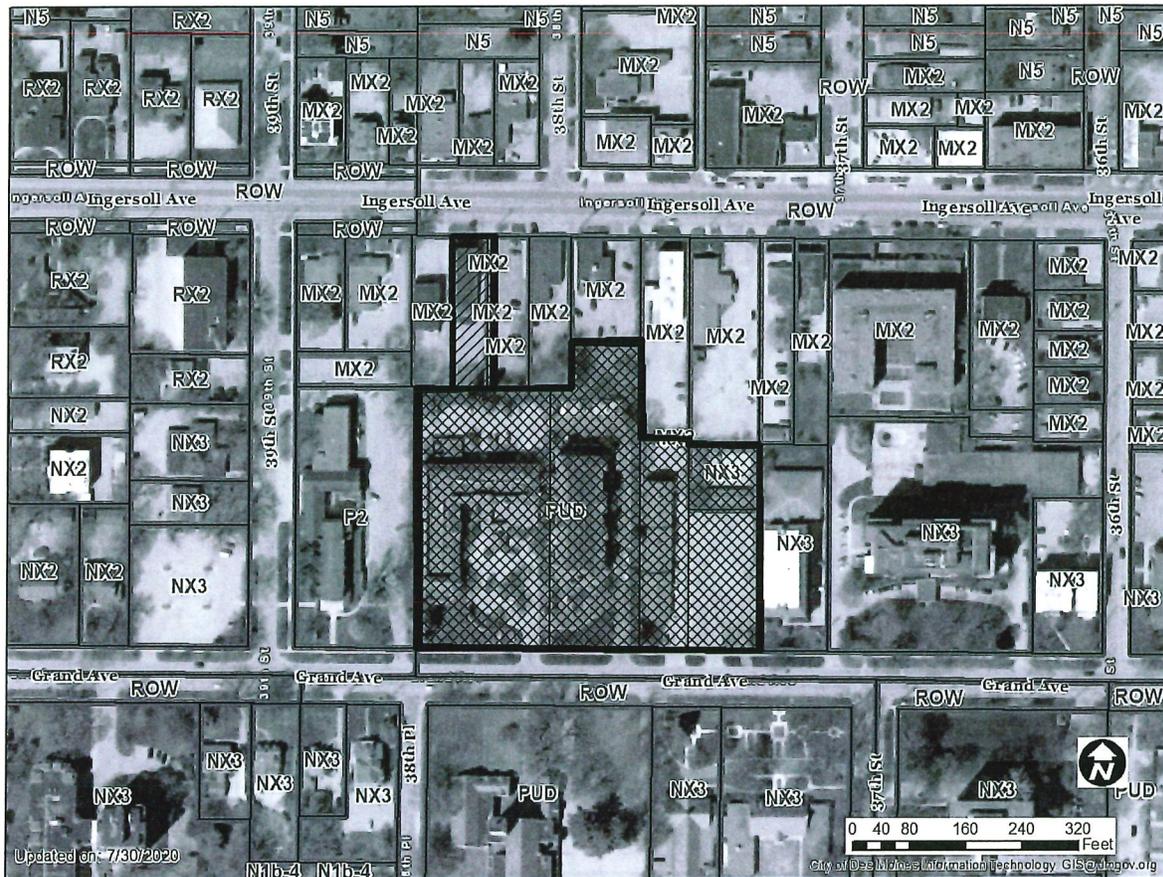
Michael Ludwig, AICP  
Planning Administrator

MGL:tjh

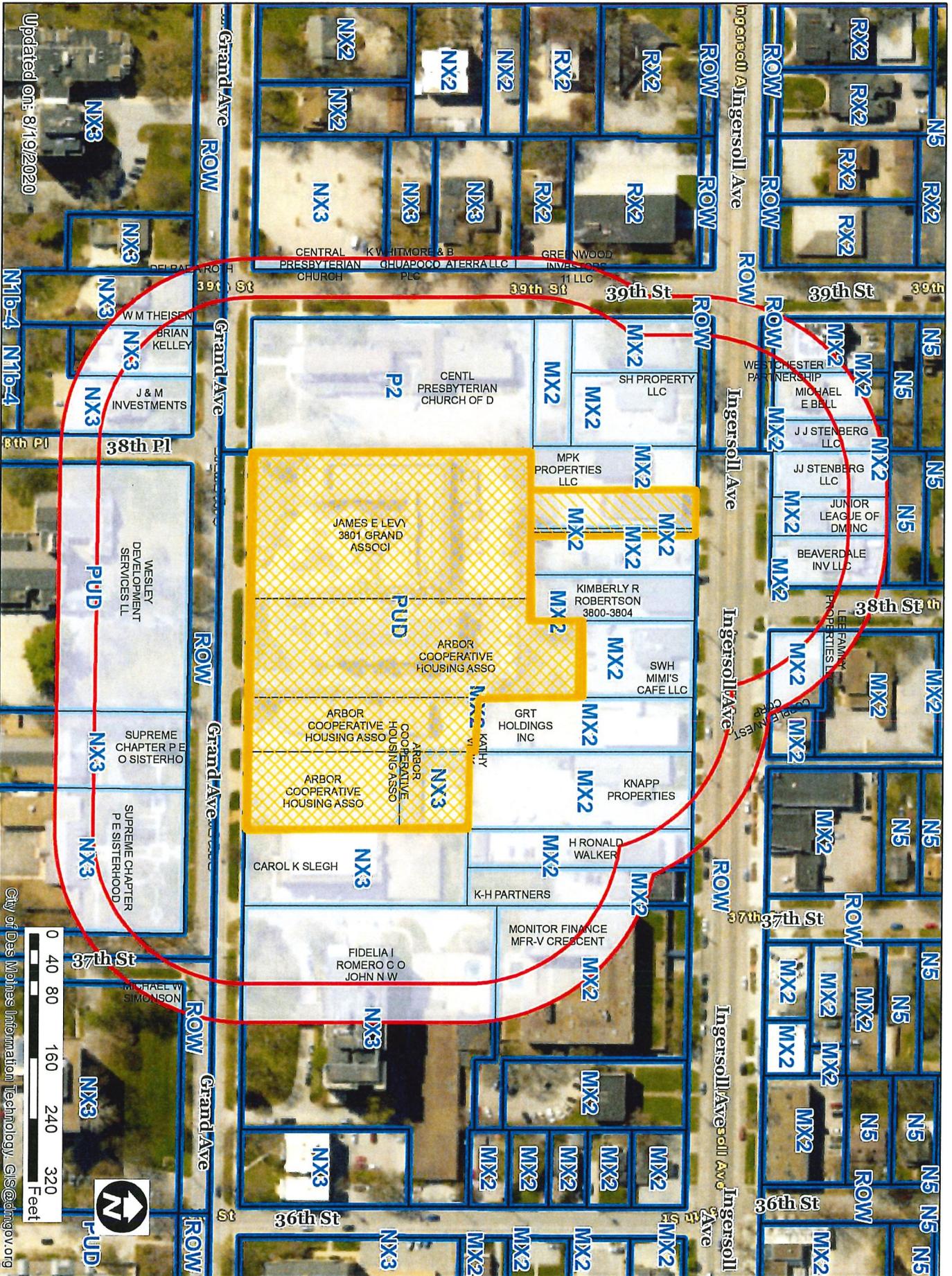
|  |  |              |                                       |                         |   |
|--|--|--------------|---------------------------------------|-------------------------|---|
| Request from 3801 Grand Associates LP (owner), represented by Frank Levy (officer) for property located at 3801 and 3721 Grand Avenue. |  |              |                                       | File #<br>10-2020-7.126 |   |
| Description of Action  | Review and approval of a "PUD" Final Development Site Plan "3801 Grand Avenue" for property located at 3801 and 3721 Grand Avenue, to allow development of a 4-story independent senior living apartment building in accordance with the 3801 Grand Avenue "PUD" Conceptual Plan requirements. |              |                                       |                         |   |
| PlanDSM Future Land Use  | Current: High Density Residential.<br>Proposed: N/A.   |              |                                       |                         |   |
| Mobilizing Tomorrow Transportation Plan  | No planned improvements.   |              |                                       |                         |   |
| Current Zoning District  | 3801 Grand Avenue Legacy "PUD" Planned Unit Development.   |              |                                       |                         |   |
| Proposed Zoning District   | N/A.   |              |                                       |                         |   |
| Consent Card Responses   | In Favor   | Not In Favor | Undetermined                          | % Opposition            |   |
| Outside Area (200 feet)  | 0  | 0            |                                       |                         |   |
| Within Subject Property  |  |              |                                       |                         |   |
| Plan and Zoning Commission Action  | Approval   | X            | Required 6/7 Vote of the City Council | Yes                     |   |
|  | Denial   |              |                                       | No                      | X |

3801 Grand Associates LP, 3801 and 3721 Grand Avenue

10-2020-7.126



1 inch = 165 feet



City of Des Moines Information Technology. GIS@dm.gov

1 inch = 165 feet

57

**NOTE:**

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THESE PLANS MAY BE PRESENT.

**OWNER/DEVELOPER:**  
FRANK LEVY  
3601 GRAND ASSOCIATES LP  
3408 WOODLAND AVE STE 305  
WEST DES MOINES, IA 52266

**SITE ADDRESS:**  
3721 GRAND AVE  
3717 GRAND AVE

**UTILITIES OWNERSHIP:**  
STORM SEWERS CITY OF DES MOINES  
SANITARY SEWERS CITY OF DES MOINES  
WATER DES MOINES WATER WORKS  
NATURAL GAS MIDAMERICAN ENERGY  
ELECTRIC CENTURY LINK

**CONSTRUCTION SCHEDULE:**

| ITEM                    | ESTIMATE | COMPLETED |
|-------------------------|----------|-----------|
| IDEA                    | 02/20    | 05/22     |
| GRADING/EROSION CONTROL | 08/20    | 09/22     |
| BUILDING CONSTRUCTION   | 08/20    | 09/22     |
| PAVING                  | 08/20    | 09/22     |
| LANDSCAPING             | 05/21    | 12/22     |

**INDEX OF SHEETS**

- 1 - PROJECT MAP
- 2 - GEOMETRIC PLAN
- 3 - GRADING PLAN 1
- 4 - GRADING PLAN 2
- 5 - GRADING PLAN 3
- 6 - STORMWATER FACILITY MANAGEMENT PLAN
- 7 - UTILITY PLAN
- 8 - SMOULDER PLAN
- 9 - LANDSCAPE PLAN
- 10 - DETAILS

**SETBACKS:**

FY = 44'  
SY = 10'  
RY = 30'

**OPEN SPACE:**

REQUIRED 15% = 28,224 SF  
PROVIDED = 35,873 SF = 32%

**IMPERVIOUS SURFACE:**

SITE AREA = 174,828 SF  
EXISTING IMPERVIOUS AREA = 112,770 SF  
PROPOSED IMPERVIOUS AREA = 118,063 SF  
PROPOSED BUILDING FOOTPRINT = 25,400 SF  
PAVEMENT & SIDEWALK = 60,300 SF  
NEW PAVEMENT = 22,653 SF

**USE**

MULTI-RESIDENTIAL

**ZONING:**

MUD

**PARKING**

REQUIRED:  
MINORITY CARE: 0/AJNT  
PLUS 0.5/STAFF ON SHIFT  
ASSISTED LIVING: 0.5/AJNT  
INDEPENDENT LIVING: 1/AJNT  
PROVIDED:  
3721 GRAND AVE  
- 33 SURFACE STALLS (INCLUDING 2 H.C.)  
- 25 GARAGE STALLS  
3717 GRAND AVE  
- 3 SURFACE STALLS (INCLUDING 1 H.C.)  
- 69 GARAGE STALLS  
TOTAL = 158 STALLS  
(64 SURFACE/94 GARAGE)

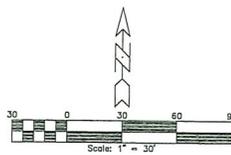
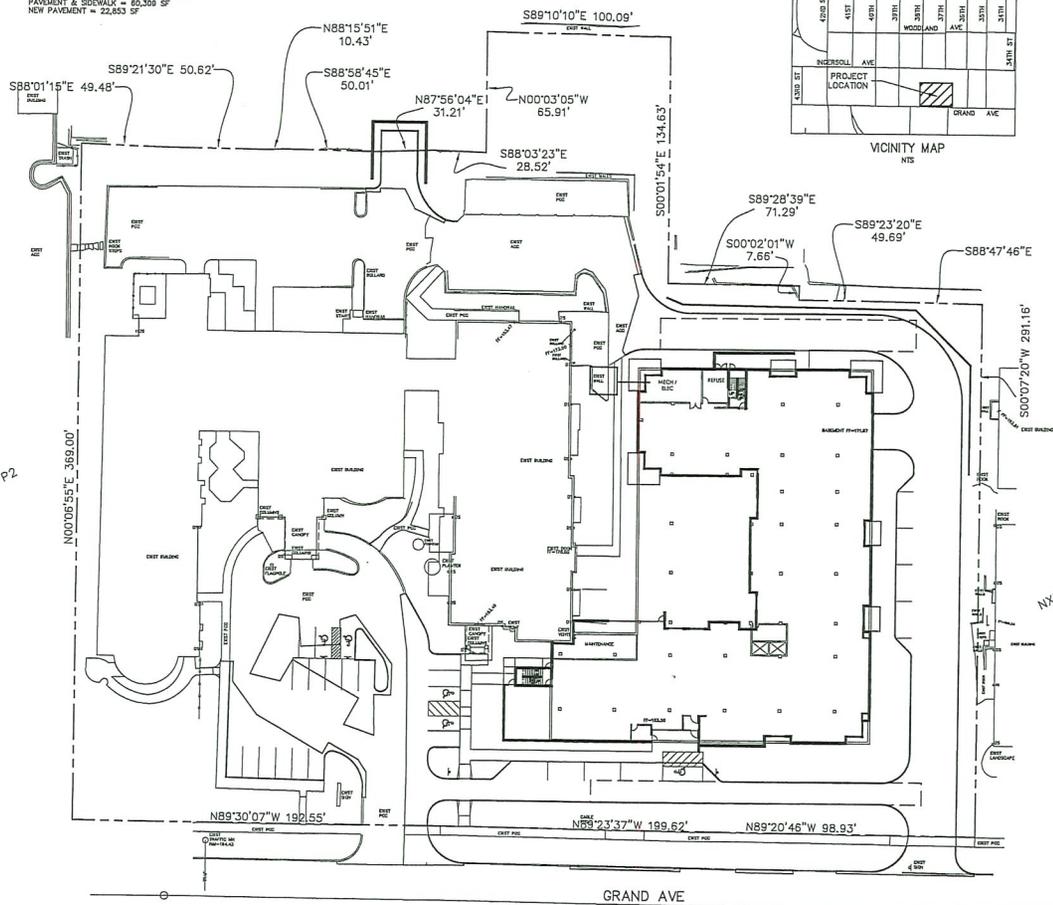
**CITY DES MOINES BENCHMARK:**  
BENCHMARK ID # 1979  
NW CORNER  
ELEVATION = 178.447

**LEGAL DESCRIPTION:**

All of Lots 14, 15, 16; the South 68.75 feet of Lot 17; the South 434.00 feet of Lot 18; the South 300 feet of Lot 19; all of Lot 20; and the South 292 feet of Lot 22 all in the Official Plat of the Southeast Quarter of the Southeast Quarter of Section 6, Township 78 North, Range 24 West of the 6th P.M., now included in and forming a part of the City of Des Moines, Polk County, Iowa. Containing 4.01 AC, 174,828 SF

**GENERAL NOTES:**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
2. ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
3. ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
5. THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CITY PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS.
7. WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUTS AND APPURTENANCES REQUIRED BY CODES.
8. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING & GRUBBING THE SITE, AND REMOVAL & DISPOSAL OF ANY DEBRIS AND EXCESS MATERIALS FROM THE SITE.
9. ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK INCLUDING SIDEWALK AND DRIVEWAY APPROVAL.
11. THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY.
12. CONTACT TRAFFIC AND TRANSPORTATION (283-4973), PRIOR TO INITIATING CONSTRUCTION.
13. A SIDEWALK AND DRIVEWAY APPROACH PERMIT WILL BE REQUIRED OF THE DEVELOPER OR CONTRACTOR.
14. BEFORE TRAFFIC SIGNS ARE IMPACTED, CONTACT CITY TRAFFIC AND TRANSPORTATION (283-4973).
15. ALL WORK IN CITY ROW SHALL BE DONE IN ACCORDANCE WITH CURRENT EDITION OF SUDAS AND THE CITY OF DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUDAS.
16. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT. PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO UPC. IN ADDITION, PRIVATE "MAIN" SEWER MUST MEET UPC, DEVELOPER / CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL, REQUIREMENTS PRIOR TO CONSTRUCTION.
17. ANY GROUND-MOUNTED OR WALL MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
18. ANY WALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
19. ALL UTILITY SERVICES TO BUILDING SHALL BE UNDERGROUND UNLESS OTHERWISE ALLOWED PER SITE PLAN.
20. SIGNAGE SHALL BE MONUMENT OR DIRECTORY BUT IN NO CASE SHALL BE POLE SIGNAGE.
21. ANY NEW ROOF TOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
22. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SIGN ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS.
23. LIGHTING MUST BE LOW GLARE CUT-OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
24. THE SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
25. ANY AMENDMENTS OR CHANGES TO THIS PROJECT SITE PLAN THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION / COMPLETION.
26. PARKING LOT LIGHTING SHALL BE PEDESTRIAN IN SCALE HAVING POLES NO TALLER THAN 20 FEET WITH CUT-OFF DOWN-DIRECTIONAL LIGHT FIXTURES.



**SITE PLAN**  
 APPROVED  APPROVED WITH CONDITION  
see exhibit A attached hereto.  
IN ACCORDANCE WITH SECTION 135-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.  
NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.  
DATE \_\_\_\_\_ PLANNING DIRECTOR



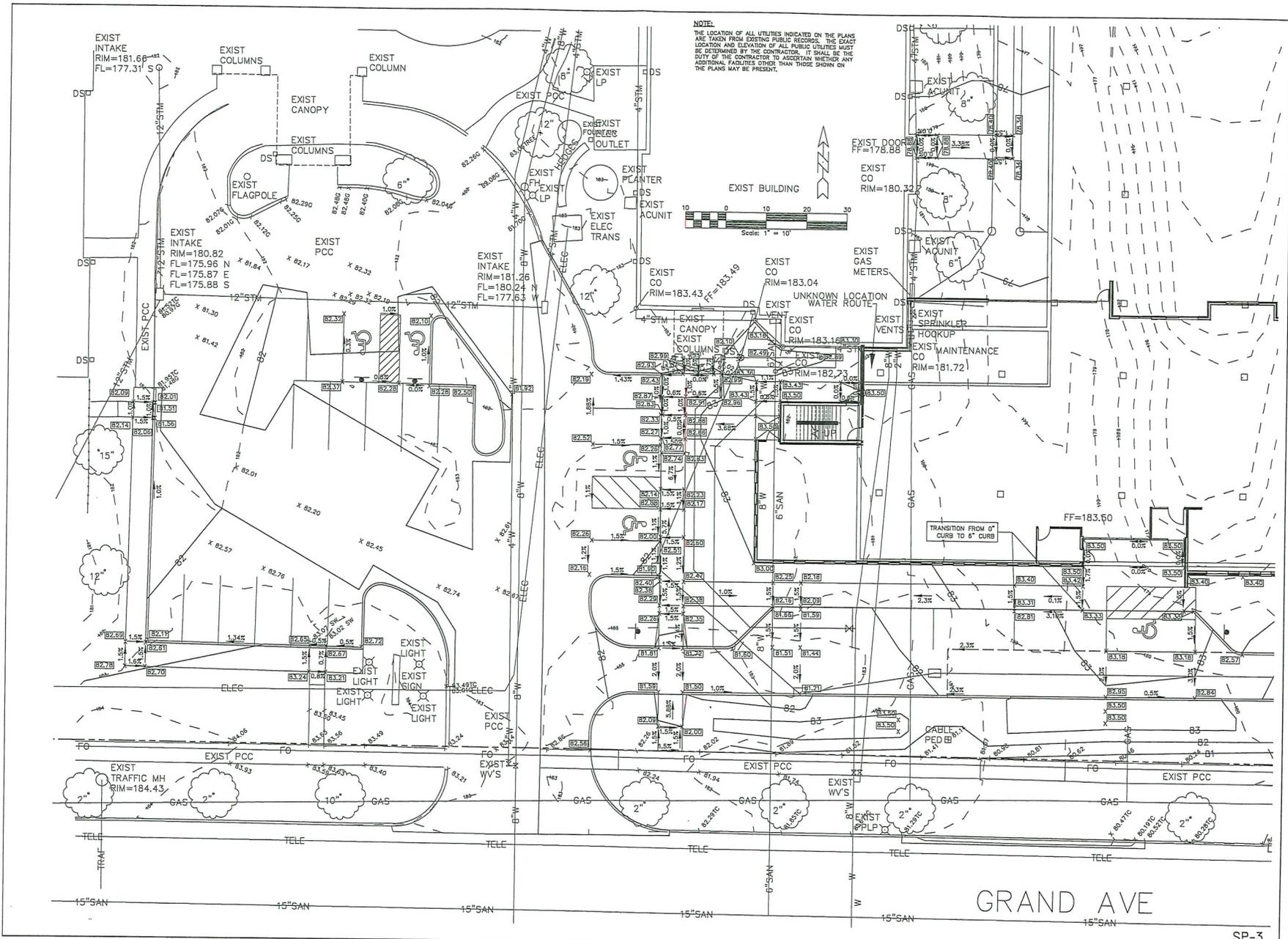
**ENGINEERING CERTIFICATION**  
I HEREBY CERTIFY THAT THE ENGINEERING SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.  
DOUGLAS A. SALZGABER P.E. #11933 DATE \_\_\_\_\_  
BY: \_\_\_\_\_  
PAID OR SHEETS COVERED BY THIS SEAL

**3721 GRAND EXPANSION - PROJECT MAP**

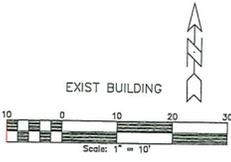
|     |          |      |    |     |          |
|-----|----------|------|----|-----|----------|
| NO. | REVISION | DATE | BY | FOR | LOCATION |
|     |          |      |    |     |          |

Engineering Resources Group, Inc.  
1000 W. University Blvd.  
Des Moines, IA 50319  
515-281-4823





NOTE:  
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GRAND AVE

SP-3

3721 GRAND EXPANSION- GRADING PLAN I

|     |          |      |    |     |           |        |              |                  |
|-----|----------|------|----|-----|-----------|--------|--------------|------------------|
| NO. | REVISION | DATE | BY | FOR | LOCATION: | SCALE: | DESIGNED BY: | DRAWN BY:        |
|     |          |      |    |     |           | 1"=10' | DJS          | BRK              |
|     |          |      |    |     |           |        | DJS          | DJS              |
|     |          |      |    |     |           |        | 3            | 10               |
|     |          |      |    |     |           |        | 05/17/2020   | 05/17/2020       |
|     |          |      |    |     |           |        | FIELD BOOK   | FILE NO.: 19-104 |

**FIRG**  
 Engineering Resources Group, Inc.  
 5150 Grand Ave  
 Des Moines, Iowa 50312  
 (515) 281-4883



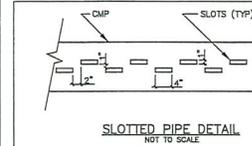
# 3721 GRAND AVENUE - STORMWATER FACILITY MANAGEMENT PLAN

Engineering Resource Group, Inc.  
 2843 GRAND AVENUE  
 MISSOURI SPRING, MO 65705  
 (417) 261-4615

SCALE: AS NOTED  
 DATE: 06/21/2020  
 DRAWN BY: BGH  
 CHECKED BY: DJS  
 DESIGNED BY: DJS  
 FIELD BOOK: SHEET 6 OF 10 FILE NO.: 19-104

| BASIN NAME | BOTTOM ELEV. | TOP ELEV. | EMERGENCY OUTFLOW ELEV. | WQV (40') | 100 YR VOL. | WQV (100') | 100 YEAR SURFACE ELEV. |
|------------|--------------|-----------|-------------------------|-----------|-------------|------------|------------------------|
| NORTH      | 59.50        | 68.50     | 63.30                   | 2,568     | 6,315       | 62.30      | 68.38                  |
| SOUTH      | 48.0         | 55.0      | 75.81                   | 2,431     | 5,874       | 71.81      | 75.81                  |

- NOTE:**  
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- STORM SEWERS:**
1. ALL TRENCHES SHALL BE COMPACTED TO SIX STANDARD PROCTOR
  2. ALL WORK SHALL BE PER PLUMBING PERMIT UNLESS OTHERWISE NOTED.



**CITY CODE SECTION 106-136(h). STORMWATER FACILITY MAINTENANCE REQUIREMENTS**

a. The Stormwater Management Facilities, including pipes, inlets and outlets, shall be annually inspected and maintained in substantial compliance with the approved Stormwater Management Plan.

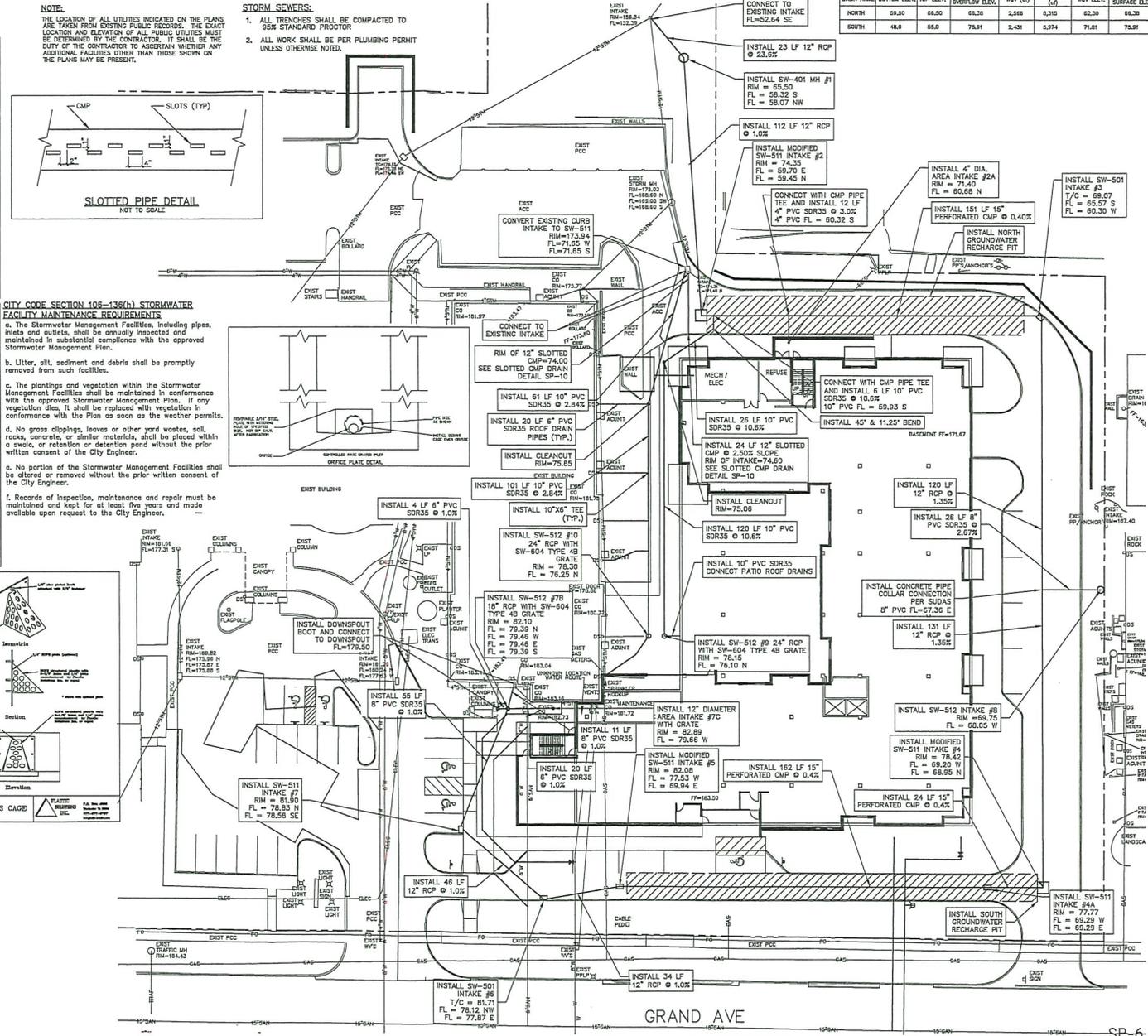
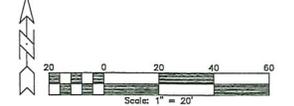
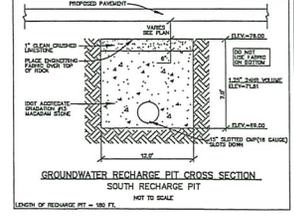
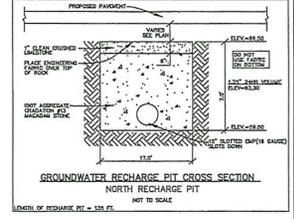
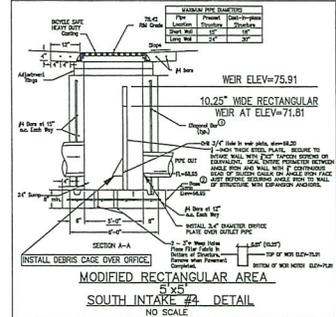
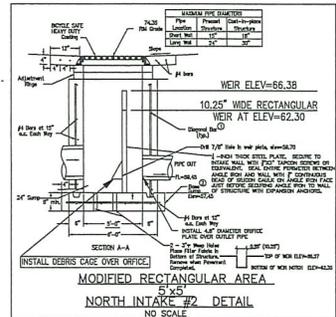
b. Litter, silt, sediment and debris shall be promptly removed from such facilities.

c. The plantings and vegetation within the Stormwater Management Facilities shall be maintained in conformance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the weather permits.

d. No grass clippings, leaves or other yard wastes, soil, rocks, concrete, or similar materials, shall be placed within a swale, or retention or detention pond without the prior written consent of the City Engineer.

e. No portion of the Stormwater Management Facilities shall be altered or removed without the prior written consent of the City Engineer.

f. Records of inspection, maintenance and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.



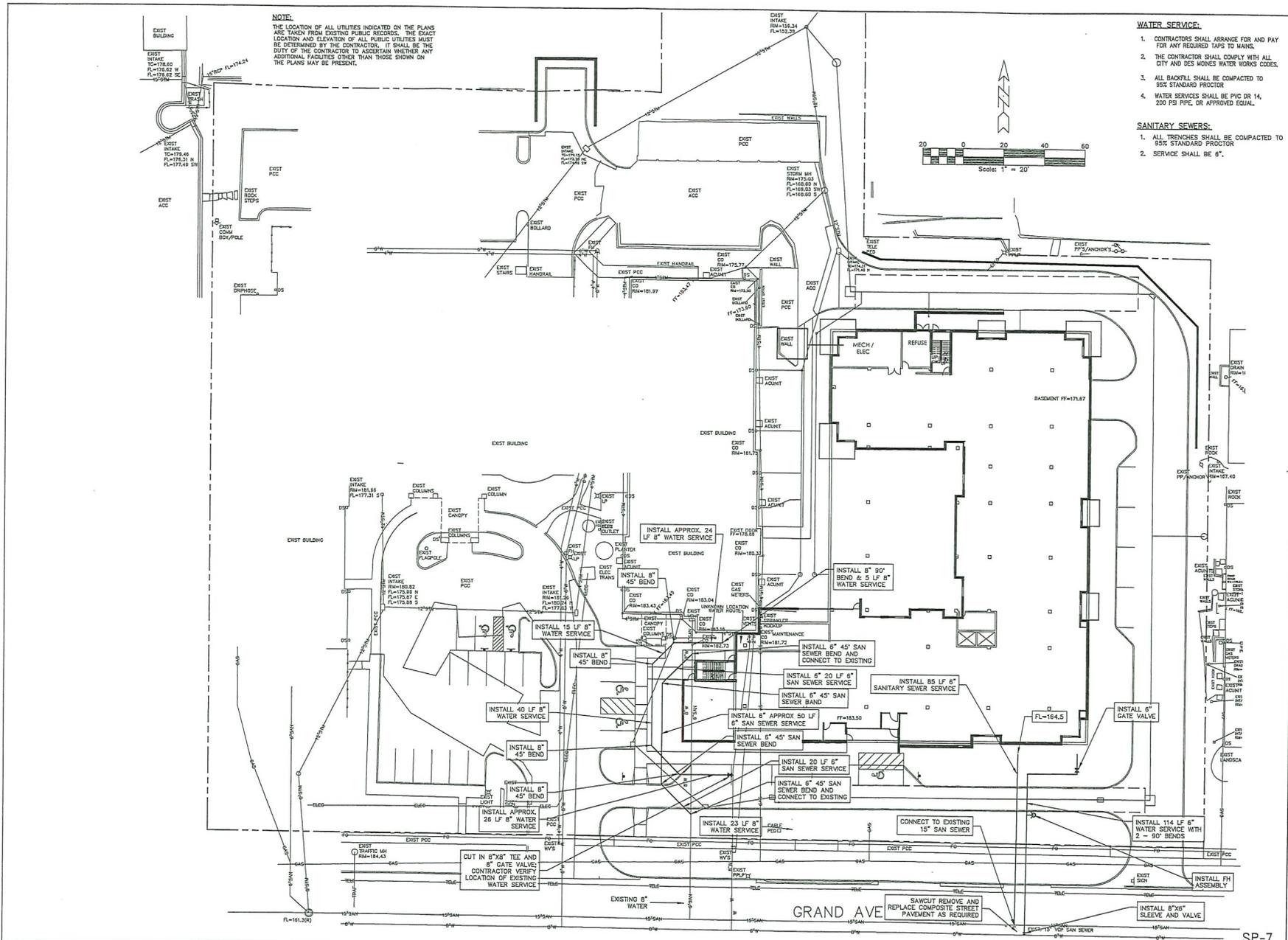
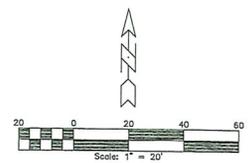
GRAND AVE





**NOTE:**  
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

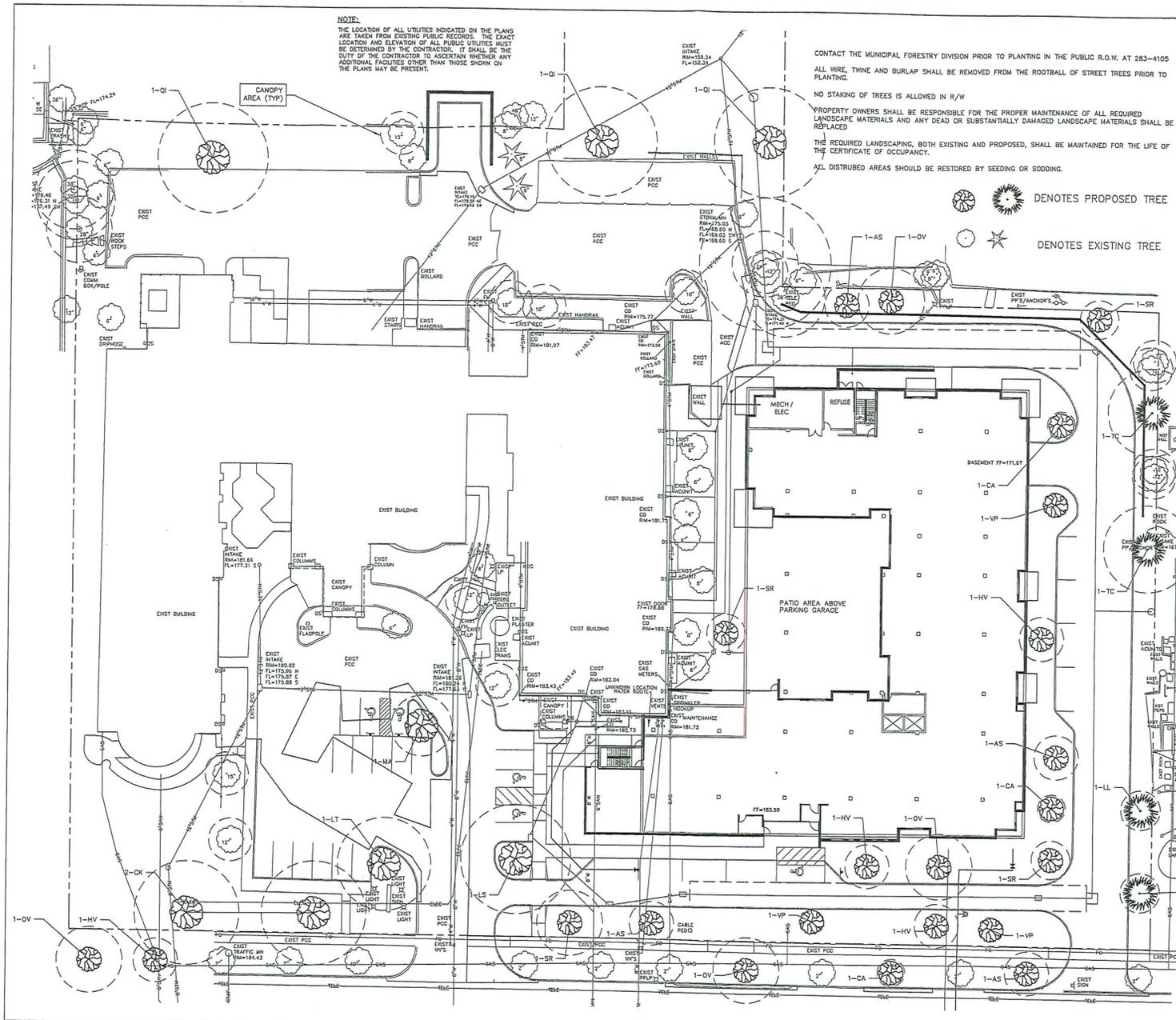
- WATER SERVICE:**
1. CONTRACTORS SHALL ARRANGE FOR AND PAY FOR ANY REQUIRED TAPS TO MAINS.
  2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY AND DES MONES WATER WORKS CODES.
  3. ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR
  4. WATER SERVICES SHALL BE PVC OR 14, 200 PSI PPVC OR APPROVED EQUAL.
- SANITARY SEWERS:**
1. ALL TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR
  2. SERVICE SHALL BE 6".



**3721 GRAND EXPANSION- UTILITY PLAN**

|              |                      |                |           |
|--------------|----------------------|----------------|-----------|
| DESIGNED BY: | DATE:                | BY:            | REVISION: |
| CHECKED BY:  | DATE:                | DATE:          | DATE:     |
| DRAWN BY:    | DATE:                | DATE:          | DATE:     |
| SCALE:       | LOCATION:            | FIELD BOOK:    |           |
| 1/4" = 1'-0" | 3721 GRAND EXPANSION | 19-104-UTL.dwg |           |
|              |                      | SHEET 7 OF 10  |           |

**ERG**  
 Engineering & Construction Group, Inc.  
 2413 GRAND AVENUE  
 DES MOINES, IA 50312  
 (515) 281-4233



**NOTE:**

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

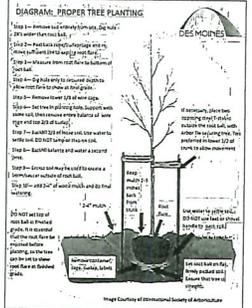
CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4105  
 ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.  
 NO STAKING OF TREES IS ALLOWED IN R/W  
 PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL REQUIRED LANDSCAPE MATERIALS AND ANY DEAD OR SUBSTANTIALLY DAMAGED LANDSCAPE MATERIALS SHALL BE REPLACED  
 THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.  
 ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.

**LANDSCAPING CALCULATIONS**  
 SITE AREA = 174,828 SF  
 REQUIRED 15% CANOPY = 26,224  
 1 SHADE TREE = 1000 SF CANOPY  
 1 ORNAMENTAL TREE = 700 SF CANOPY  
 1 EVERGREEN TREE = 300 SF CANOPY  
 8 SHADE TREES = 7,398 SF\*  
 22 ORNAMENTAL TREES = 13,720 SF\*  
 4 EVERGREEN TREES = 912 SF\*  
 EXISTING TREES CANOPY = 4,810 SF\*  
 \*OVERLAPPING CANOPY & BLOCKED CANOPY AREA REMOVED  
 TOTAL CANOPY PROVIDED = 26,538 SF

☉ DENOTES PROPOSED TREE  
 ☉ DENOTES EXISTING TREE

I HEREBY CERTIFY THAT THE PLANTING PORTION OF THIS TECHNICAL SUBMISSION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A CERTIFIED NURSERY PROFESSIONAL UNDER THE LAWS OF THE STATE OF IOWA.  
 SHEETS COVERED: THIS SHEET ONLY  
 SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

DEBRA L. REGENITTER



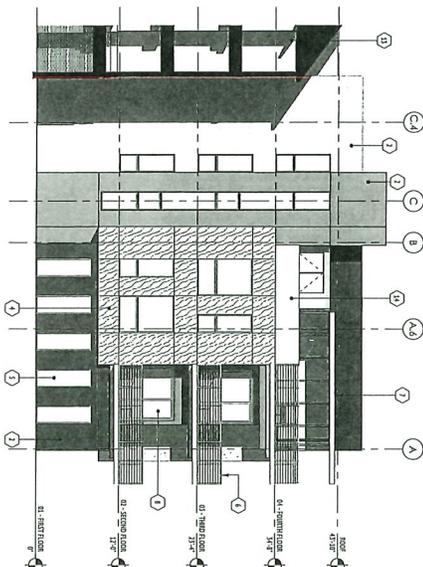
**PLANT SCHEDULE:**

| Code | Common Name         | Botanical Name                   | Quantity | Min. Planting Size |
|------|---------------------|----------------------------------|----------|--------------------|
| LD   | Deciduous           | Liquidambar styraciflua          | 1        | 1.5" cal. B&B      |
| MA   | Deciduous Tree      | Magnolia acuminata               | 1        | 1.5" cal. B&B      |
| LT   | Tulip Tree          | Liriodendron tulipifera          | 1        | 1.5" cal. B&B      |
| Q    | Quercus             | Quercus bicolor                  | 3        | 1.5" cal. B&B      |
| OK   | Yellowwood          | Cladonia Laniata                 | 2        | 1.5" cal. B&B      |
| VP   | Shade Tree          | Viburnum prunifolium (Tree Form) | 3        | 1.5" cal. B&B      |
| CA   | Plum                | Prunus americana                 | 3        | 1.5" cal. B&B      |
| OV   | Deciduous           | Quercus virginiana               | 4        | 1.5" cal. B&B      |
| SR   | Japanese Tree Lilac | Sorbus araliifolia               | 4        | 1.5" cal. B&B      |
| AS   | Spirea              | Spiraea alba                     | 4        | 1.5" cal. B&B      |
| HW   | Witch Hazel         | Hamamelis virginiana (Tree Form) | 4        | 1.5" cal. B&B      |
| LL   | American Larch      | Larix laricina                   | 2        | 1.5" cal. B&B      |
| TC   | Eastern Hemlock     | Tsuga canadensis                 | 2        | 1.5" cal. B&B      |

**3721 GRAND EXPANSION - LANDSCAPE PLAN**

SCALE: 1" = 20'  
 DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_

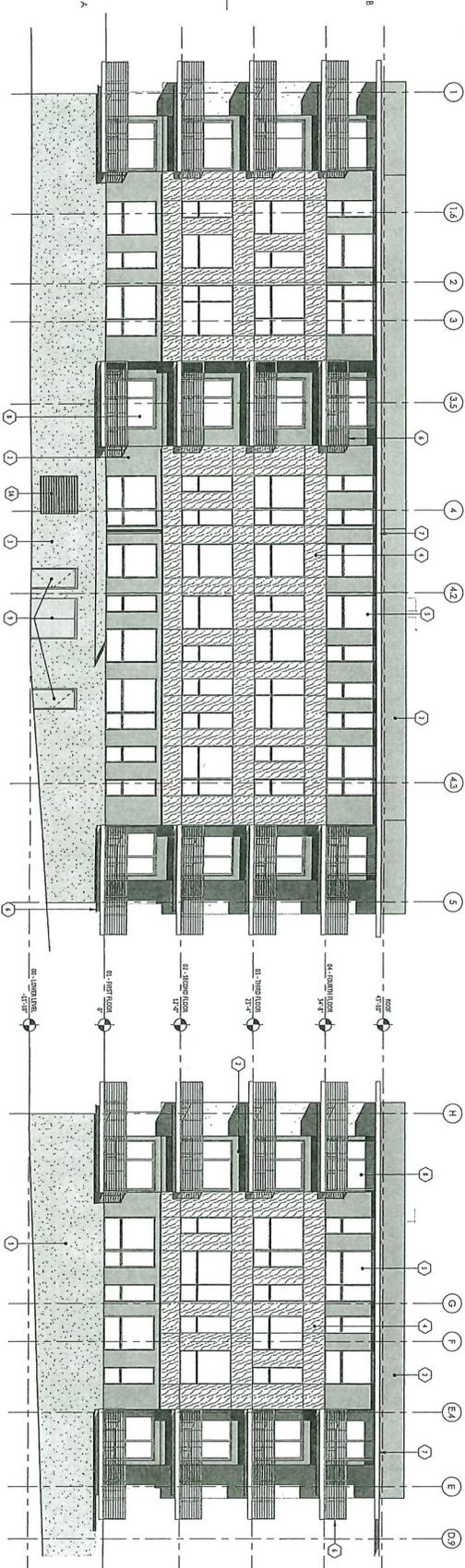
FRG  
 Engineers and Surveyors  
 2813 GRAND AVENUE  
 DES MOINES, IOWA 50319  
 (515) 281-4823



**C3** SOUTH WEST ELEVATION  
SCALE: 1/8" = 1'-0"

**EXTERIOR ELEVATION KEYNOTES**

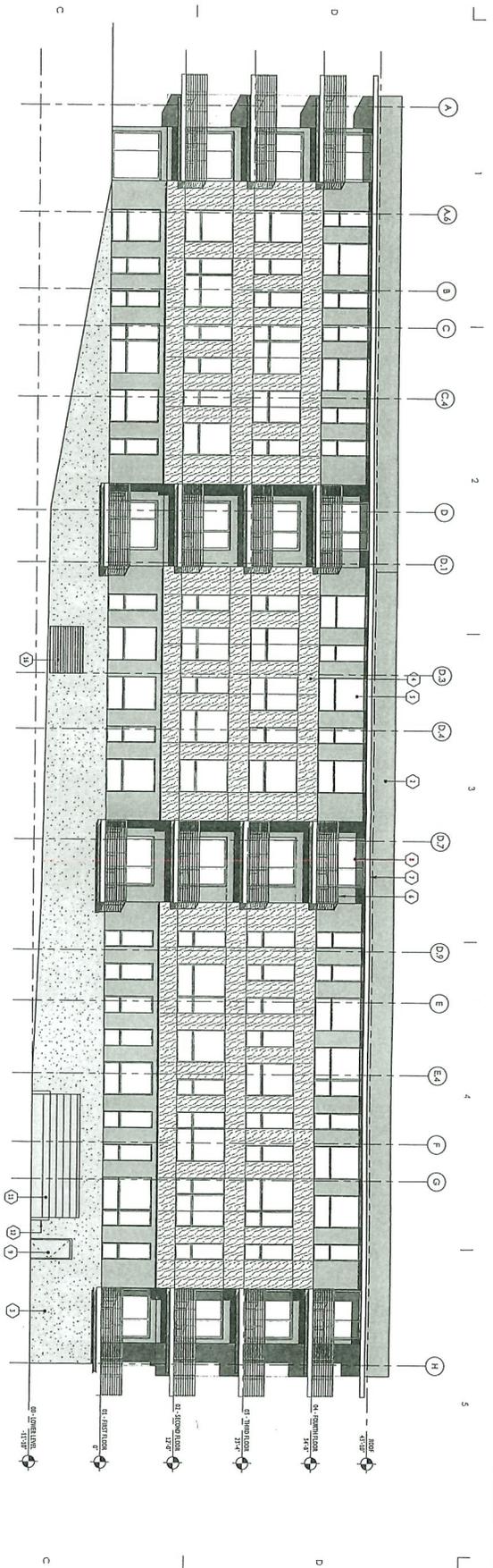
|    |                                     |     |                                     |
|----|-------------------------------------|-----|-------------------------------------|
| 1  | PERFORATED BRICK CORNER             | 10  | INSTALLATION OF CLADDING            |
| 2  | BRICK CORNER FINISH, 1/2" AIR SPACE | 11  | BRICK CORNER FINISH, 1/2" AIR SPACE |
| 3  | PERFORATED BRICK CORNER             | 12  | PERFORATED BRICK CORNER             |
| 4  | PERFORATED BRICK CORNER             | 13  | PERFORATED BRICK CORNER             |
| 5  | PERFORATED BRICK CORNER             | 14  | PERFORATED BRICK CORNER             |
| 6  | PERFORATED BRICK CORNER             | 15  | PERFORATED BRICK CORNER             |
| 7  | PERFORATED BRICK CORNER             | 16  | PERFORATED BRICK CORNER             |
| 8  | PERFORATED BRICK CORNER             | 17  | PERFORATED BRICK CORNER             |
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| 10 | PERFORATED BRICK CORNER             | 19  | PERFORATED BRICK CORNER             |
| 11 | PERFORATED BRICK CORNER             | 20  | PERFORATED BRICK CORNER             |
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| 15 | PERFORATED BRICK CORNER             | 24  | PERFORATED BRICK CORNER             |
| 16 | PERFORATED BRICK CORNER             | 25  | PERFORATED BRICK CORNER             |
| 17 | PERFORATED BRICK CORNER             | 26  | PERFORATED BRICK CORNER             |
| 18 | PERFORATED BRICK CORNER             | 27  | PERFORATED BRICK CORNER             |
| 19 | PERFORATED BRICK CORNER             | 28  | PERFORATED BRICK CORNER             |
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| 33 | PERFORATED BRICK CORNER             | 42  | PERFORATED BRICK CORNER             |
| 34 | PERFORATED BRICK CORNER             | 43  | PERFORATED BRICK CORNER             |
| 35 | PERFORATED BRICK CORNER             | 44  | PERFORATED BRICK CORNER             |
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| 51 | PERFORATED BRICK CORNER             | 60  | PERFORATED BRICK CORNER             |
| 52 | PERFORATED BRICK CORNER             | 61  | PERFORATED BRICK CORNER             |
| 53 | PERFORATED BRICK CORNER             | 62  | PERFORATED BRICK CORNER             |
| 54 | PERFORATED BRICK CORNER             | 63  | PERFORATED BRICK CORNER             |
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| 59 | PERFORATED BRICK CORNER             | 68  | PERFORATED BRICK CORNER             |
| 60 | PERFORATED BRICK CORNER             | 69  | PERFORATED BRICK CORNER             |
| 61 | PERFORATED BRICK CORNER             | 70  | PERFORATED BRICK CORNER             |
| 62 | PERFORATED BRICK CORNER             | 71  | PERFORATED BRICK CORNER             |
| 63 | PERFORATED BRICK CORNER             | 72  | PERFORATED BRICK CORNER             |
| 64 | PERFORATED BRICK CORNER             | 73  | PERFORATED BRICK CORNER             |
| 65 | PERFORATED BRICK CORNER             | 74  | PERFORATED BRICK CORNER             |
| 66 | PERFORATED BRICK CORNER             | 75  | PERFORATED BRICK CORNER             |
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| 72 | PERFORATED BRICK CORNER             | 81  | PERFORATED BRICK CORNER             |
| 73 | PERFORATED BRICK CORNER             | 82  | PERFORATED BRICK CORNER             |
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| 80 | PERFORATED BRICK CORNER             | 89  | PERFORATED BRICK CORNER             |
| 81 | PERFORATED BRICK CORNER             | 90  | PERFORATED BRICK CORNER             |
| 82 | PERFORATED BRICK CORNER             | 91  | PERFORATED BRICK CORNER             |
| 83 | PERFORATED BRICK CORNER             | 92  | PERFORATED BRICK CORNER             |
| 84 | PERFORATED BRICK CORNER             | 93  | PERFORATED BRICK CORNER             |
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| 86 | PERFORATED BRICK CORNER             | 95  | PERFORATED BRICK CORNER             |
| 87 | PERFORATED BRICK CORNER             | 96  | PERFORATED BRICK CORNER             |
| 88 | PERFORATED BRICK CORNER             | 97  | PERFORATED BRICK CORNER             |
| 89 | PERFORATED BRICK CORNER             | 98  | PERFORATED BRICK CORNER             |
| 90 | PERFORATED BRICK CORNER             | 99  | PERFORATED BRICK CORNER             |
| 91 | PERFORATED BRICK CORNER             | 100 | PERFORATED BRICK CORNER             |



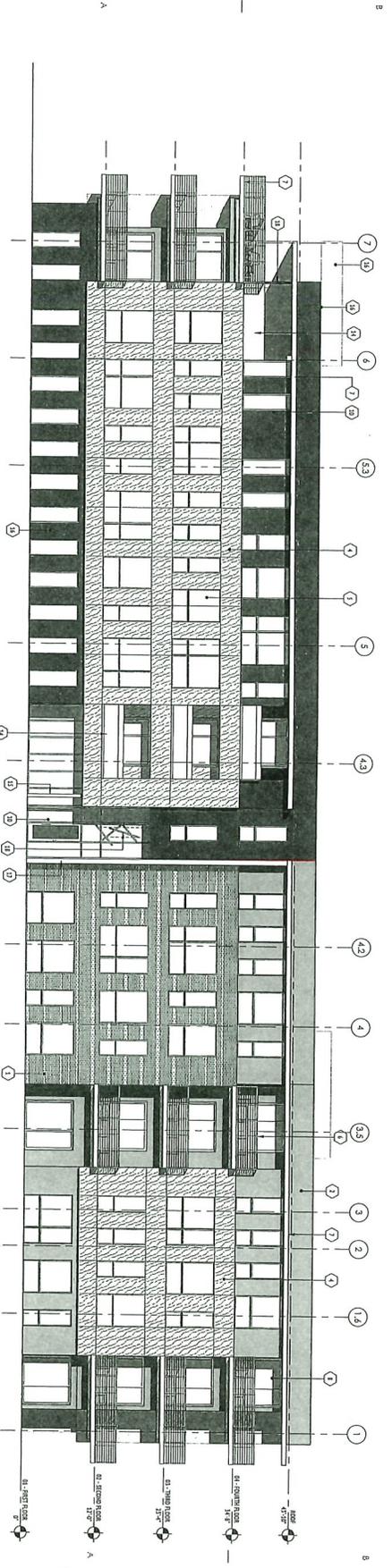
**A1** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

**A4** NORTH WEST ELEVATION  
SCALE: 1/8" = 1'-0"





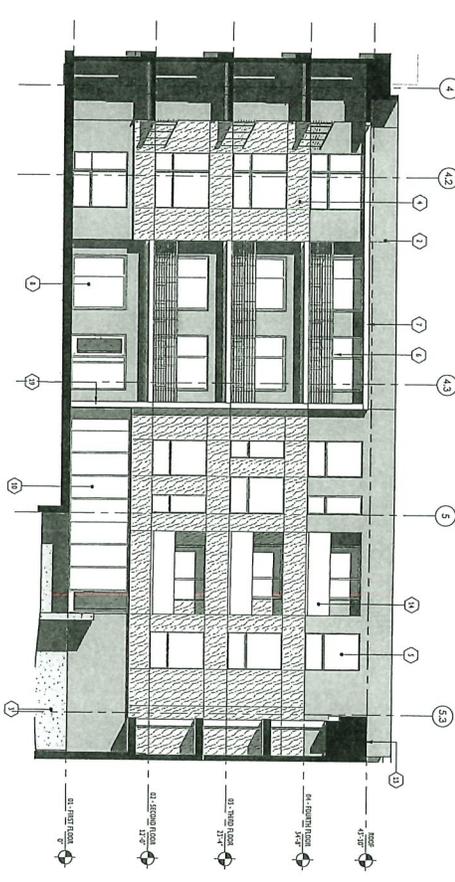
**C1** EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

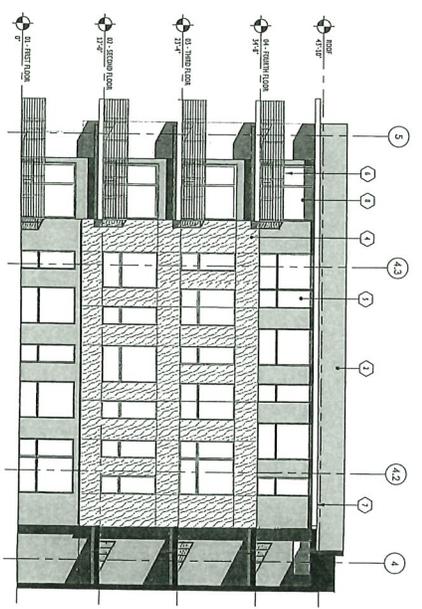
**EXTERIOR ELEVATION KEYNOTES**

|    |                                  |    |                           |
|----|----------------------------------|----|---------------------------|
| 1  | FIELD DIMENSIONAL BRICK COURSE A | 11 | INSULATED IN-CORNER JOINT |
| 2  | FIELD DIMENSIONAL BRICK COURSE B | 12 | GLAZED STEEL BALCONY RAIL |
| 3  | FIELD DIMENSIONAL BRICK COURSE C | 13 | GLAZED STEEL BALCONY RAIL |
| 4  | FIELD DIMENSIONAL BRICK COURSE D | 14 | GLAZED STEEL BALCONY RAIL |
| 5  | FIELD DIMENSIONAL BRICK COURSE E | 15 | GLAZED STEEL BALCONY RAIL |
| 6  | FIELD DIMENSIONAL BRICK COURSE F | 16 | GLAZED STEEL BALCONY RAIL |
| 7  | FIELD DIMENSIONAL BRICK COURSE G | 17 | GLAZED STEEL BALCONY RAIL |
| 8  | FIELD DIMENSIONAL BRICK COURSE H | 18 | GLAZED STEEL BALCONY RAIL |
| 9  | FIELD DIMENSIONAL BRICK COURSE I | 19 | GLAZED STEEL BALCONY RAIL |
| 10 | FIELD DIMENSIONAL BRICK COURSE J | 20 | GLAZED STEEL BALCONY RAIL |

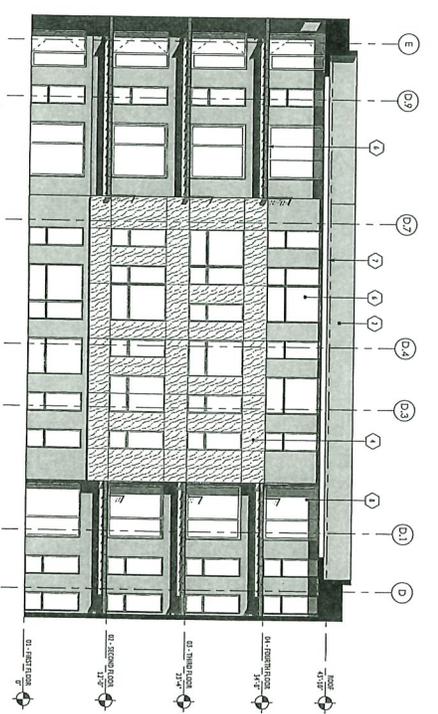


**C2** COURTYARD NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

| EXTERIOR ELEVATION FINISHES |                                 |
|-----------------------------|---------------------------------|
| 1                           | FULL BOND BRICK, CLAY           |
| 2                           | FINE BRICK PAINT, SAND, PAINT   |
| 3                           | PREPARED CONCRETE WOOD INTERIOL |
| 4                           | WOOD WINDOWS                    |
| 5                           | GLASS ALUMINUM FRAMING          |
| 6                           | GLASS ALUMINUM FRAMING          |
| 7                           | GLASS ALUMINUM FRAMING          |
| 8                           | GLASS ALUMINUM FRAMING          |
| 9                           | GLASS ALUMINUM FRAMING          |
| 10                          | GLASS ALUMINUM FRAMING          |
| 11                          | GLASS ALUMINUM FRAMING          |
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| 50                          | GLASS ALUMINUM FRAMING          |
| 51                          | GLASS ALUMINUM FRAMING          |
| 52                          | GLASS ALUMINUM FRAMING          |
| 53                          | GLASS ALUMINUM FRAMING          |



**A2** COURTYARD SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A3** COURTYARD WEST ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECTS SCHIPPER KASTNER 3716 Ingersoll Ave., Ste. A, Des Moines, IA 50312 office: 515.277.6707

**GRAND AVENUE - ACTIVE ADULT  
NEWBURY LIVING**

DES MOINES, IOWA

ARCHITECTURE INTERIORS PLANNING

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