

22A

Date November 23, 2020

**RECEIVE AND FILE COMMUNICATION FROM THE PLAN AND ZONING COMMISSION
REGARDING CITY-INITIATED REQUEST FOR VACATION OF RACCOON STREET FROM
SOUTHEAST 4TH STREET TO SOUTHEAST 5TH STREET AND NORTH/SOUTH SEGMENT OF
ALLEY BETWEEN SOUTHEAST 4TH STREET TO SOUTHEAST 5TH STREET FROM RACCOON
STREET TO EAST MARTIN LUTHER KING, JR. PARKWAY IN MARKET DISTRICT**

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on November 5, 2020, its members voted 14-0 to recommend **APPROVAL** of a City-initiated request to vacate Raccoon Street right-of-way from Southeast 4th Street to Southeast 5th Street, and the north/south segment of alley right-of-way between Southeast 4th Street to Southeast 5th Street from Raccoon Street to East Martin Luther King, Jr. Parkway, within the proposed Market District to allow for incorporation and use in the redevelopment of the area in the Historic East Village in east downtown Des Moines.

MOVED by _____ to receive and file the attached communication from the Plan and Zoning Commission, and refer to the Engineering Department, Real Estate Division.

FORM APPROVED:

/s/ Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

(11-2020-1.09)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED		APPROVED		

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

Mayor

City Clerk



November 17, 2020

Date November 23, 2020
Agenda Item 22
Roll Call # _____

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their November 5, 2020 meeting, the following action was taken regarding a City initiate request for review and approval of items regarding the Market District in the vicinity of Southeast 4th Street and East Market Street, generally from the Des Moines River on the west to Southeast 5th Street on the east, and from East Vine Street on the north to East Martin Luther King Jr. Parkway on the south.

- A) City initiated vacation of Raccoon Street from Southeast 4th Street to Southeast 5th Street, and the north/south segment of alley between Southeast 4th Street to Southeast 5th Street from Raccoon Street to East Martin Luther King, Jr. Parkway.
- B) City initiated amendment to Section 135-2.18 of the City Code to revise regulations regarding applicability of Design Alternatives for maximum height requirements within the Capitol Dominance Area.
- C) Developer initiated request for review and approval of a Preliminary Plat "The Market District" covering a 10-block area.
- D) City initiated request to rezone property in the area west of Southeast 2nd Street from "DX2" Downtown District to "DXR" Downtown District, and rezone the property in the area east of Southeast 2nd Street from "DX2" Downtown District and "P2" Public, Civic and Institutional District to "DX1" Downtown District.
(11-2020-1.09, 10-2020-5.03, 13-2021-1.06 & ZON2020-00085)

COMMISSION RECOMMENDATION:

After public hearing, the members voted 14-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of Part A) the City initiated vacation of Raccoon Street from Southeast 4th Street to Southeast 5th Street, and the north/south segment of alley between Southeast 4th Street to Southeast 5th Street from Raccoon Street to East Martin Luther King, Jr. Parkway, Part B) **APPROVAL** of the City initiated amendment to Section 135-2.18 of the City Code to revise regulations regarding applicability of Design Alternatives for maximum height requirements within the Capitol Dominance Area, Part C) **APPROVAL** of the submitted Preliminary Plat for "The Market District" subject to the following conditions:

1. Compliance with all administrative review comments.
2. Indication on the Plat that the cul-de-sac for Southeast 3rd Street south of Raccoon Street would be either a public or private with any Final Plat approval.
3. Indication that storm water management will be provided either shown with the submitted design or with detention volumes accommodated by nearby regional facilities to be constructed by the City of Des Moines.

Part D) **APPROVAL** of City initiated request to rezone property in the area west of Southeast 2nd Street from "DX2" Downtown District to "DXR" Downtown District, and rezone the property in the area east of Southeast 2nd Street from "DX2" Downtown District and "P2" Public, Civic and Institutional District to "DX1" Downtown District with the limitation of a Maximum Height for Buildings that is legally described based on the view corridor model established by the Large-Scale Development Plan.

Written Responses

4 in Favor

2 in opposition

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Part A) Staff recommends approval of the City initiated vacation of Raccoon Street from Southeast 4th Street to Southeast 5th Street, and the north/south segment of alley

between Southeast 4th Street to Southeast 5th Street from Racoon Street to East Martin Luther King, Jr. Parkway.

Part B) Staff recommends approval of the City initiated amendment to Section 135-2.18 of the City Code to revise regulations regarding applicability of Design Alternatives for maximum height requirements within the Capitol Dominance Area.

Part C) Staff recommends approval of the submitted Preliminary Plat for “The Market District” subject to the following conditions:

1. Compliance with all administrative review comments.
2. Indication on the Plat that the cul-de-sac for Southeast 3rd Street south of Racoon Street would be either a public or private with any Final Plat approval.
3. Indication that storm water management will be provided either shown with the submitted design or with detention volumes accommodated by nearby regional facilities to be constructed by the City of Des Moines.

Part D) Staff recommends approval of City initiated request to rezone property in the area west of Southeast 2nd Street from “DX2” Downtown District to “DXR” Downtown District, and rezone the property in the area east of Southeast 2nd Street from “DX2” Downtown District and “P2” Public, Civic and Institutional District to “DX1” Downtown District with the limitation of a Maximum Height for Buildings that is legally described based on the view corridor model established by the Large-Scale Development Plan.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The City Council initiated the requested rezoning to allow for more intensive, sustainable and smart redevelopment of the Market District area of the Historic East Village in the east Downtown. The proposed rezoning along with the accompanying Large-Scale Development Plan and text amendment to Chapter 135 Section 134-2.18 would provide more flexibility in building heights while still protecting important views toward and from the State Capitol Building. The Large-Scale Development Plan would also provide the framework for a street network that would improve the circulation grid and encourage multi-modal movement through the district. This would seek to implement the intentions of the Market District of the East Village Master Plan by becoming a component of the element of the PlanDSM Creating Our Tomorrow Plan.
2. **Size of Site:** Approximately 41 acres.
3. **Existing Zoning (site):** “DX2” Downtown District and “P2” Public, Civic and Institutional District.
4. **Existing Land Use (site):** The area is developed with a variety of public, industrial, and commercial uses and buildings.
5. **Adjacent Land Use and Zoning:**

North – “DX2” & “P2”; Uses are public, industrial, commercial and residential.

South – “DX2”; Uses are industrial, commercial and residential.

East – “DX2”; Uses are industrial, commercial and residential.

West – “F”; Uses are riverfront, river levee and the Des Moines River.

- 6. General Neighborhood/Area Land Uses:** The subject property is in a mixed-use area of the east Downtown in the lower Historic East Village area known as the Market District. It contains a mix of public, industrial, commercial and residential uses.
- 7. Applicable Recognized Neighborhood(s):** The subject property is in the Historic East Village Neighborhood. The neighborhood association was notified of the original August 20, 2020 public hearing by mailing of the Preliminary Agenda on July 31, 2020 and by mailing of the Final Agenda for the November 5, 2020 meeting on October 30, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on July 31, 2020 (20 days prior to the original August 20, 2020 public hearing) and on August 10, 2020 (10 days prior to the original August 20, 2020 public hearing) to the Historic East Village Neighborhood and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Historic East Village Neighborhood Association notices were mailed to Taylor Frame, PO Box 93904, Des Moines, IA 50393.

City Staff conducted a neighborhood outreach meeting via ZOOM teleconference on August 12, 2020. The meeting included participation by property owners within the area and within 250 feet of the area.

- 8. Relevant Zoning History:** The subject property was zoned to “DX2” Downtown District as part of the citywide Zoning Ordinance and Map update effective on December 15, 2019.
- 9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Downtown Mixed Use within the Downtown Node.
- 10. Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations along with amendments to the Comprehensive Plan within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews proposed Large Scale Development Plans per Chapter 135 Article 5 of the City Code. The recommendation of the Commission regarding the Large-Scale Development Plan will be forwarded to the City Council in this instance.

Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews proposed Preliminary Plats in accordance with Chapter 106 of the City Code and may approve the Preliminary Plat, approve the Preliminary Plat subject to revisions, or deny the Preliminary Plat. Record of the Commission's decision will be forwarded to the City Council to receive and file.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. PlanDSM Creating Our Tomorrow:** The subject area is designated "Downtown Mixed Use". Plan DSM describes this designation as follows:

Downtown Mixed Use

Allows mixed-use, high density residential uses, and compact combinations of pedestrian-oriented retail, office, residential, and parking in downtown. Should include active uses (e.g. retail) on ground floor, particularly at key intersections.

Staff believes the proposed rezoning and Large-Scale Development Plan is appropriate given the location of the subject property within the Downtown Regional Node.

- 2. Capitol Dominance Provision of Chapter 135 Planning and Design Ordinance:** Any redevelopment must comply with all applicable Site Plan and Design regulations of the Chapter 135 Planning and Design Ordinance. The current provisions of Chapter 135 Section 135-2.18 lay out limitations for protection of the Capitol Dominance Area. The current provisions set a Maximum Building Height within the defined area at 75 feet. Type 2 Design Alternative consideration may be given to exceed that building height with a provision of a detailed architectural and viewshed analysis.

The proposed text amendment to Chapter 135 Section 135-2.18 adds a provision for consideration of a Type 1 Design Alternative to exceed the 75-foot Building Height Maximum in instances where a Large-Scale Development Plan has been previously approved, where the building types and uses consistent with those shown in said approved Large-Scale Development Plan, and where the requested relief from Maximum Building Height limitation does not exceed the proposed maximum heights specified and shown in said approved Large-Scale Development Plan.

The submitted Large-Scale Development Plan does not show maximum heights for the blocks outside of the identified viewshed corridor on Sheet 3. Therefore, to work in concert with the proposed text amendment and modeling, staff recommends that a table with maximum building heights proposed by the Large Scale Development Plan for block areas outside of the viewshed protection corridor be added to Sheet 3 to provide the following maximum heights by block:

Block 2 – 190'
Block 3 – 170'
Block 4 – 75'
Block 5 – 80'
Block 6 – 110'
Block 7 – 100'

Block 8 – 185'
Block 9 – 200'
Block 10 – 185'

Staff would consider proposed buildings exceeding the Maximum Building Height for the Capitol Dominance Area as part of a Site Plan by reviewing them against the limitation in the Large-Scale Development Plan. The developer would still have the ability for consideration of buildings that would exceed those heights in the Large-Scale Development Plan, with a Type 2 Design Alternative. Staff recommends that a legally described maximum height plane for the view corridor identified in the Large-Scale Development Plan also be considered a limitation of the City Council initiated rezoning.

3. **Large-Scale Development Plan/Preliminary Plat:** The submitted Large-Scale Development Plan (LSDP) and Preliminary Plat were prepared by a private developer working in close coordination with the City Staff over the past several months and accompanies the proposed City Council initiated rezoning. The Plan and Plat provides a master concept and platting document for the proposed redevelopment area and gives projected land uses, projected layouts of block areas and the street network, proposed infrastructure and utilities, and projected street sections showing more detail of the proposed green infrastructure to be installed with public improvement plans. The “DXR” District Zoning west of Southeast 2nd Street would provide the flexibility for Private Outdoor Sports and Recreation Use near the riverfront.

This LSDP aids and informs the submitted Preliminary Plat and rezoning process as well as future Site Plans. It proposes reconfiguring the block and street layout and infrastructure for the area. The Preliminary Plat would provide the basis for future public improvement plans and Site Plans. The LSDP includes the segment of Raccoon Street and perpendicular alley Right-Of-Way proposed for vacation. This specific vacation would allow for a large redevelopment block. Other areas previously occupied by City Public Works and MidAmerican Energy yards will now be opened by re-establishing a grid-like public street network.

There are two elements of the LSDP and Preliminary Plat which may have alternate considerations. The first is whether the proposed cul-de-sac segment of Southeast 3rd Street south of Raccoon Street would be developed and final platted as a public street or private street. City Traffic is recommending that the segment be developed as a private street. A note should be added to both the LSDP and Preliminary Plat addressing the segment as either a public or private street. Any final plat approved by the City Council would determine if the street would be dedicated as a public street or not.

The second element of the proposed LSDP and Preliminary Plat that would need to have alternate consideration for the provided storm water detention volume. The City has proposed regional detention basin to serve the area as a future project in the Capital Improvements Program. This regional basin would be projected to handle much of the necessary volume for the projected development under the LSDP and Preliminary Plat. The submitted Preliminary Plat contemplates storm water management with the submitted design but may be revised based on available volumes provided by the future basin to be constructed by the City.

Because there are streets on the periphery with adjoining property not immediately proposed for redevelopment, the City is also proposing that the developer submitted LSDP become an amendment to the PlanDSM Creating Our Tomorrow Plan. This would then guide consideration of other future redevelopment proposals and platting and provide continuity with the area proposed for development in the near term. One specific example of this would be the continued extension of the green infrastructure into the adjoining street network.

The submitted LSDP also includes a view protection corridor in furtherance of the Capitol Dominance Protection in Chapter 135 to define projected maximum heights for buildings in a viewshed projection area for a view of the State Capitol from home plate at Principal Park. The private developer and City Information Technology have coordinated to provide a form model for the redevelopment in the area and identifies the view corridor to be protected. This has provided enough detailed data to provide a legal description of the plane for the maximum height of the view protection corridor.

SUMMARY OF DISCUSSION

Erik Lundy Presented the staff report and recommendation.

Wil Page asked if the massing within the viewshed are the same as the massing previously proposed?

Mike Ludwig stated the massing matches what was shown during the workshop session in August.

Will Page stated his concern would be the Capitol Building looking as if it was framed up in a picture.

Jim MacRae 1390 Lawrence, Denver Colorado Representing Design Workshop presented a Power Point Presentation to the commission.

Greg Wattier asked how we can ensure we don't end up with vertical swatches of vision angles?

Mike Ludwig stated there isn't any intent to build out everything to the maximum height for the entire width of the block. As projects come in, staff will compare that design to the model and be conscious of not framing up the Capitol with buildings all the same height. Without the maximum heights, DX1 zoning would allow for 200 feet or more so they had to find a way to match the model. The vision conveyed by the model is a tiered or organic frame as you move away from the view corridor.

Paul Hayes stated if everything was built out to 75 feet, the view of the Capitol would be nonexistent. He believes the organic look will be something that happens naturally as it did in the Central Business District.

Jim MacRae stated with the zoning ordinance, they will be able to manage the Urban form. They are seeing more outdoor deck spaces and rooftop gardens being proposed which will naturally provide that organic look as well.

CHAIRPERSON OPENED THE PUBLIC HEARING

No one was present or requested to speak.

CHAIRPERSON CLOSED THE PUBLIC HEARING

COMMISSION ACTION:

Rocky Sposato made a motion for approval of Part A) the City initiated vacation of Raccoon Street from Southeast 4th Street to Southeast 5th Street, and the north/south segment of alley between Southeast 4th Street to Southeast 5th Street from Raccoon Street to East Martin Luther King, Jr. Parkway, Part B) **APPROVAL** of the City initiated amendment to Section 135-2.18 of the City Code to revise regulations regarding applicability of Design Alternatives for maximum height requirements within the Capitol Dominance Area, Part C) **APPROVAL** of the submitted Preliminary Plat for "The Market District" subject to the following conditions:

1. Compliance with all administrative review comments.
2. Indication on the Plat that the cul-de-sac for Southeast 3rd Street south of Raccoon Street would be either a public or private with any Final Plat approval.
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Part D) **APPROVAL** of City initiated request to rezone property in the area west of Southeast 2nd Street from "DX2" Downtown District to "DXR" Downtown District, and rezone the property in the area east of Southeast 2nd Street from "DX2" Downtown District and "P2" Public, Civic and Institutional District to "DX1" Downtown District with the limitation of a Maximum Height for Buildings that is legally described based on the view corridor model established by the Large-Scale Development Plan.

Motion passed: 14-0

Respectfully submitted,



Michael Ludwig, AICP
Planning Administrator

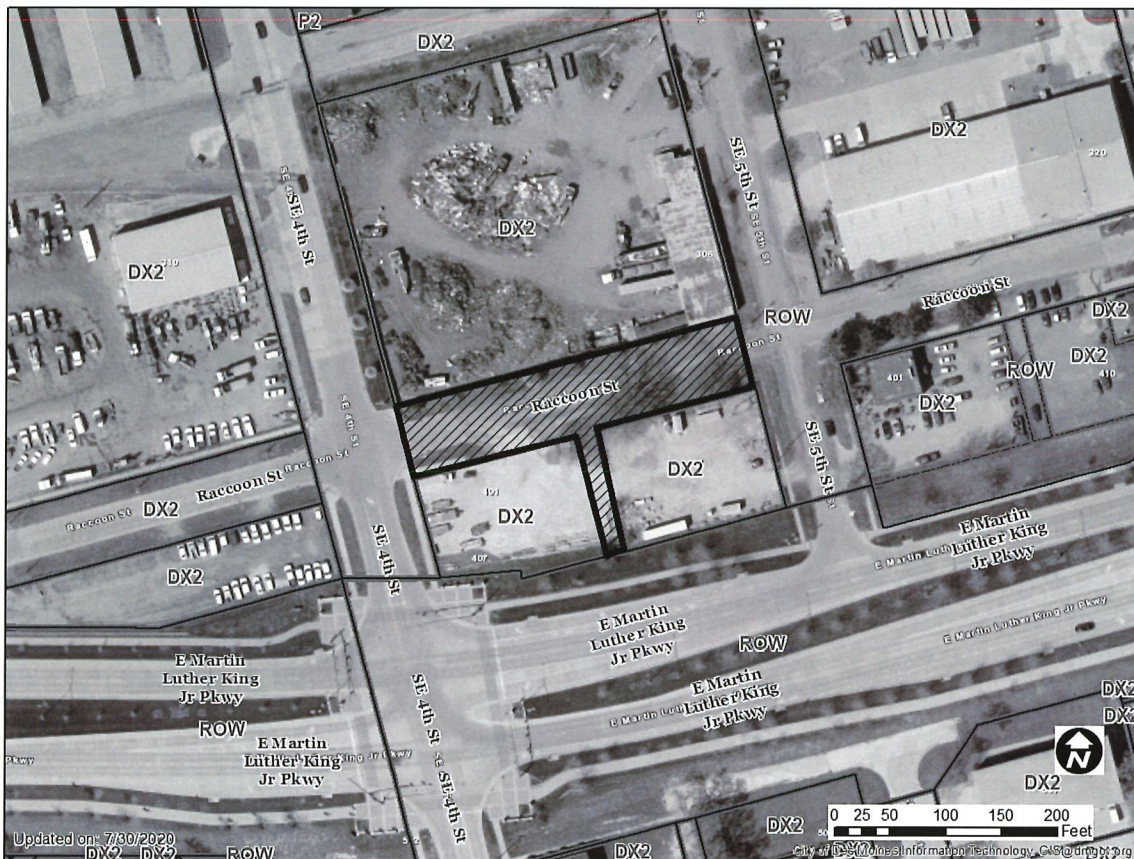
MGL:tjh

22

Review and approval of items regarding the Market District in the vicinity of Southeast 4 th Street and East Market Street, generally from the Des Moines River on the west to Southeast 5 th Street on the east, and from East Vine Street on the north to East Martin Luther King Jr. Parkway on the south.				File #
				11-2020-1.09
Description of Action	Vacation of Raccoon Street from Southeast 4 th Street to Southeast 5 th Street, and the north/south segment of alley between Southeast 4 th Street to Southeast 5 th Street from Raccoon Street to East Martin Luther King, Jr. Parkway.			
PlanDSM Future Land Use	Current: Downtown Mixed Use. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	No planned improvements.			
Current Zoning District	"DX2" Downtown District and "P2" Public, Civic and Institutional District.			
Proposed Zoning District	"DXR" Downtown District and "DX1" Downtown District.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	0	1		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No
				X

City initiated, Raccoon St. & N/S alley btw. S.E. 4th and 5th St., & E. MLK, Jr. Pkwy.

11-2020-1.09



1 inch = 103 feet

22

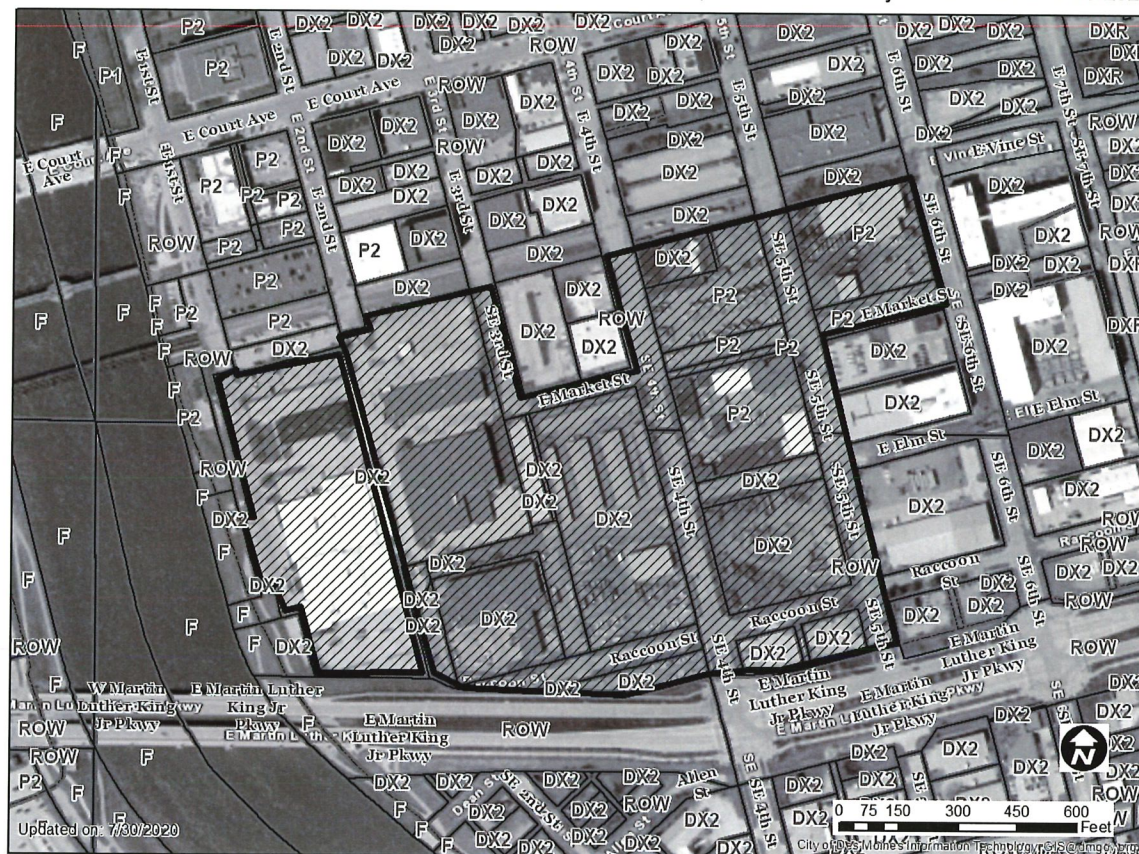
Review and approval of items regarding the Market District in the vicinity of Southeast 4th Street and East Market Street, generally from the Des Moines River on the west to Southeast 5th Street on the east, and from East Vine Street on the north to East Martin Luther King Jr. Parkway on the south.					File #		
					13-2021-1.06		
Description of Action		Developer initiated request for review and approval of a Preliminary Plat “The Market District” covering a 10-block area.					
PlanDSM Future Land Use		Current: Downtown Mixed Use. Proposed: N/A.					
Mobilizing Tomorrow Transportation Plan		No planned improvements.					
Current Zoning District		“DX2” Downtown District and “P2” Public, Civic and Institutional District.					
Proposed Zoning District		“DXR” Downtown District and “DX1” Downtown District.					
Consent Card Responses		In Favor	Not In Favor	Undetermined	% Opposition		
Outside Area (200 feet)		0	0				
Within Subject Property							
Plan and Zoning Commission Action		Approval	X	Required 6/7 Vote of the City Council		Yes	
		Denial				No	X

Developer initiated, The Market District, SE 4th St.-E. Market St., E. Vine St.-E. MLK Jr. Pkwy 13-2021-1.06



Review and approval of items regarding the Market District in the vicinity of Southeast 4 th Street and East Market Street, generally from the Des Moines River on the west to Southeast 5 th Street on the east, and from East Vine Street on the north to East Martin Luther King Jr. Parkway on the south.					File # ZON2020-00085	
Description of Action		Rezone property in the area west of Southeast 2 nd Street from "DX2" Downtown District to "DXR" Downtown District, and rezone the property in the area east of Southeast 2 nd Street from "DX2" Downtown District to "DX1" Downtown District.				
PlanDSM Future Land Use		Current: Downtown Mixed Use. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan		No planned improvements.				
Current Zoning District		"DX2" Downtown District and "P2" Public, Civic and Institutional District.				
Proposed Zoning District		"DXR" Downtown District and "DX1" Downtown District.				
Consent Card Responses		In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)		4	1			
Within Subject Property						
Plan and Zoning Commission Action		Approval	X	Required 6/7 Vote of the City Council		Yes
		Denial				No

City initiated, Bounded generally by E. Market St., DSM River, E. MLK Jr. Pkwy & S.E. 5th St. ZON2020-00085



1 inch = 288 feet

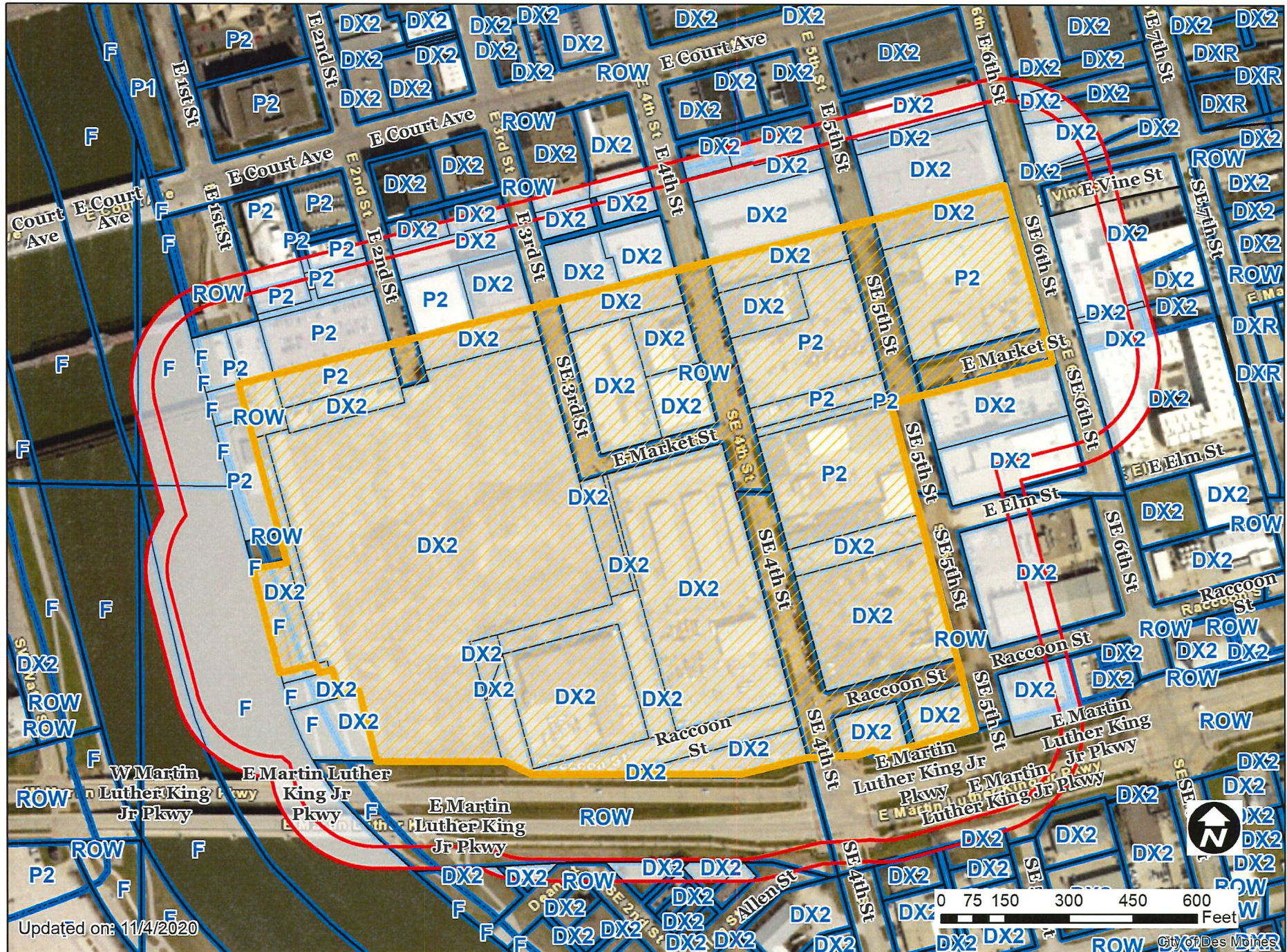
City initiated, Raccoon St. & N/S alley btw. S.E. 4th and 5th St., & E. MLK, Jr. Pkwy. 11-2020-1.09

22

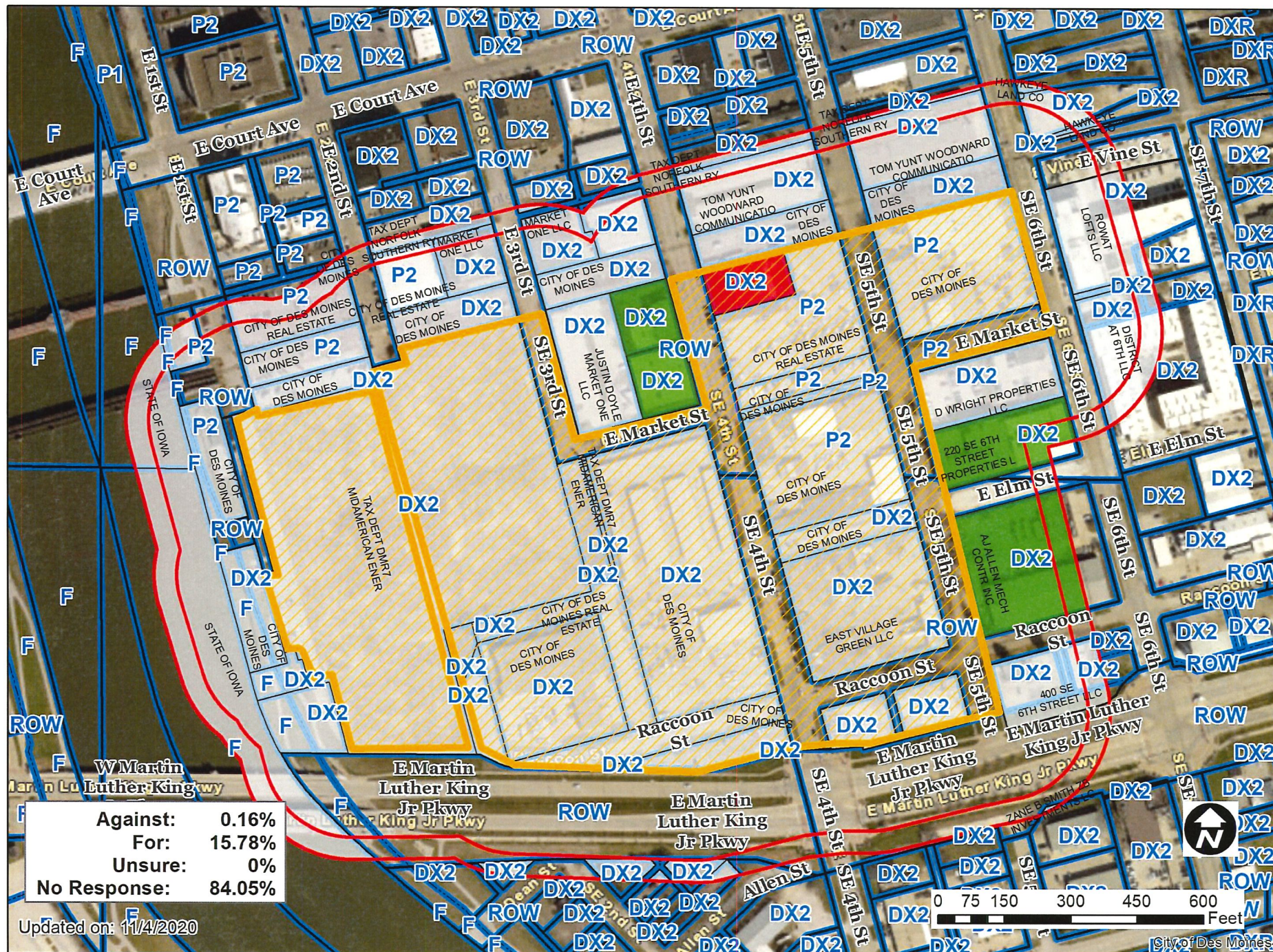


1 inch = 103 feet

20



City initiated, Bounded generally by E. Market St., DSM River, E. MLK Jr. Pkwy & S.E. 7th St. 2020-00085



1 inch = 288 feet

11-2020-1.09

Item: _____

Date: AUG. 19, 2020

I ☒ (am) ☐ (am not) in favor of the request:

(Circle One)
RECEIVED
COMMUNITY DEVELOPMENT
AUG 21 2020

Print Name: MARK W. ALLEN FOR:
A. J. ALLEN MECHANICAL CONTRACTORS INC.

Signature: _____

Mark W. Allen

Address: 320 S.E. 6th ST, DSM, Ia. 50309

Reason for opposing or approving this request may be listed below:

RESULTS WOULD CUT OFF OUR TRAVEL GOING WEST
ON RACCOON AND IN GENERAL MAKE THE STREETS
MORE CONGESTED THAN THEY ARE ALREADY.

Item: ZON2020-00085

Date: 8-14-2020

I (am) (am not) in favor of the request:
(Circle One)

RECEIVED
COMMUNITY DEVELOPMENT
AUG 18 2020

Print Name: 220 SE 6th St Properties

Signature: [Signature] Eric Nix, Member

Address: 220 SE 6th St, Ste 100, OSM, IA 50305

Reason for opposing or approving this request may be listed below:

Item: ZON2020-00085 Date: 8/12/20

I (am) (am not) in favor of the request:
(Circle One)

Print Name: JEREMY CORTRIGHT

Signature: [Signature]

Address: 112 SE 4TH ST. DES MOINES, IA 50309

RECEIVED
COMMUNITY DEVELOPMENT
AUG 19 2020

Reason for opposing or approving this request may be listed below:

Item: ZON2020-00085 Date: 8/12/20

I (am) (am not) in favor of the request:

(Circle One)
RECEIVED
COMMUNITY DEVELOPMENT
AUG 19 2020

Print Name: J Brian Vincent

Signature: [Signature]

Address: 109 SE 4TH STREET

Reason for opposing or approving this request may be listed below:

I think spending money on
something like this is foolish
at this time!!! Wait till after
covid is over!!!!!!

ZON2020-00085

Item: _____ Date: AUG. 19, 2020

I (am) ~~(am not)~~ in favor of the request:

(Circle One)

Print Name: MARK W. ALLEN FOR: A.S. ALLEN MECHANICAL CONTRACTORS, INC.

RECEIVED
COMMUNITY DEVELOPMENT

Signature: [Signature]

AUG 21 2020

Address: 320 SE. 6th ST., DSM, IA. 50309

Reason for opposing or approving this request may be listed below:

ZON2020-00085

Item: _____ Date: _____

I (am) ~~(am not)~~ in favor of the request:

(Circle One)

Print Name: JANE CHRISTENSEN

RECEIVED
COMMUNITY DEVELOPMENT

Signature: [Signature]

AUG 21 2020

Address: 113 East 4th

Reason for opposing or approving this request may be listed below:

135-2.18 Capitol Dominance Area

2.18.2 HEIGHT LIMITATIONS

A. **MAXIMUM BUILDING HEIGHT.** Any lot within the highlighted area in Figure 135-2.18-A shall have a maximum height of 75 feet. Refer to the city's GIS system for specific location.

B. **HEIGHTS OF TOWERS, UTILITIES, AND OTHER APPURTENANCES.** Within the boundaries of the capitol dominance area established by this section, no structure shall be constructed or enlarged to a height in excess of the maximum elevation established. Chimneys, cooling towers, elevator bulkheads, antennas, and necessary mechanical appurtenances extending above the roof of a building may exceed the maximum elevation established for such district by not more than 15 feet provided they are set back at least 15 feet from all faces of the building adjacent to a street.

2.18.3 ~~TYPE 2~~ DESIGN ALTERNATIVES

A. **CONSIDERATIONS.** A Type 2 design alternative may be requested for relief from the height limitations set forth in section 135-2.18.2 in accordance with the following considerations:

~~A~~1. Compliance with the purpose statement above in this section.

~~B~~2. The applicant must provide a detailed architectural and viewshed analysis that illustrates, three-dimensionally, the specific location and specific heights of all components and includes the following, at a minimum:

~~1~~i. Proximity to the Capitol;

~~2~~ii. Proximity to view corridors identified in the Capitol Gateway East Urban Design Plan or most

recent similar plan;

~~3~~iii. Impact on views to and from the Capitol; and

~~4~~iv. Any other illustrations as required by the community development director.

B. **TYPE 1 DESIGN ALTERNATIVE.** A Type 1 design alternative may be requested for relief from the maximum building height limitation set forth in section 135-2.18.2.A, when eligible as follows:

1. The relief from maximum building height limitation applies to lot(s) identified within a large-scale development plan approved prior to the applicant's request for the Type 1 design alternative;

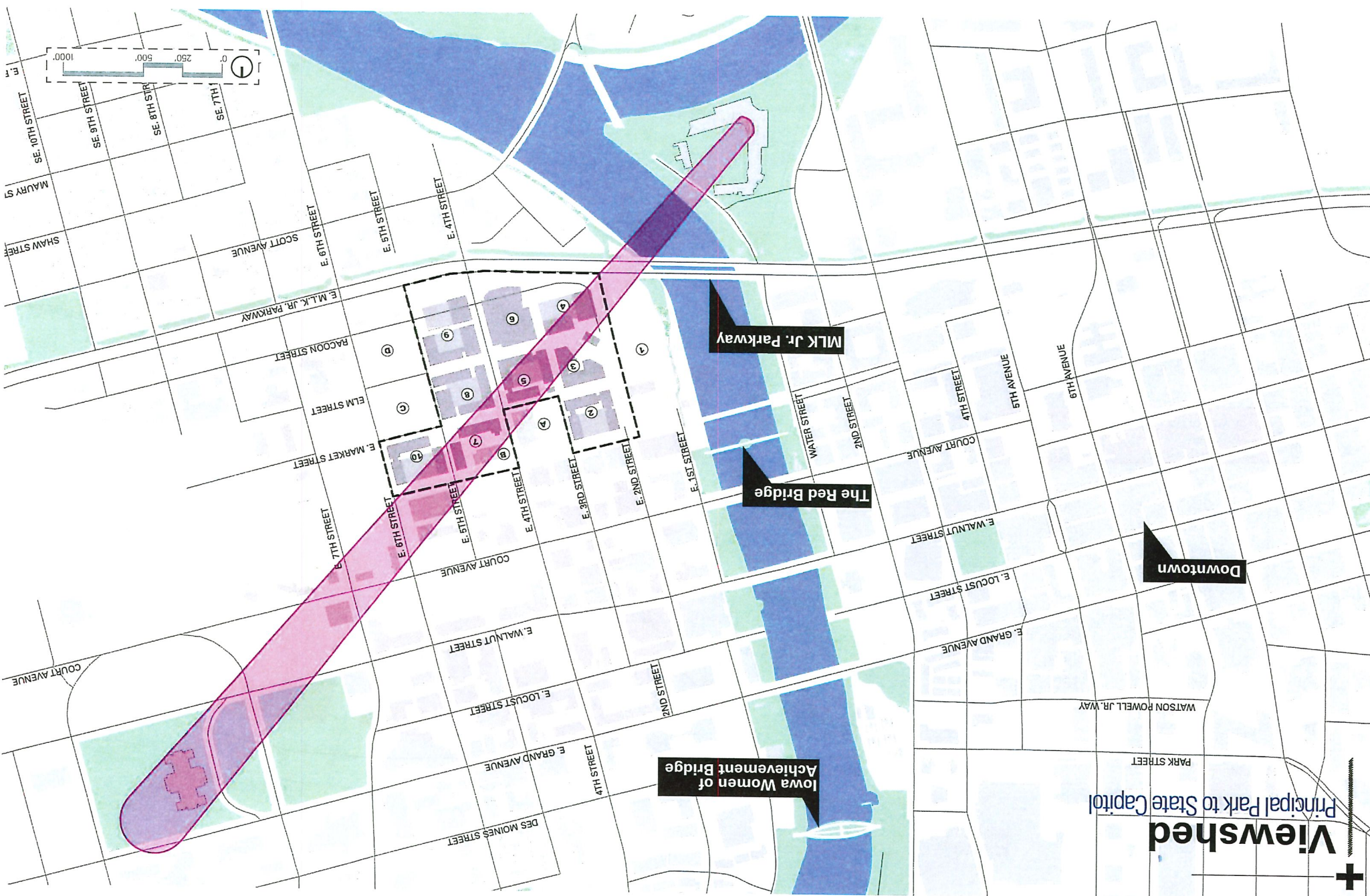
2. The relief from maximum building height limitation applies to building type(s) and use(s) consistent with those shown in said approved large-scale development plan; and

3. The relief from maximum building height limitation does not exceed the proposed height(s) specified and shown in said approved large-scale development plan, as verified by the development services director or designee using three-dimensional modeling performed by the city using site-specific digital building drawings provided by the applicant. Under this subsection 135-2.18.3.B.3, said relief can be denied by the city solely if said proposed height(s) are exceeded.

C. **TYPE 2 DESIGN ALTERNATIVE.** A Type 2 design alternative may be requested for relief from the height limitations set forth in section 135-2.18.2, subject to the considerations set forth above in section 135-2.18.3.A, when:

1. An applicant is not eligible to request a Type 1 design alternative pursuant to section 135-2.18.3.B; or

2. An applicant is requesting relief from height limitations for towers, utilities and other appurtenances set forth in section 135-2.18.2.B.



Viewshed
Principal Park to State Capitol

Downtown

22



Viewshed

Principal Park to State Capitol

The Red Bridge

COURT AVENUE

E. 1ST STREET

E. 2ND STREET

E. 3RD STREET

E. 4TH STREET

E. 5TH STREET

E. 6TH STREET

E. 7TH STREET

VINE STREET

E. MARKET STREET

ELM STREET

RACON STREET

E. 8TH STREET

1

2

3

4

6

9

10

7

8

9

10

PRINCIPAL PARK

E. 4TH STREET

E. 5TH STREET

2ND STREET

WATER STREET

Block #

% of Block
Effected by
Viewshed Corridor

% of Block Not
Effected by
Viewshed Corridor

1

-

-

2

0%

100%

3

21%

79%

4

45%

55%

5

79%

21%

6

0%

100%

7

83%

17%

8

7%

93%

9

0%

100%

10

25%

75%



0' 100' 200' 400'

Building heights are
conceptual and subject to
change in accordance with the
zoning ordinance

MLK Jr. Parkway

22



Viewshed

Principal Park to State Capitol - Existing Conditions

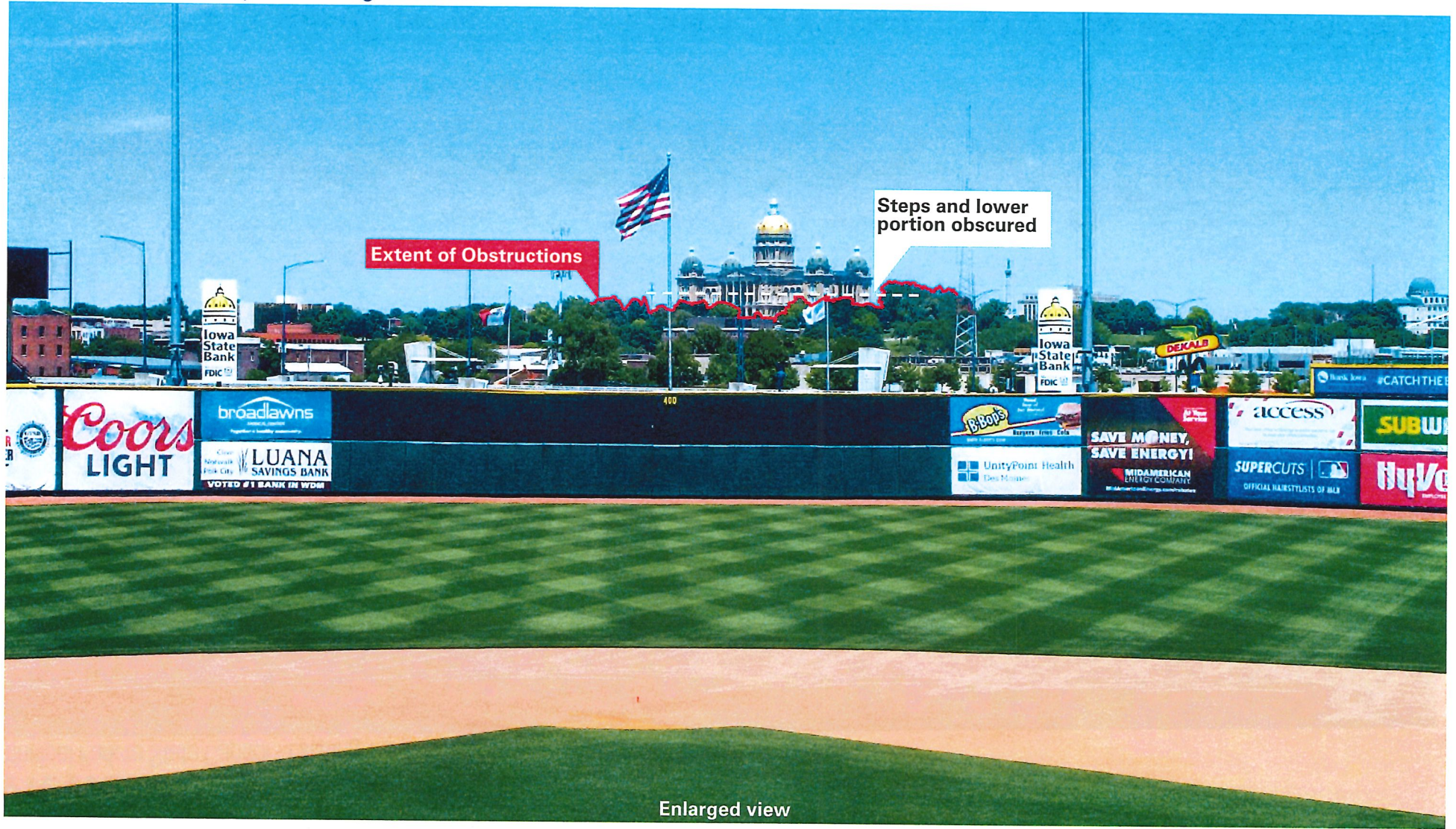


Photo taken from concourse level (in front of nets)



Viewshed

Principal Park to State Capitol - Existing Conditions



20

Viewshed

Principal Park to State Capitol - Existing Conditions and Regulations

Existing Conditions

Iowa Women of Achievement Bridge

The Red Bridge

Current
Zoning
Regulations

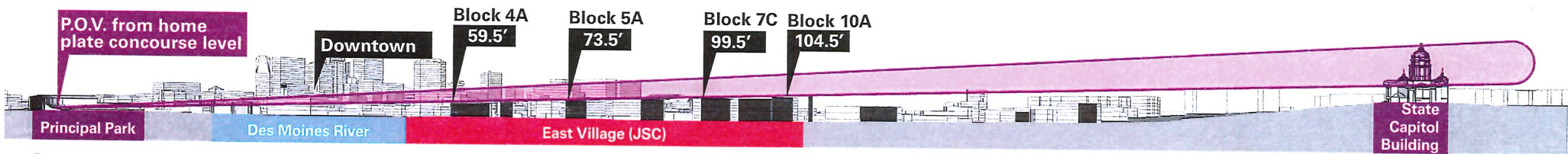
75'

DX1 Zoning: Current Zoning Regulations

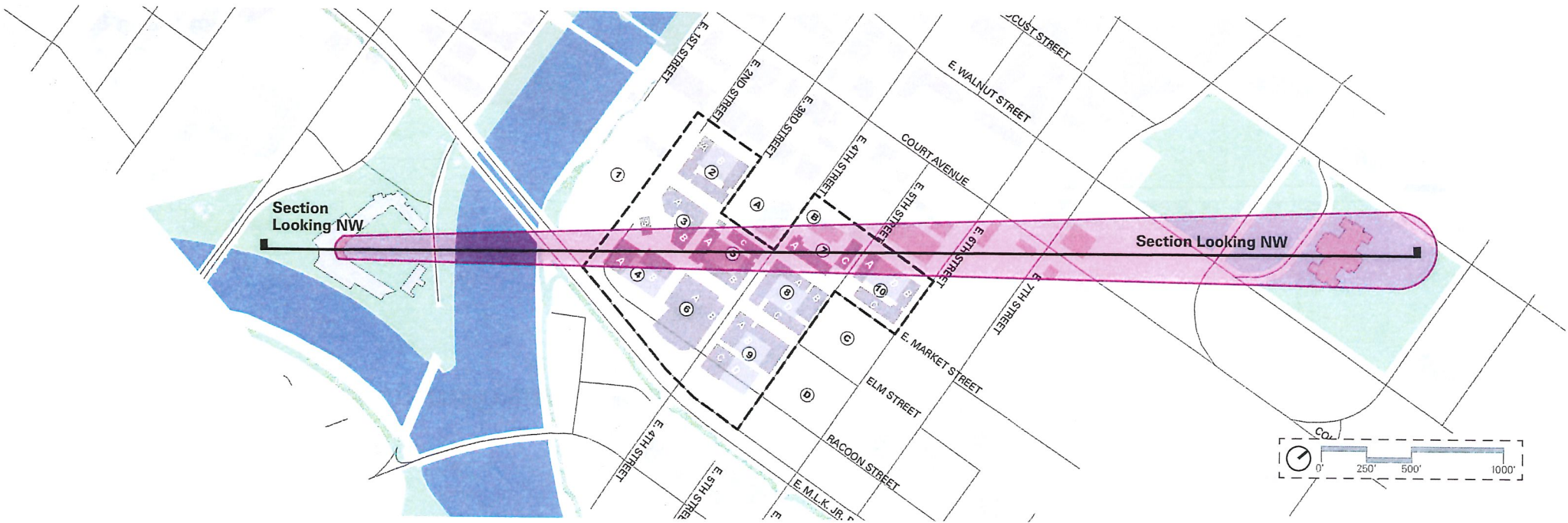


Viewshed

Principal Park to State Capitol

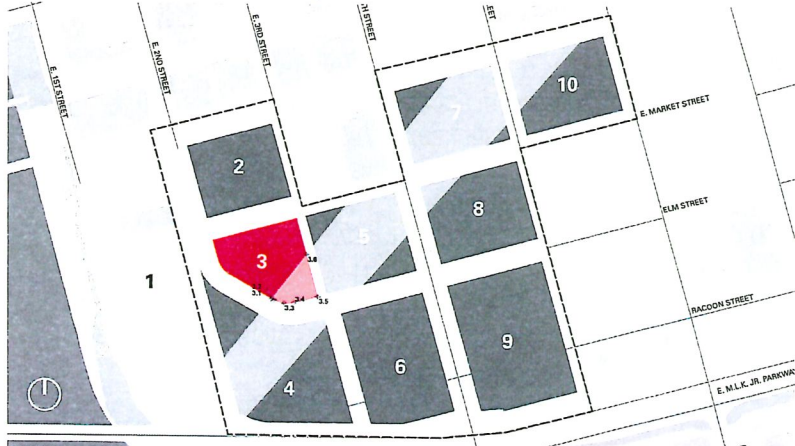


Section looking Northwest



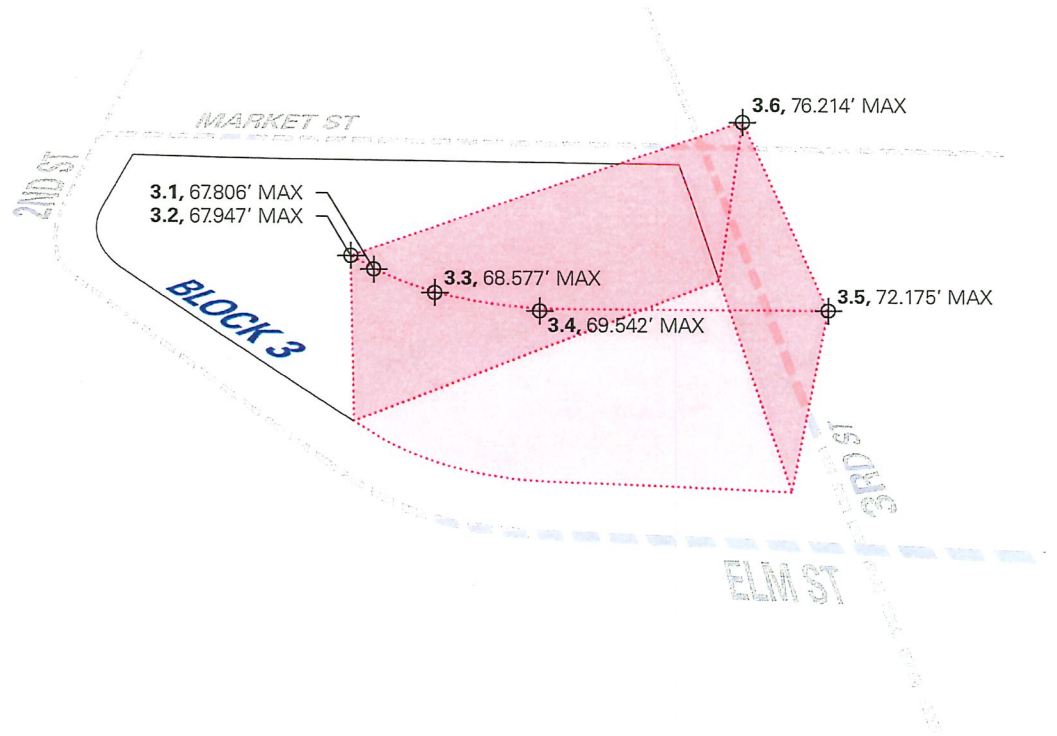
Viewshed

Principal Park to State Capitol



Block #	Datum Point #	Survey Coordinates		Max Elevation Above Sea Level (in ft.)	*Max Building Height (in ft.)
		Northings	Eastings		
3	3.1	7485937.2345	18528478.9409	866.711	67.806
	3.2	7485931.7670	18528488.4235	866.775	67.947
	3.3	7485920.8504	18528520.7501	867.165	68.577
	3.4	7485923.2061	18528554.7888	867.89	69.542
	3.5	7485944.5601	18528633.0242	869.914	72.175
	3.6	7486086.0529	18528594.9382	872.358	76.214

- *Denotes the maximum building height when measured from the proposed grade at the point identified on the plan to a point vertically and directly above it
- Built condition may deviate from the designed condition and datum point elevations must be verified before construction.





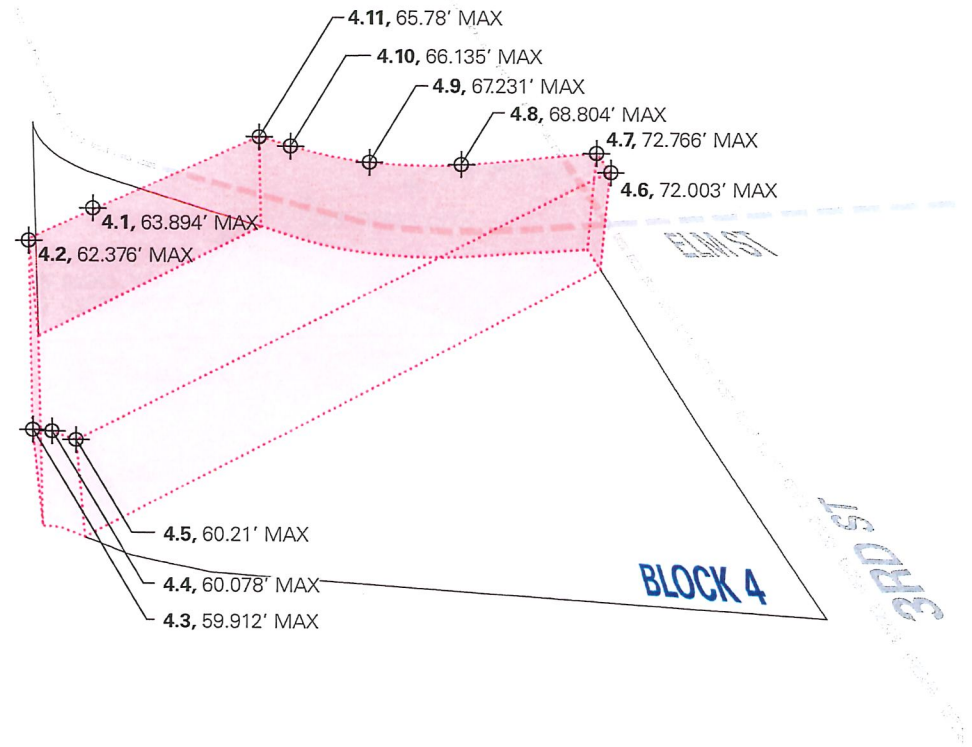
Viewshed

Principal Park to State Capitol



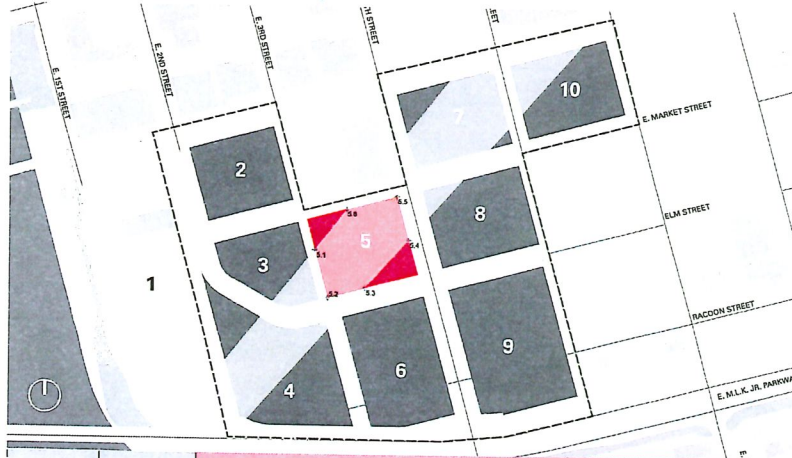
Block #	Datum Point #	Survey Coordinates		Max Elevation Above Sea Level (in ft.)	*Max Building Height (in ft.)
		Northings	Eastings		
4	4.1	7485794.3650	18528367.5804	861.29	63.894
	4.2	7485736.8181	18528322.7251	859.106	62.376
	4.3	7485548.0867	18528373.6235	855.848	59.912
	4.4	7485548.0867	18528382.0746	856.014	60.078
	4.5	7485541.3211	18528396.5189	856.146	60.21
	4.6	7485846.2733	18528662.7765	868.281	72.003
	4.7	7485872.9750	18528655.5870	868.743	72.766
	4.8	7485853.2034	18528583.1490	866.868	68.804
	4.9	7485848.1457	18528532.6428	865.594	67.231
	4.10	7485868.2586	18528466.4376	864.907	66.135
	4.11	7485884.6723	18528437.9709	864.716	65.78

- *Denotes the maximum building height when measured from the proposed grade at the point identified on the plan to a point vertically and directly above it
- Built condition may deviate from the designed condition and datum point elevations must be verified before construction.



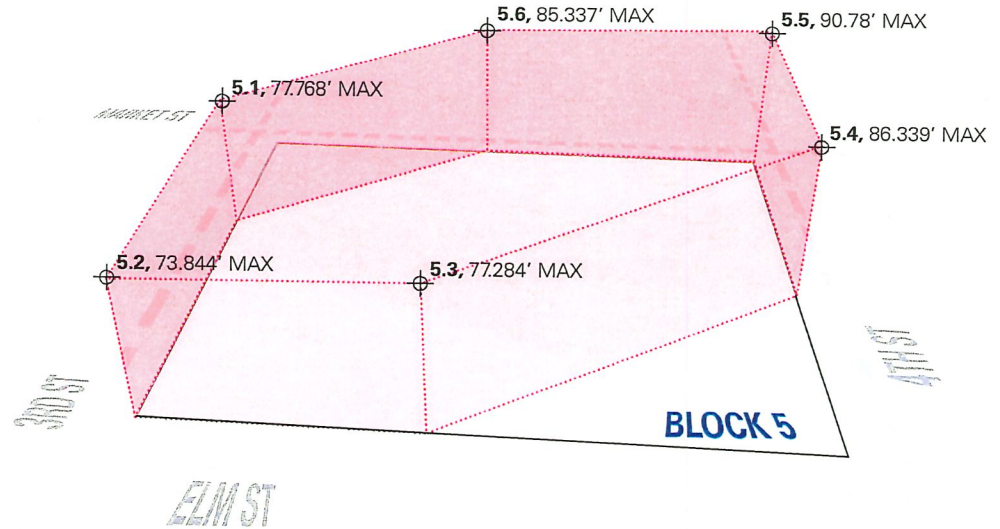
Viewshed

Principal Park to State Capitol



Block #	Datum Point #	Survey Coordinates		Max Elevation Above Sea Level (in ft.)	*Max Building Height (in ft.)
		Northings	Eastings		
5	5.1	7486115.6800	18528618.0312	873.482	77.768
	5.2	7485952.4595	18528661.9657	870.663	73.844
	5.3	7485985.9729	18528784.7501	873.841	77.284
	5.4	7486150.7243	18528928.5966	880.397	86.339
	5.5	7486296.0097	18528889.4898	882.906	90.78
	5.6	7486250.7930	18528723.3458	878.61	85.337

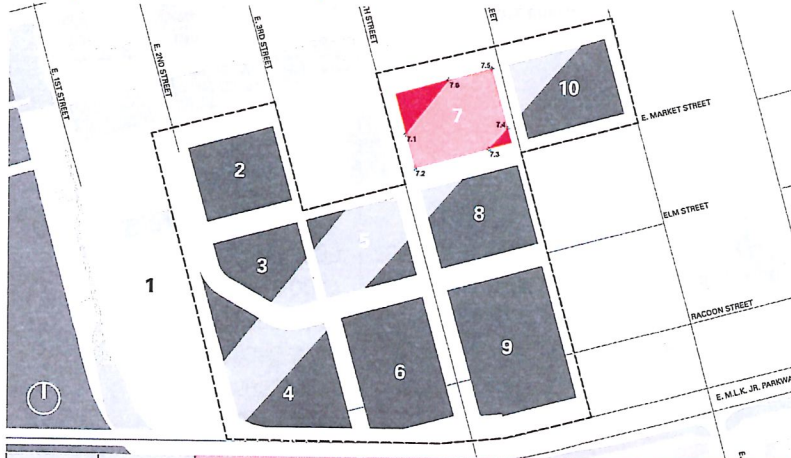
- *Denotes the maximum building height when measured from the proposed grade at the point identified on the plan to a point vertically and directly above it
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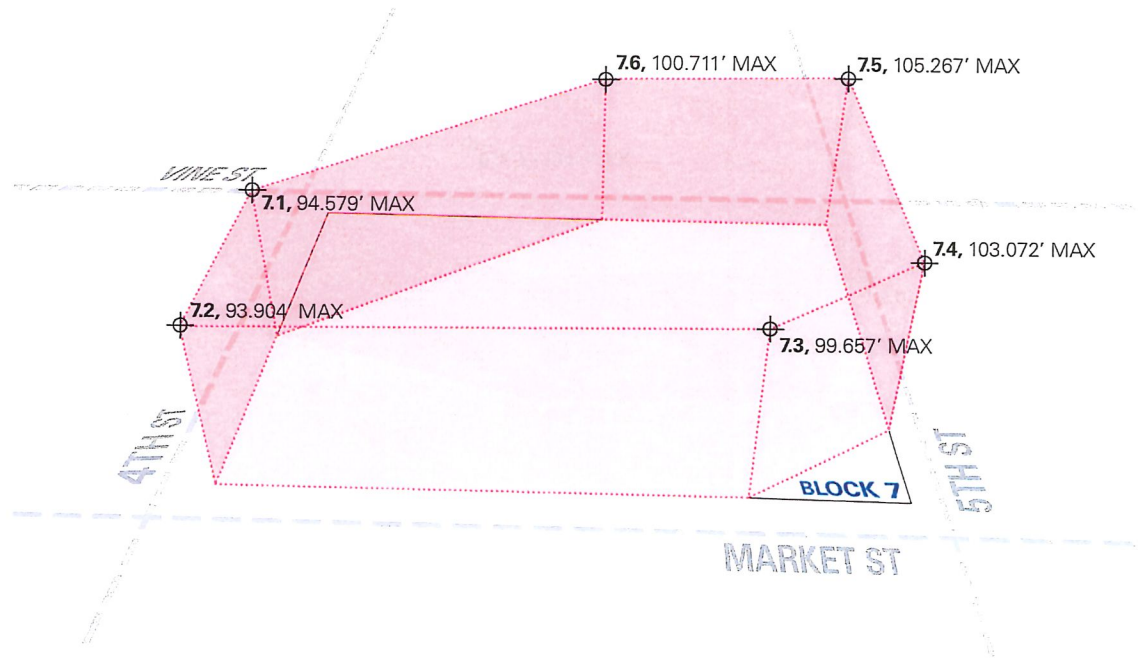
Viewshed

Principal Park to State Capitol



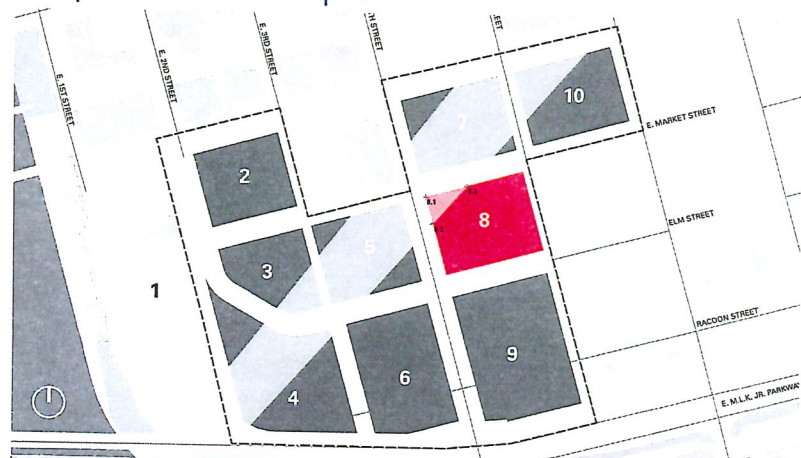
Block #	Datum Point #	Survey Coordinates		Max Elevation Above Sea Level (in ft.)	*Max Building Height (in ft.)
		Northings	Eastings		
7	7.1	7486503.7019	18528920.4771	888.207	94.579
	7.2	7486390.4662	18528950.9571	886.251	93.904
	7.3	7486457.2077	18529196.1912	892.593	99.657
	7.4	7486526.7258	18529256.8884	895.359	103.072
	7.5	7486723.4010	18529204.2668	898.762	105.267
	7.6	7486684.2024	18529061.1693	895.056	100.711

- *Denotes the maximum building height when measured from the proposed grade at the point identified on the plan to a point vertically and directly above it
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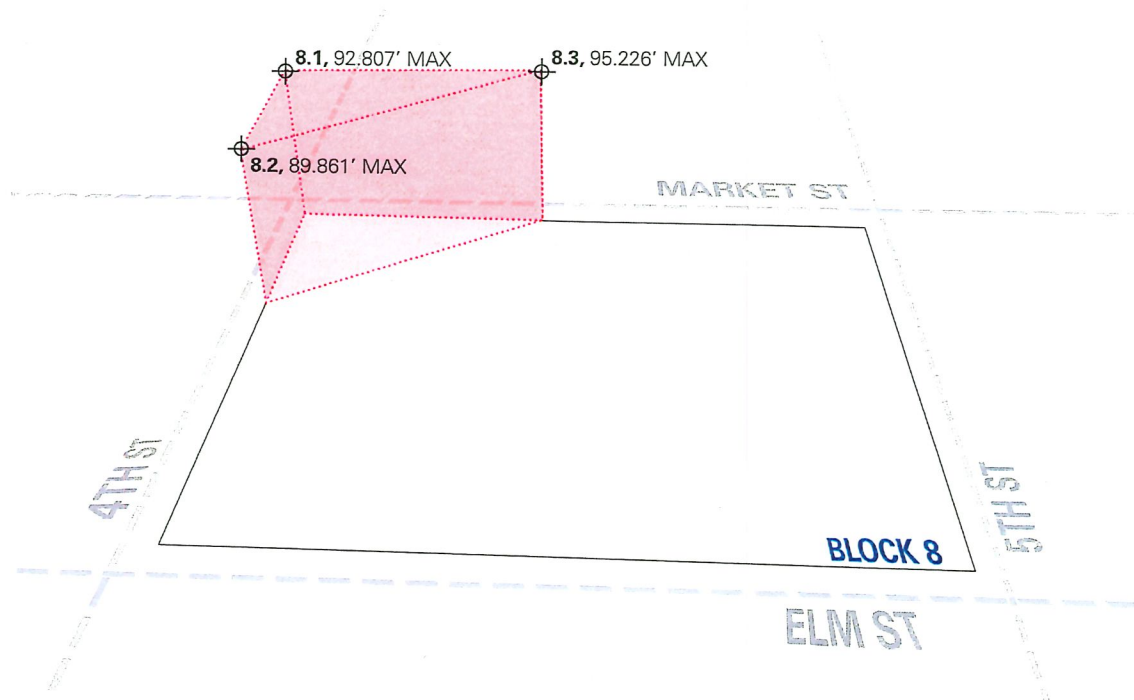
+ Viewshed

Principal Park to State Capitol



Block #	Datum Point #	Survey Coordinates		Max Elevation Above Sea Level (in ft.)	*Max Building Height (in ft.)
		Northings	Eastings		
8	8.1	7486317.8431	18528970.6027	885.002	92.807
	8.2	7486226.8785	18528995.0879	883.427	89.861
	8.3	7486355.2529	18529107.1732	888.535	95.226

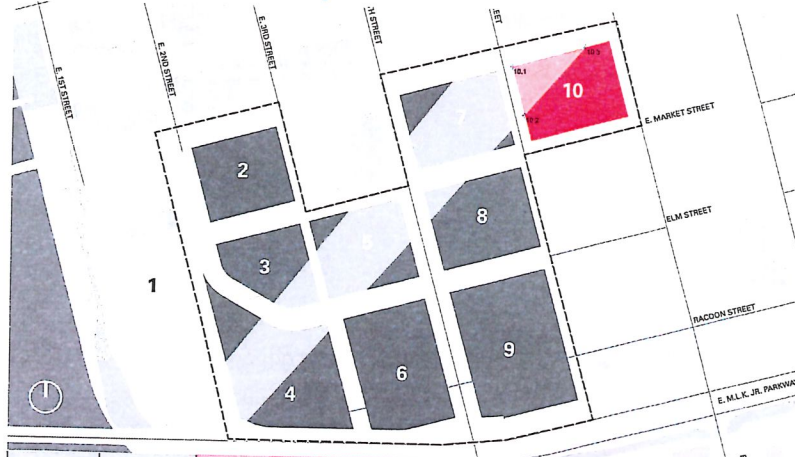
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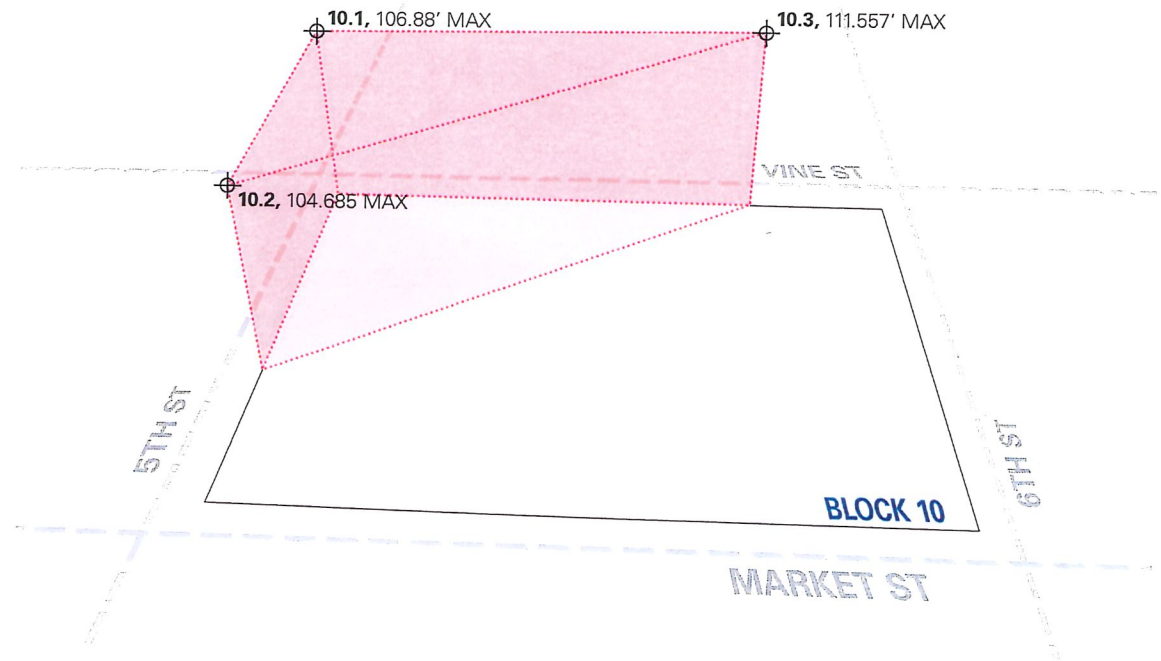
Viewshed

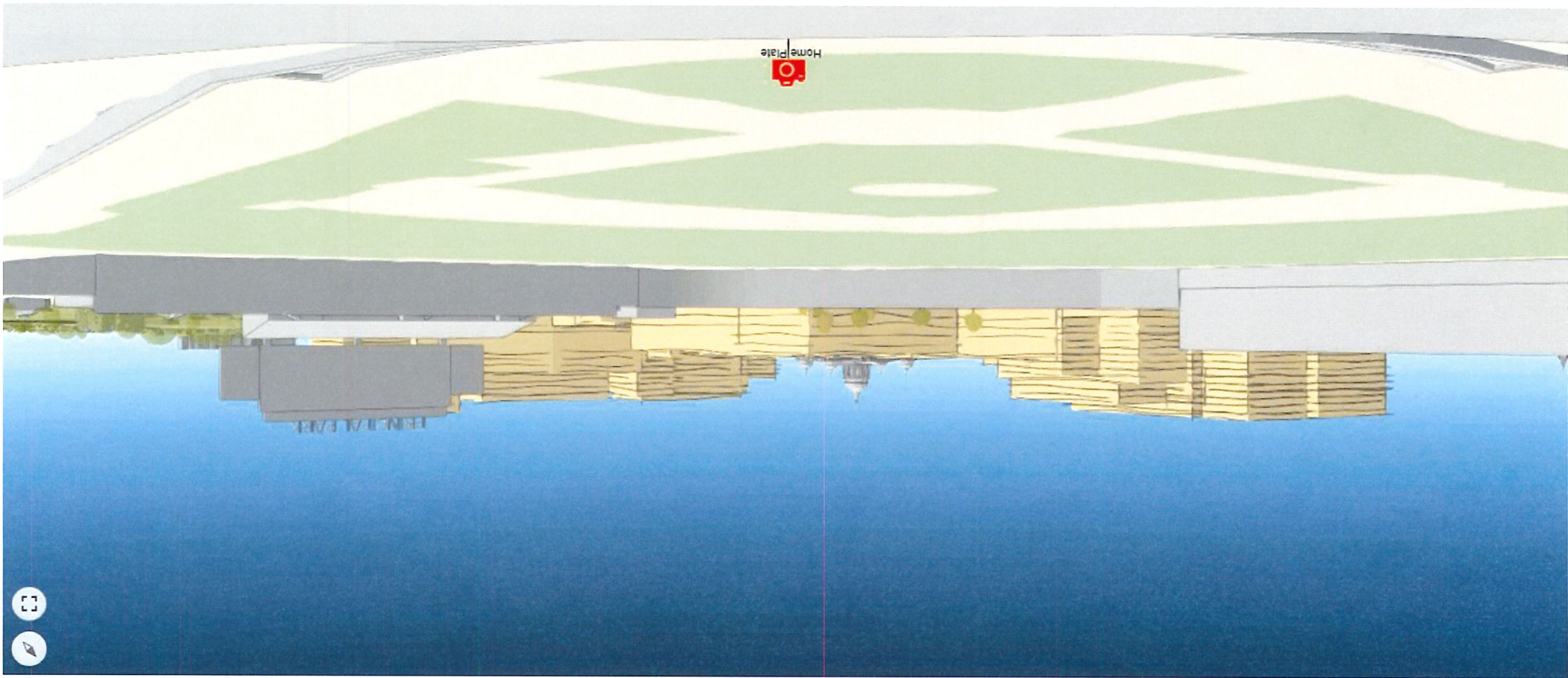
Principal Park to State Capitol

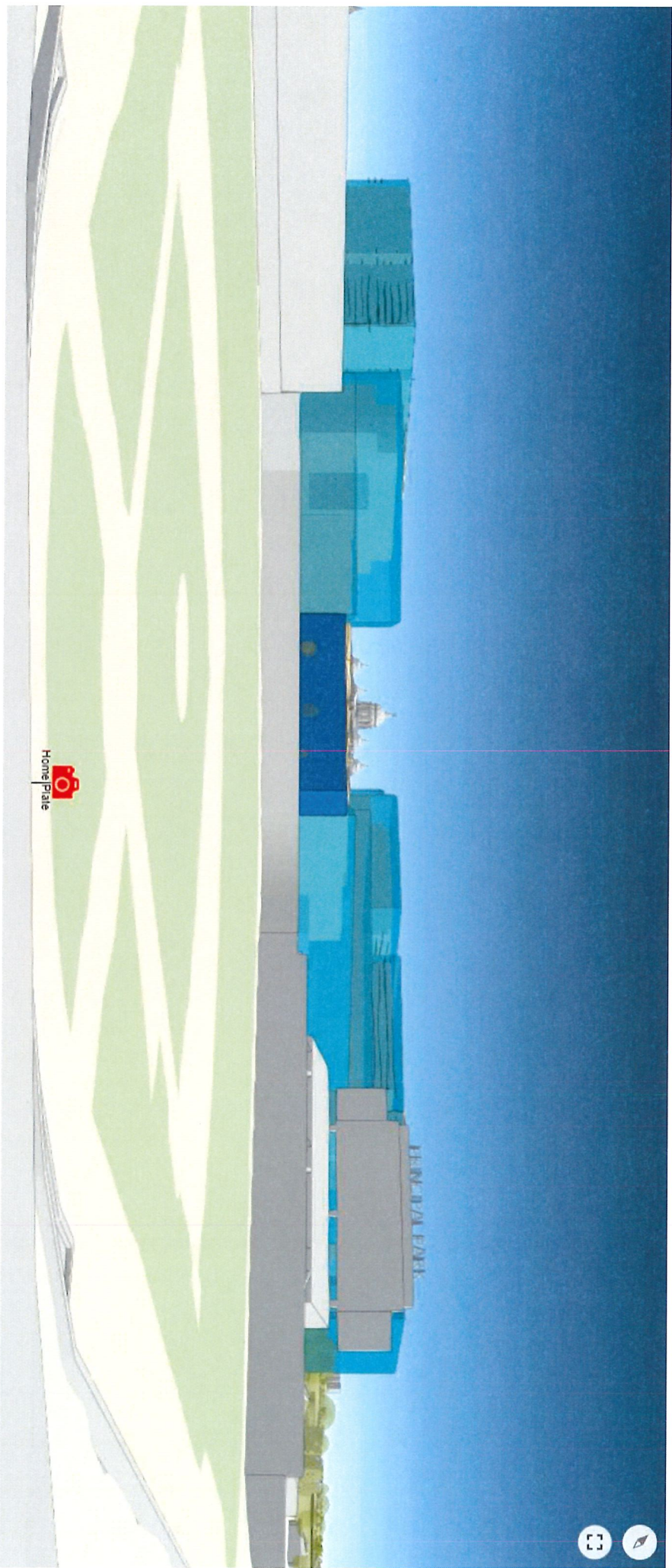


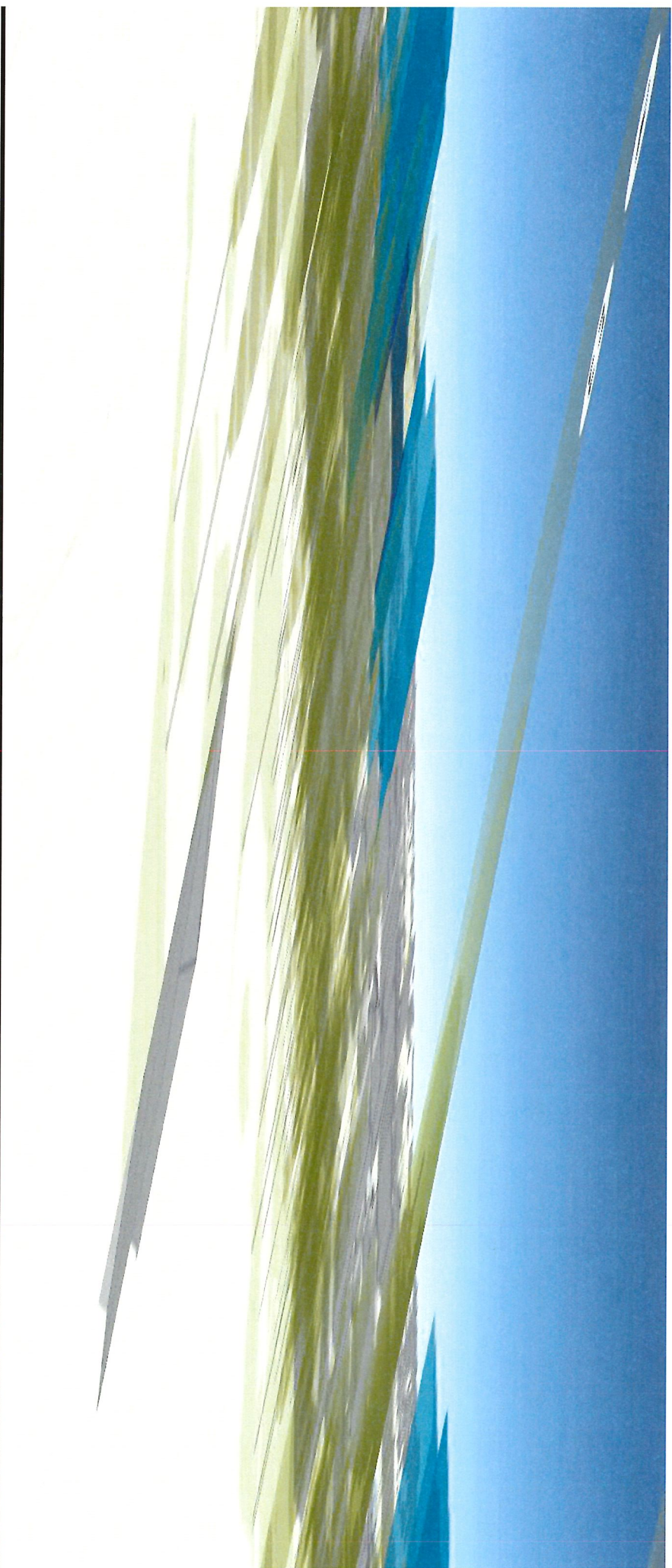
Block #	Datum Point #	Survey Coordinates		Max Elevation Above Sea Level (in ft.)	*Max Building Height (in ft.)
		Northings	Eastings		
10	10.1	7486738.1963	18529258.2780	900.161	106.88
	10.2	7486577.5466	18529301.2607	897.381	104.685
	10.3	7486804.1731	18529499.1312	906.399	111.557

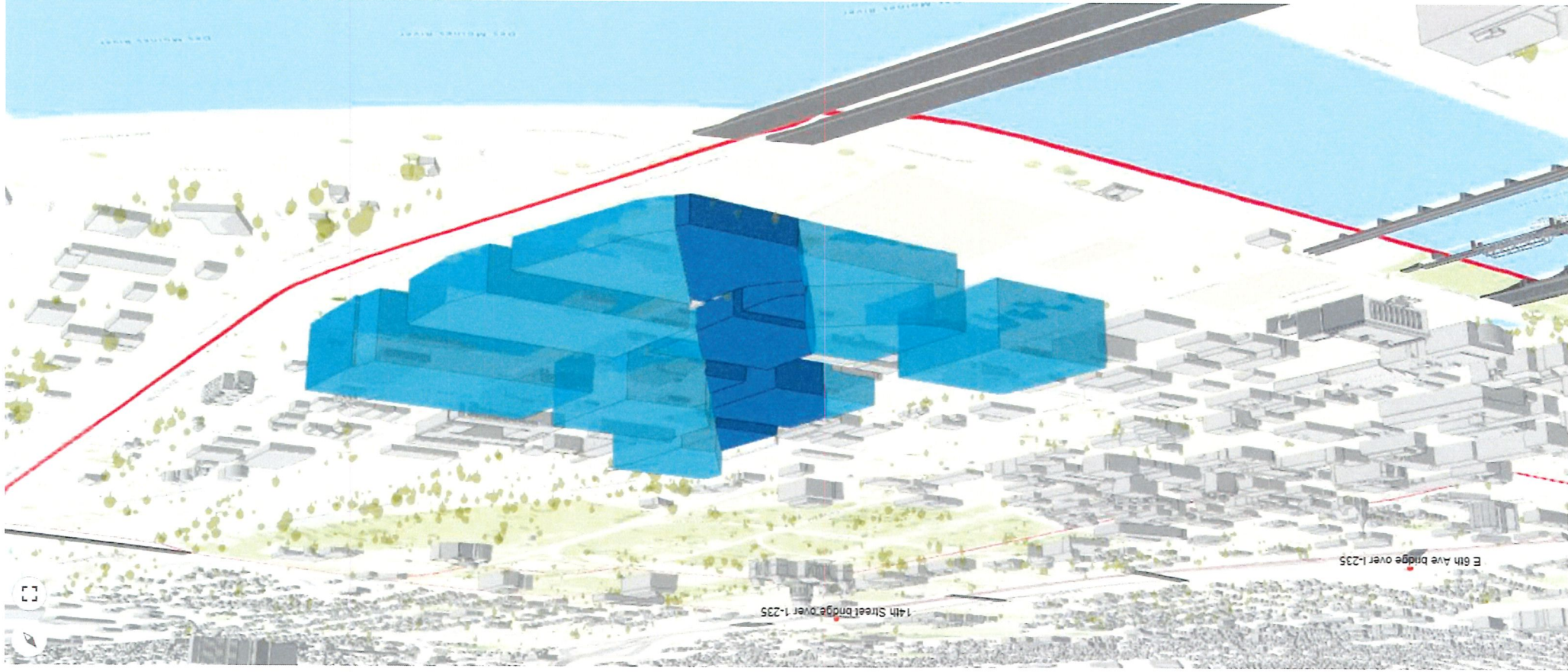
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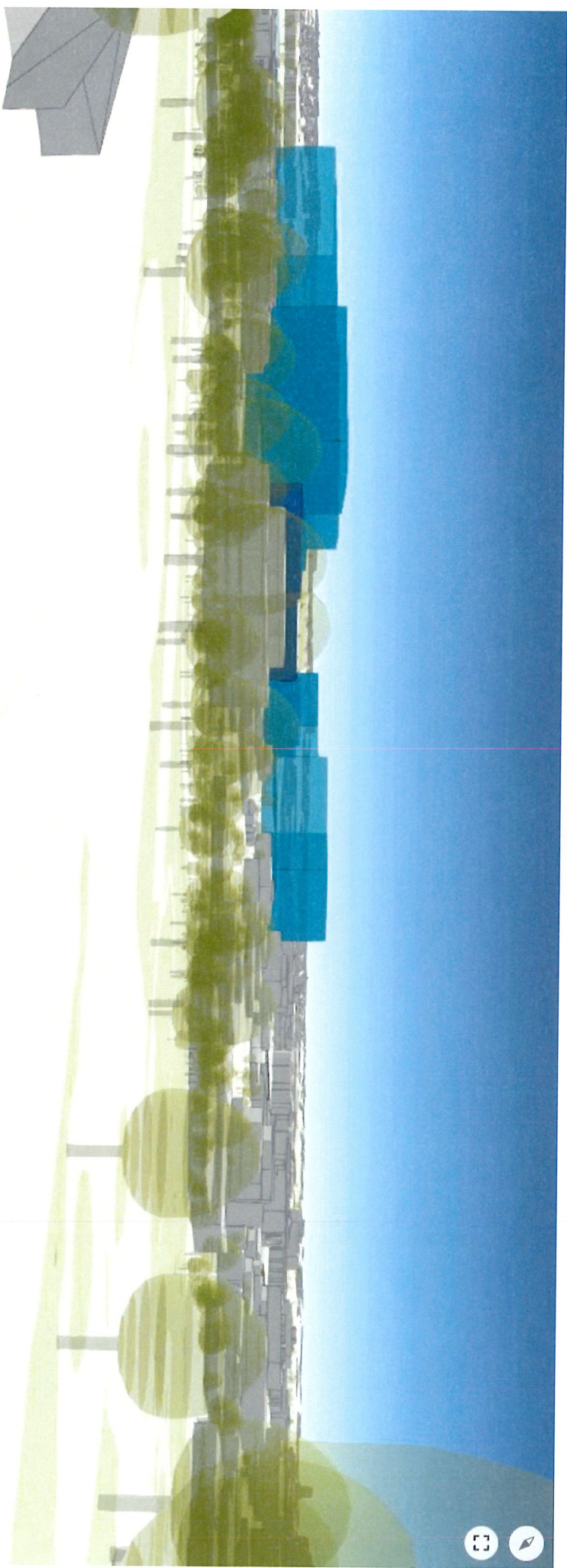








4th and Locust





Market District

Planning and Zoning

PROJECT OVERVIEW / OPPORTUNITY

DISTRICT VISION / CONNECTIONS

PUBLIC REALM IMPROVEMENTS

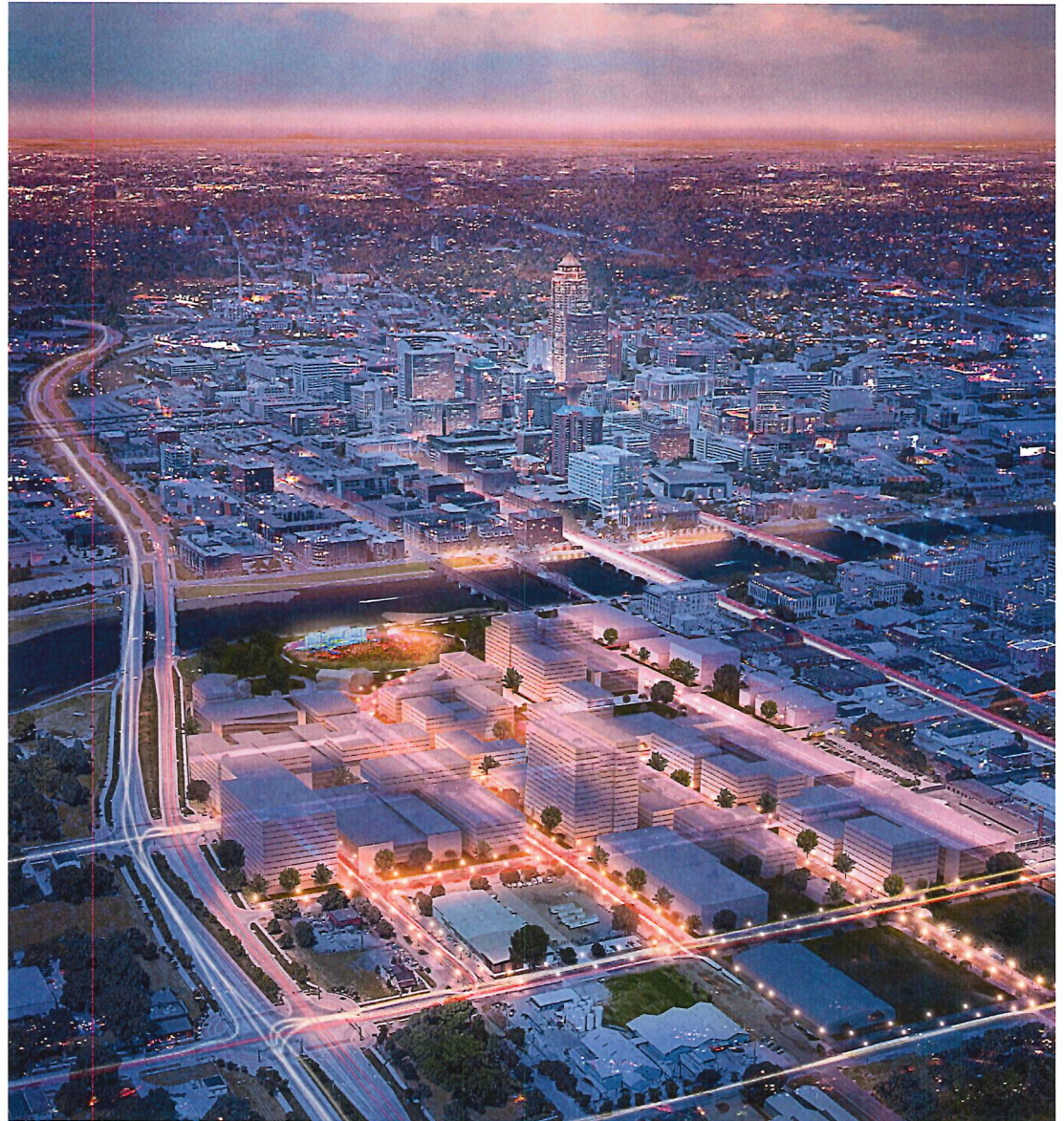
Market District - The Big Move

Project Principles

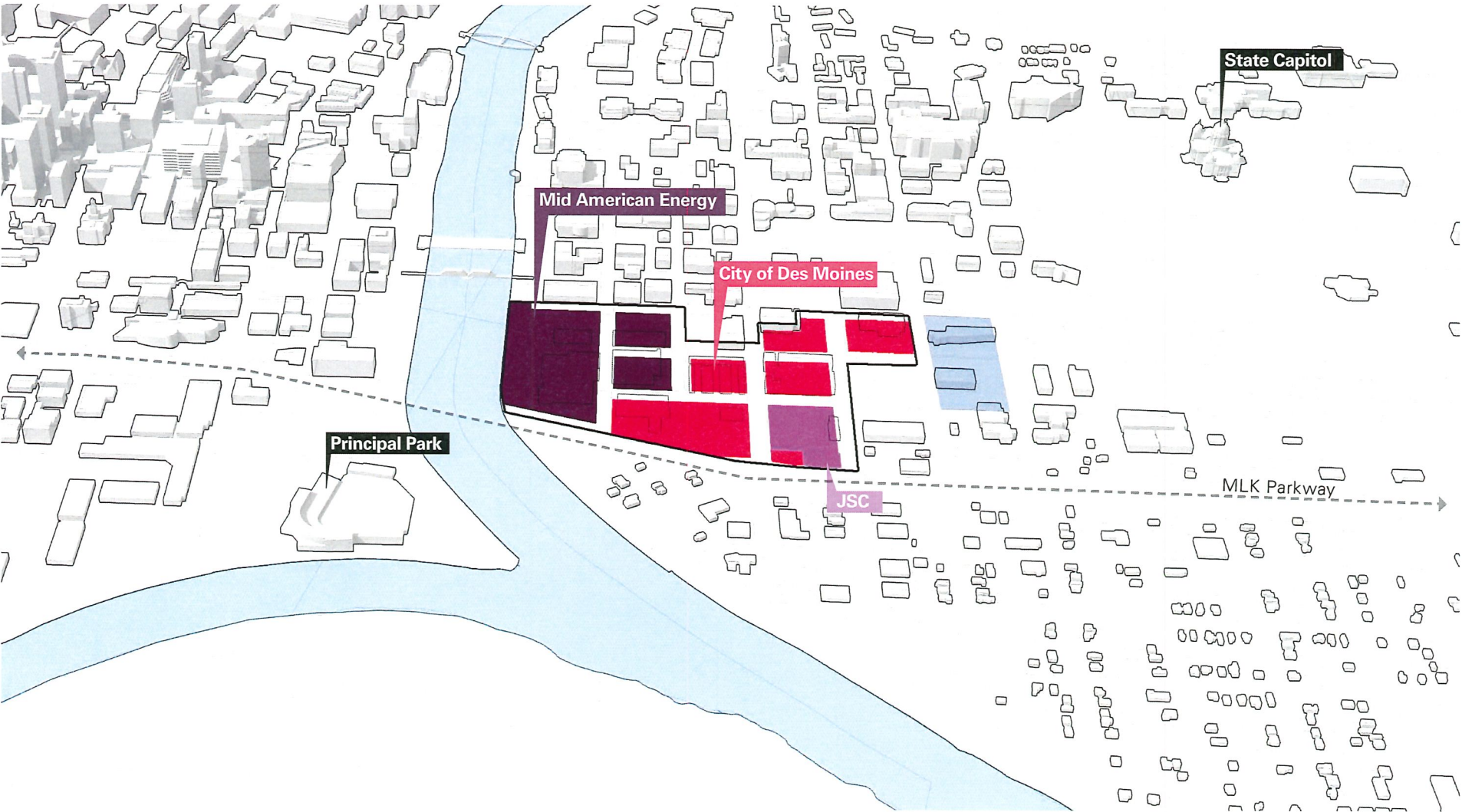
The Market District will catalyze development within the broader East Village, creating an economic asset for the City as a whole. The Market District Master Plan, Move DSM and Connect Downtown Master Plan have provided the foundation for the planning and implementation of this project, and as such the goals and objectives have informed the project principles, which have guided decision making and development.

GOALS

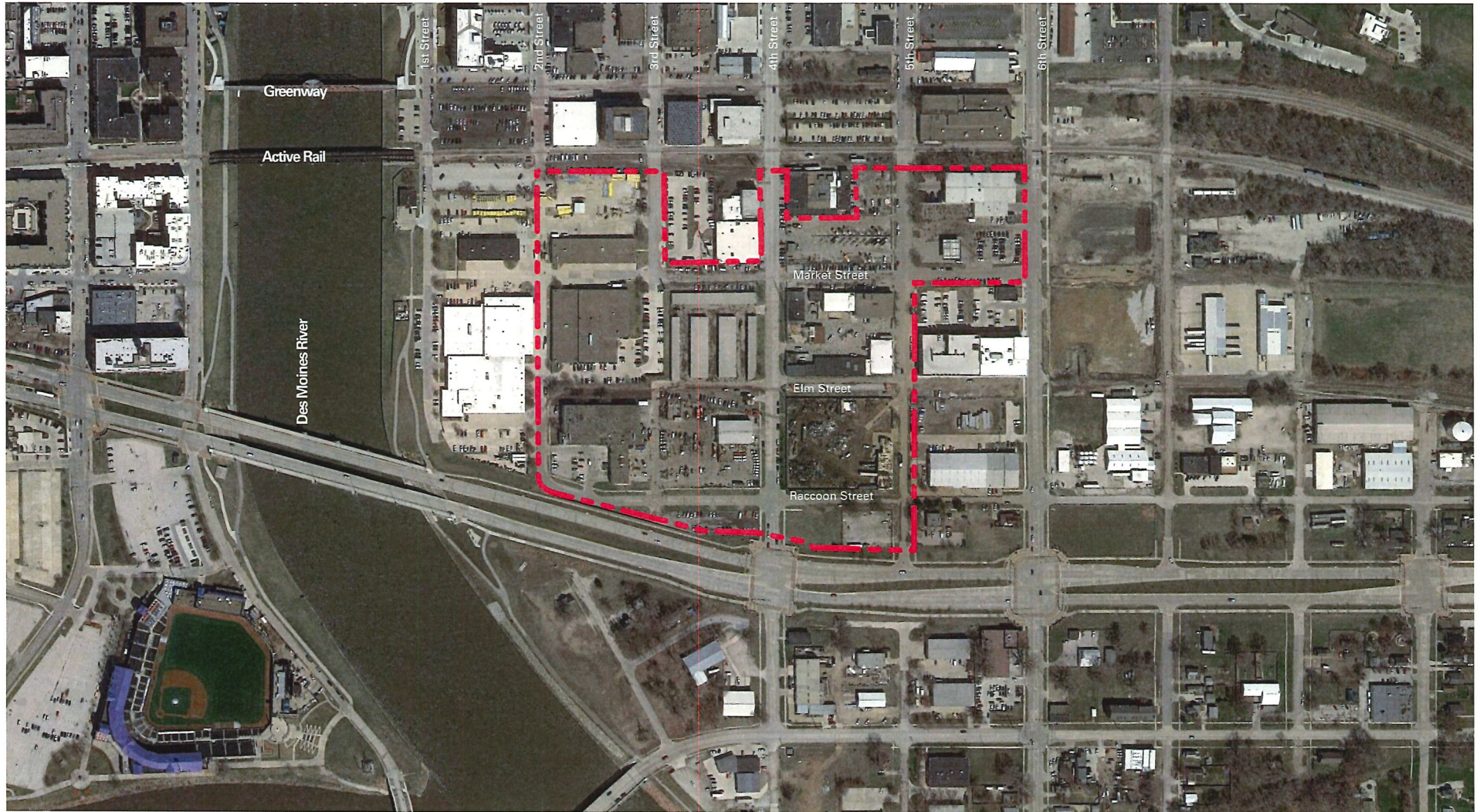
- **Develop a complete multi-modal transportation network for pedestrians, bikes, transit and automobiles**
- **Develop updated street design standards**
- **Enhance the bicycle network**
- **Provide opportunities for healthy lifestyles**
- **Make transit more attractive**



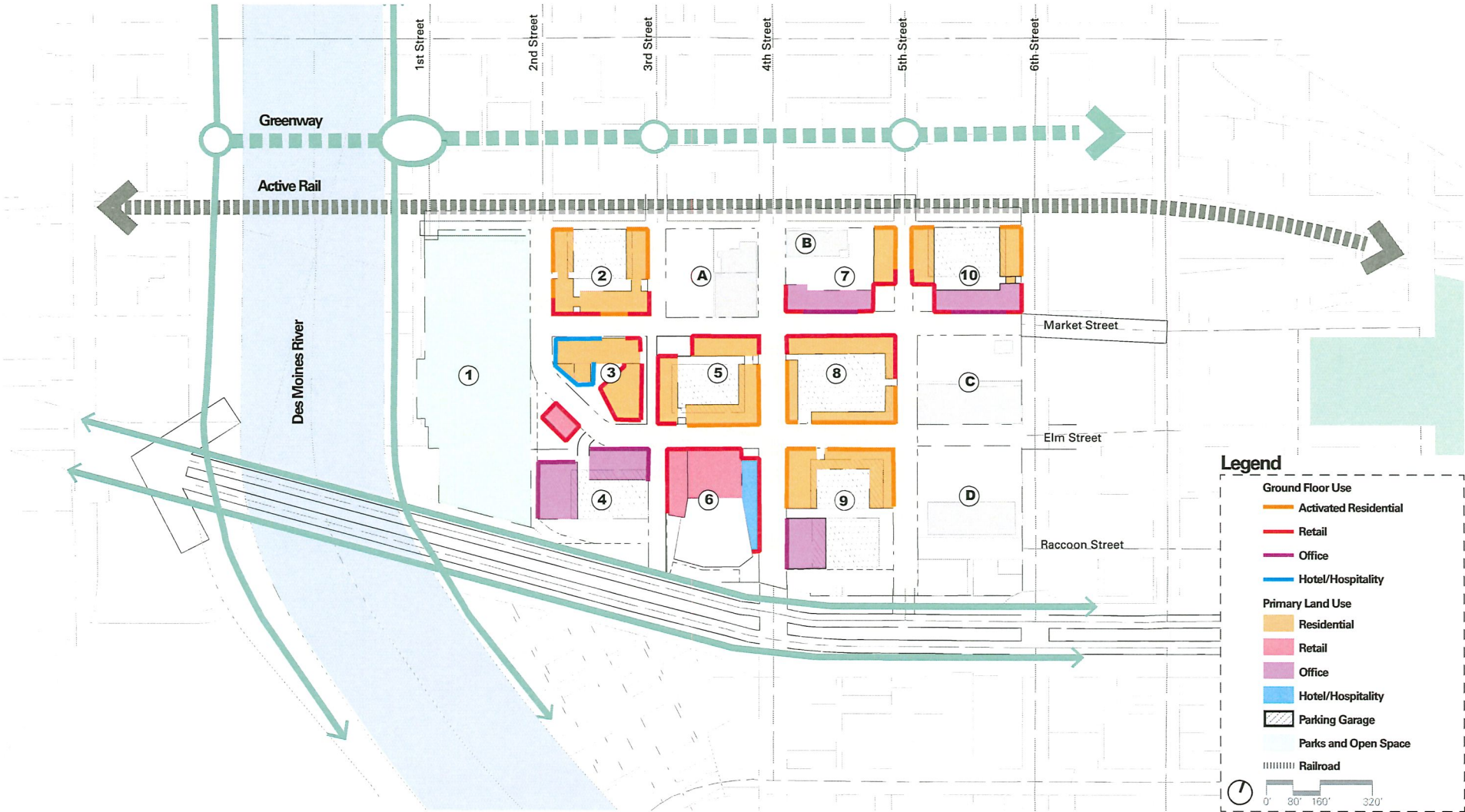
Market District -
Ownership



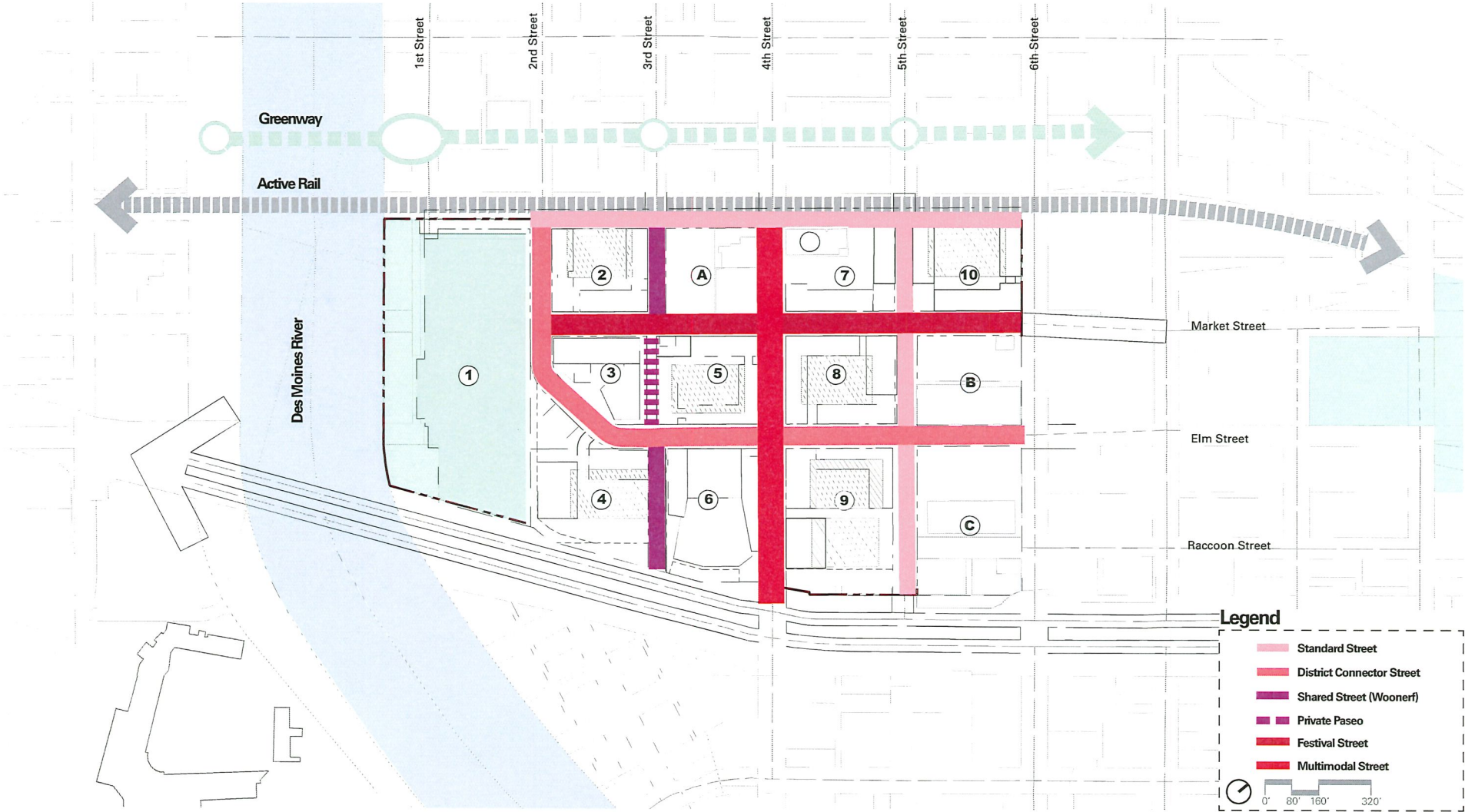
Market District - Existing Context



Market District -
Proposed Land Use



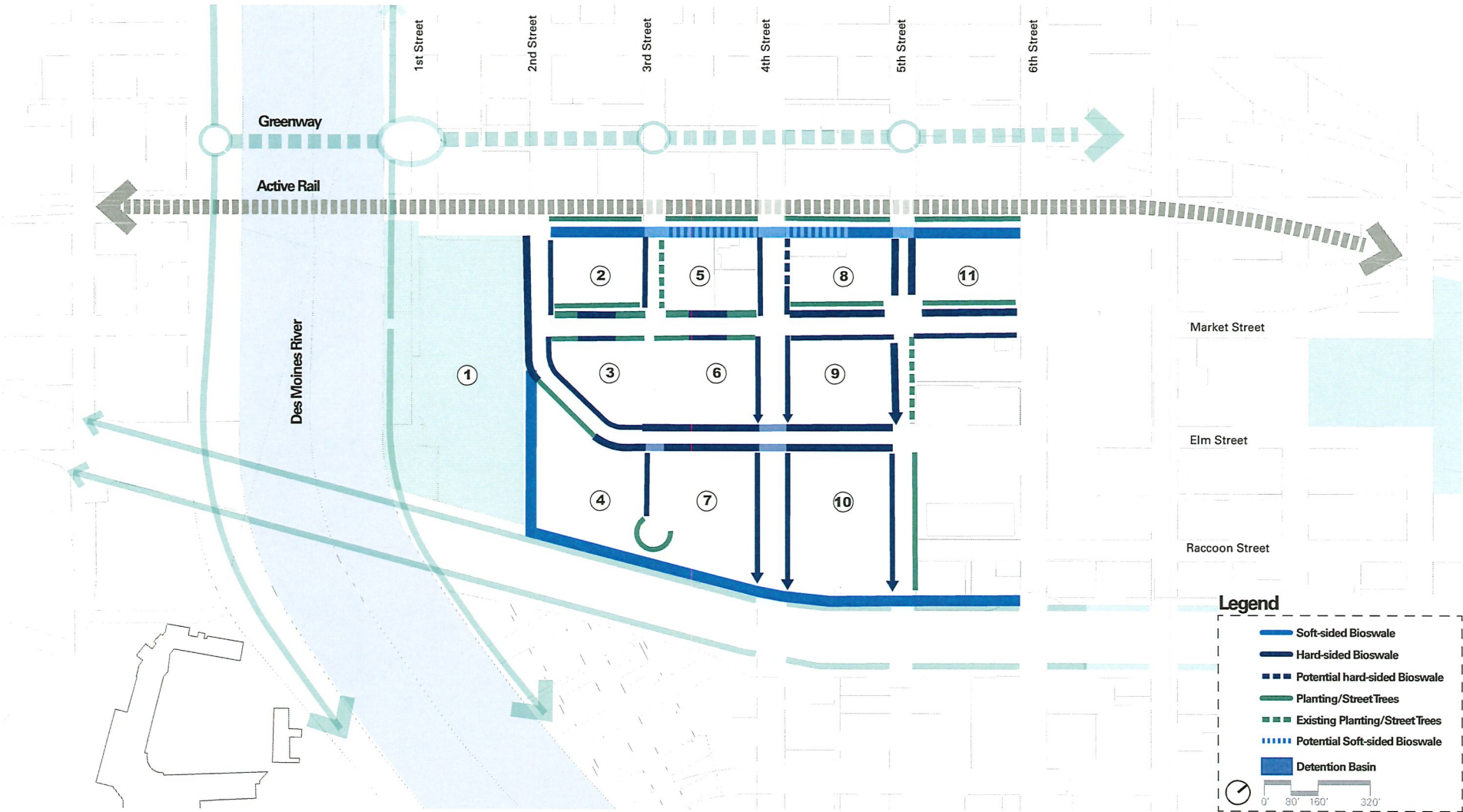
Market District -
Street Typology



Market District -
Site Plan



Market District -
Low Impact Design Infrastructure

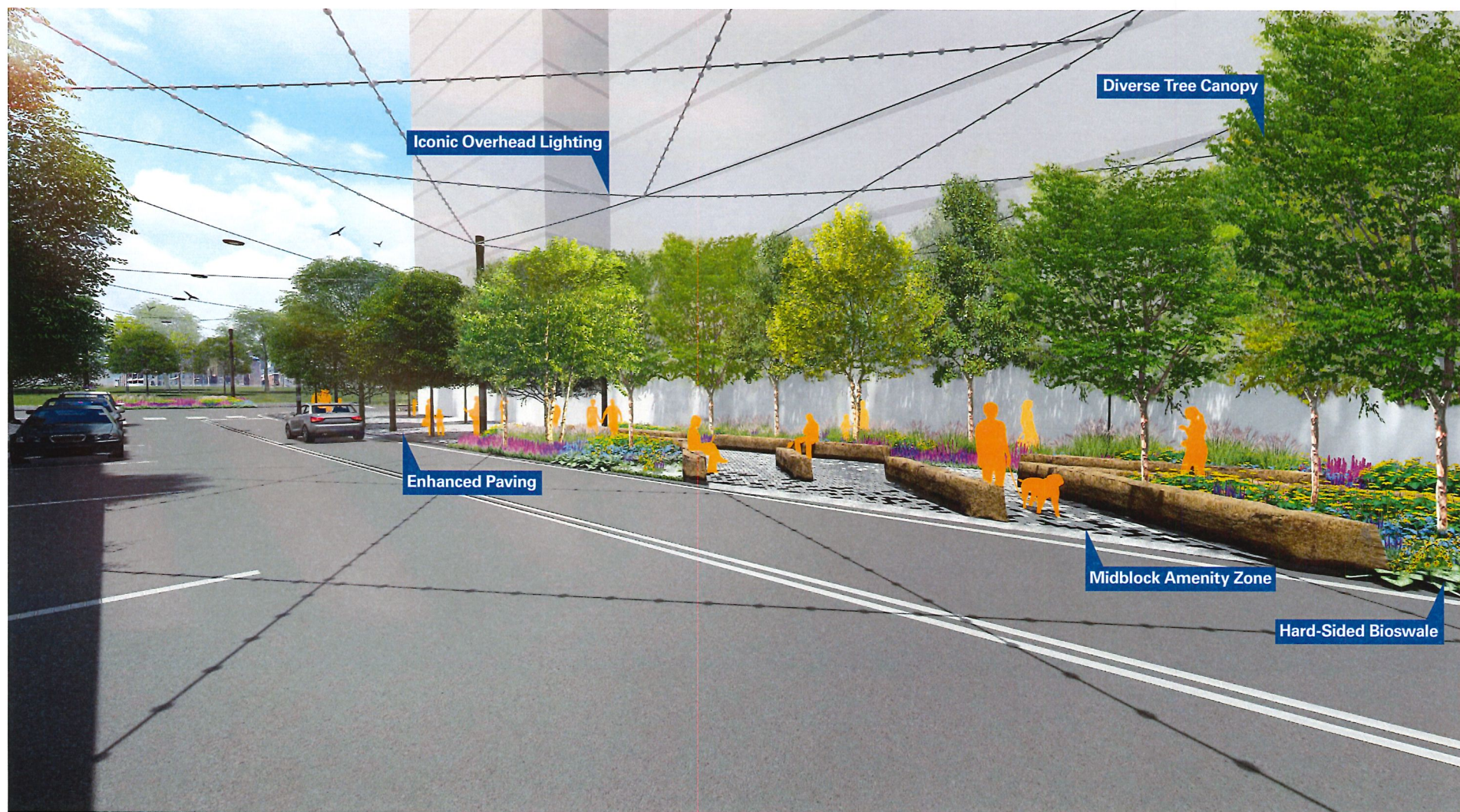


*Note: Trees along the east side of 3rd Street at Block 5 to remain. All previous improvements along the east side 5th Street at Blocks 12, 13 and 14 to remain.

Market District - 4th Street Illustrative View

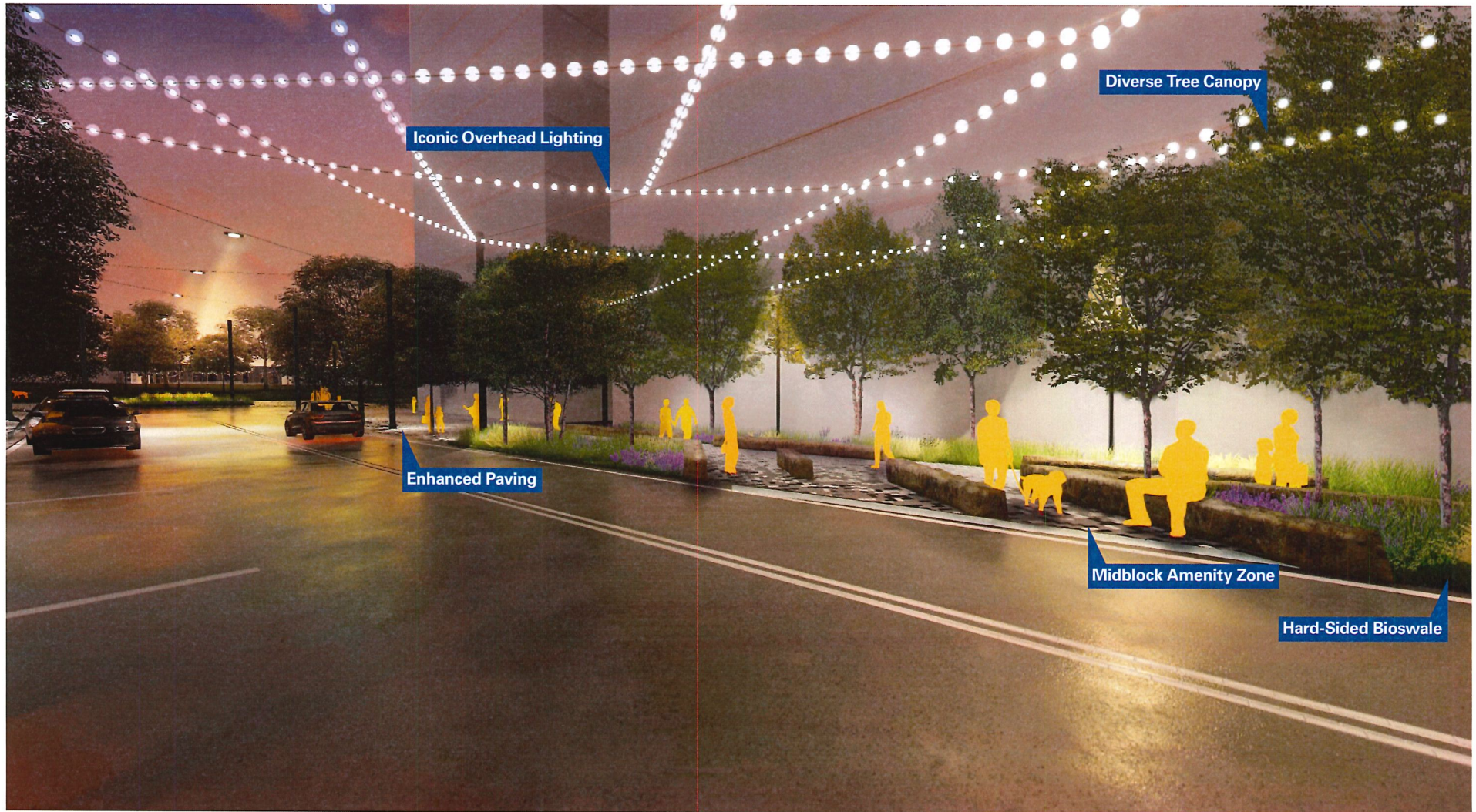


Market District - Market Street Illustrative View



This is an illustrative interpretation only. The streetscape design is conceptual and subject to change. All indications of buildings are for illustrative purposes only, building massing and heights are subject to change.

Market District - Market Street Illustrative View



This is an illustrative interpretation only. The streetscape design is conceptual and subject to change. All indications of buildings are for illustrative purposes only, building massing and heights are subject to change.

Market District - Elm Street Illustrative View



This is an illustrative interpretation only. The streetscape design is conceptual and subject to change. All indications of buildings are for illustrative purposes only, building massing and heights are subject to change.

Market District - Illustrative View



This is an illustrative interpretation only. The streetscape design is conceptual and subject to change. All indications of buildings are for illustrative purposes only, building massing and heights are subject to change.

UTILITY LEGEND

EXISTING

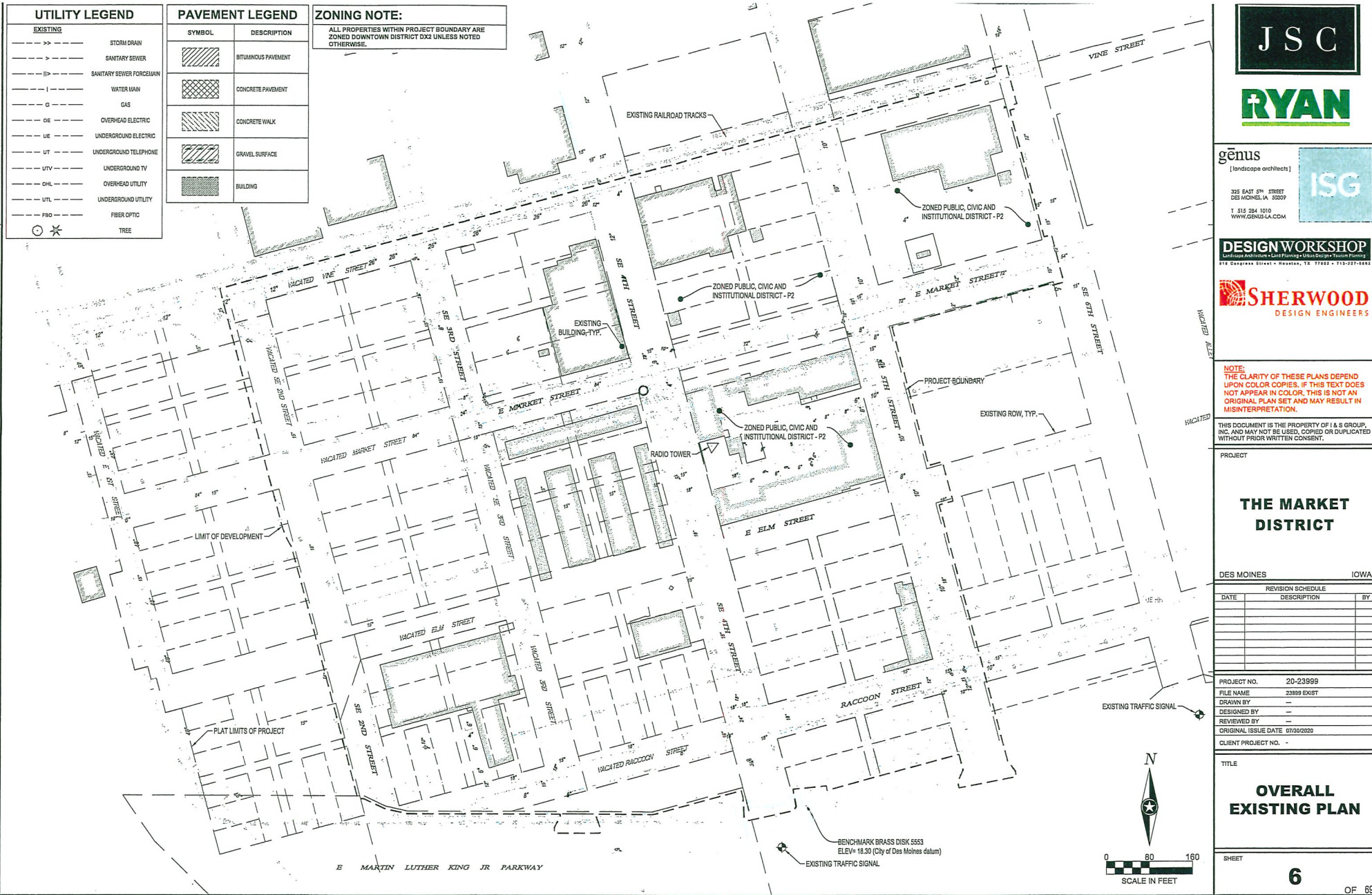
---	STORM DRAIN
---	SANITARY SEWER
---	SANITARY SEWER FORCEMAIN
---	WATER MAIN
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	UNDERGROUND TV
---	OVERHEAD UTILITY
---	UNDERGROUND UTILITY
---	FIBER OPTIC
○	TREE

PAVEMENT LEGEND

SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE WALK
	GRAVEL SURFACE
	BUILDING

ZONING NOTE:

ALL PROPERTIES WITHIN PROJECT BOUNDARY ARE ZONED DOWNTOWN DISTRICT DX2 UNLESS NOTED OTHERWISE.



gēnus
[landscape architects]

325 EAST 8TH STREET
DES MOINES, IA 50309
T 515 284 1010
WWW.GENUS-LA.COM

ISG

DESIGNWORKSHOP
[architects]

215 CARPENTERS STREET • HOUSTON, TX 77002 • 713-227-5882

SHERWOOD
DESIGN ENGINEERS

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PROJECT

THE MARKET DISTRICT

DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 20-23999

FILE NAME 23899 EXIST

DRAWN BY —

DESIGNED BY —

REVIEWED BY —

ORIGINAL ISSUE DATE 07/30/2020

CLIENT PROJECT NO. —

TITLE

OVERALL EXISTING PLAN

SHEET

6

OF 69

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION

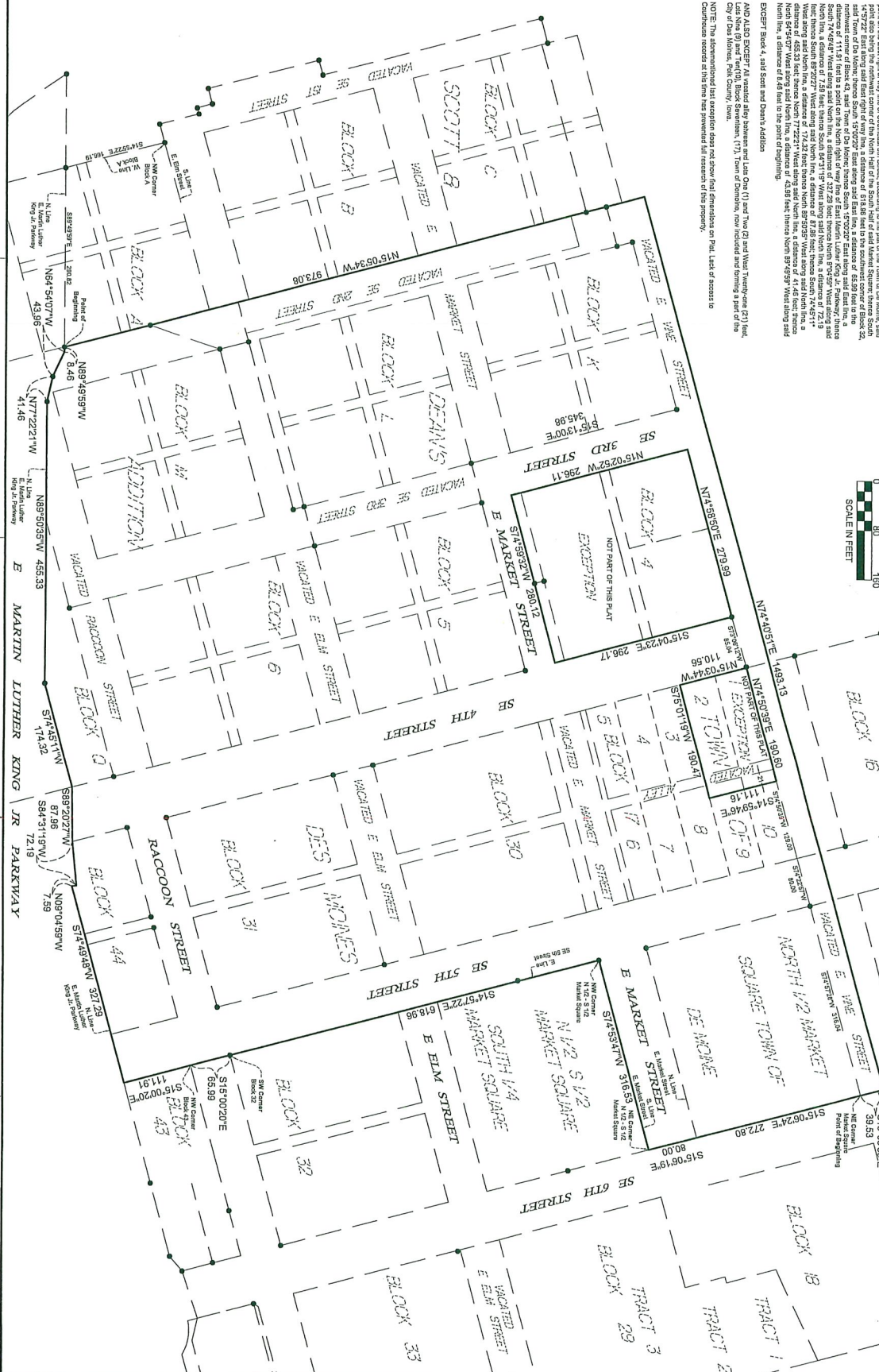
All that part of Scott and Darn's Addition, an Official Plat, and that part of Town of De Moines, an Official Plat, City of Des Moines, Polk County, Iowa, described as follows:

[illegible]

AND ALSO EXCEPT All vacated alley between and Lots One (1) and Two (2) and West Twenty-one (21) feet Lots Nine (9) and Ten(10), Block Seventeen, (17), Town of Demolno, now included and forming a part of the City of Das Moines, Polk County, Iowa.

NOTE: The aforementioned last exception does not show final dimensions on Plal. Lack of access to Courthouse records at this time has prevented full research of this property.

0 80 160
SCALE IN FEET



(landscape architects)

ISG

DESIGN WORKSHOP
Landscaping • Land Planning • Urban Design • Terrain Planning
818 Congress Street • Houston, TX 77002 • 713-227-0888



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THE MARKET DISTRICT

[illegible]

SKETCH OF DESCRIPTION

7

All that part of Scott and Dean's Addition, an Official Plat, and that part of Town of De Moines, an Official Plat, City of Des Moines, Polk County, Iowa, described as follows:

^abeginning at the northwest corner of Block A; thence South 74°46'17" West (assumed bearing) along the South line of vacated East Elm Street, a distance of 30.18 feet; thence North 90°50'59" West, a distance of 68.00 feet; thence South 74°46'17" West, a distance of 12.00 feet; thence North 90°50'59" West, a distance of 10.00 feet; thence North 90°50'59" West, a distance of 18.24 feet; thence South 74°41'43" East, a distance of 23.00 feet; thence North 90°50'59" West, a distance of 453.98 feet; thence North 74°40'51" East, a distance of 1,814.25 feet to a point on the West right-of-way line of Southeast Sixth Street, thence North 10°50'59" West, a distance of 13.00 feet; thence North 90°50'59" West, a distance of 13.00 feet; thence North 90°50'59" West, a distance of Market Square sign said Town of De Meane; thence South 51°05'02"E east along said West Line, a distance of 272.80 feet to a point on the north-right-of-way line of East Market Street, according to the plat of the Town of De Meaine, thence South 15°10'19"N east along said West Line, a distance of 23.00 feet; thence North 90°50'59" West, a distance of 13.00 feet; thence North 90°50'59" West, a distance of 13.00 feet; thence South 74°41'43" East along the South half of said Market Square; thence South 74°57'47" West along the South right-of-way line of east East Market Street, a distance of 315.53 feet to a point on the East right-of-way line of Southeast 5th Street, according to the plat of the Town of De Meaine, said point also being located on the East side of said Southeast 5th Street, thence North 90°50'59" West, a distance of 13.00 feet; thence North 90°50'59" West, a distance of 161.85 feet to the southwest corner of Block 32, said Town of De Meaine; thence South 14°00'20" East along said East Line, a distance of 111.51 feet; thence North 90°50'59" West, a distance of 13.00 feet; thence North 90°50'59" West, a distance of 13.00 feet; thence North 90°50'59" West, a distance of 13.00 feet to a point on the North right-of-way line of East Market Street near King St., Parkway; thence South 74°45'48" West along said North Line, a distance of 322.29 feet; thence North 90°45'59" West along said North Line, a distance of 7.59 feet; thence South 83°14'19"N West along said North Line, a distance of 111.51 feet; thence North 90°50'59" West along said North Line, a distance of 13.00 feet; thence North 90°50'59" West along said North Line, a distance of 174.32 feet; thence North 89°53'59"W west along said North Line, a distance of 455.33 feet; thence North 77°22'21" West along said North Line, a distance of 41.48 feet; thence North 80°54'50" West along said North Line, a distance of 43.96 feet; thence North 90°50'59" West along said North Line, a distance of 12.00 feet to a point on the Northeast Corner of Block A; thence South 74°46'17" West along said North Line, a distance of 188.19 feet to the point of beginning.

EXCEPT Block 4, said Scott and Dean's Addition

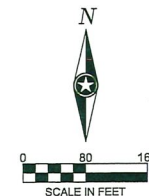
AND ALSO EXCEPT All vacated alley between and Lots One (1) and Two (2) and West Twenty-one (21) feet, Lots Nine (9) and Ten(10), Block Seventeen, (17), Town of Demoline, now included and forming a part of the City of Des Moines, Polk County, Iowa.

1. The aforementioned last exception does not show final dimensions on Plat. Lack of access to Courthouse records at this time has prevented full research of this property.

2. At this time, the addresses of each Block are not known. This will be coordinated with the City and provided as part of revised Preliminary Plat sheets.

THE MARKET DISTRICT

PRELIMINARY PLAT



J S C

RYAN

gēnus
[landscape architects]

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WWW.GENUS-LA.COM

ISG

DESIGN WORKSHOP
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818 Congress Street • Houston, TX 77002 • 713-227-0881



SHERWOOD
DESIGN ENGINEERS

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PROJECT	
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THE MARKET DISTRICT

DES MOINES IOWA

[illegible]

PROJECT NO.	20-23999
FILE NAME	23999 PPLAT BNDY
DRAWN BY	KH
DESIGNED BY	--
REVIEWED BY	TWGE
ORIGINAL ISSUE DATE	07/30/2020
CLIENT PROJECT NO.	-

**PRELIMINARY
PLAT - BOUNDARY**

SHEET

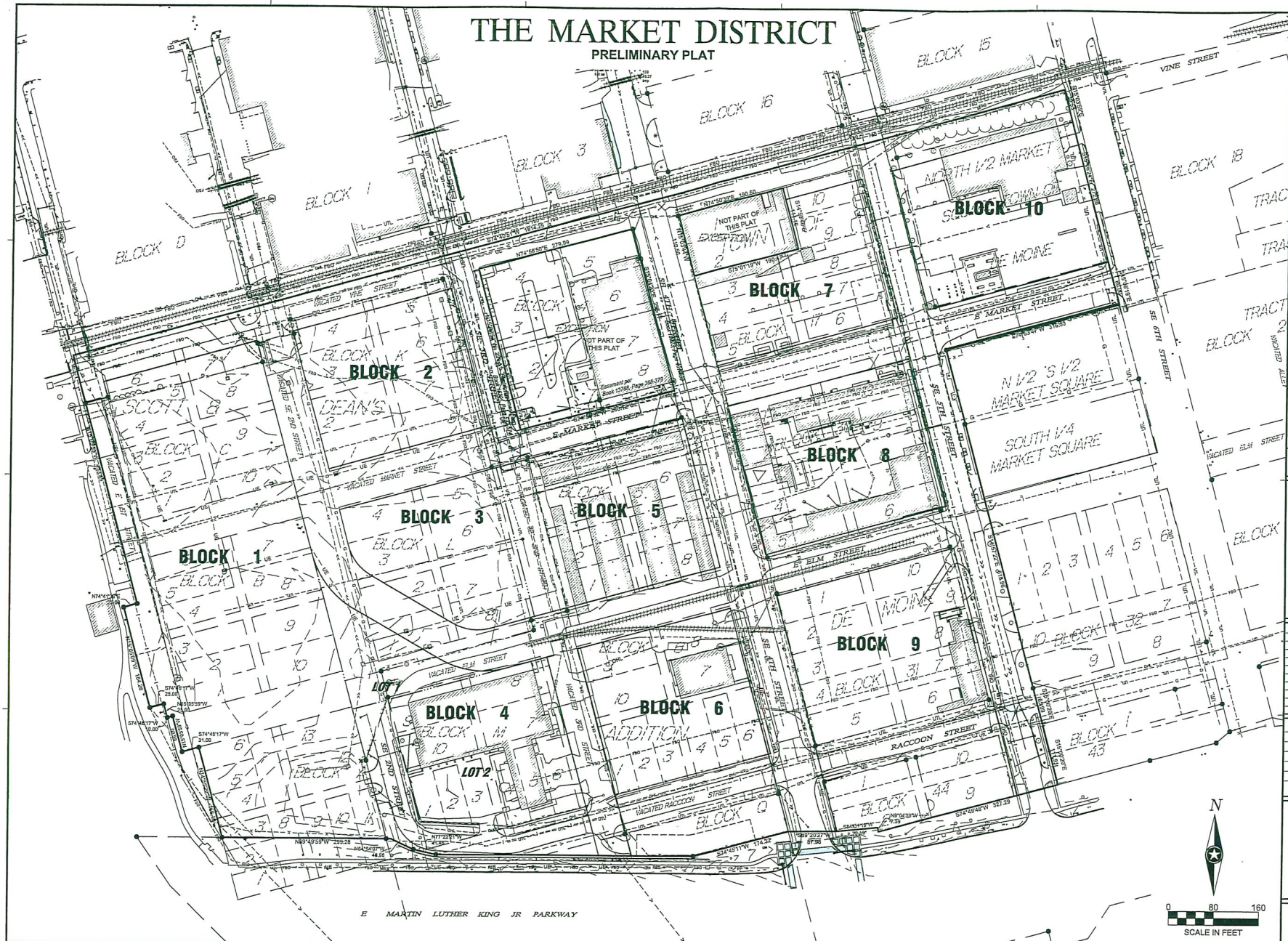
C

OF 6

	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	AA	AB	AC	AD	AE	AF	AG	AH	AI	AJ	AK	AL	AM	AN	AO	AP	AQ	AR	AS	AT	AU	AV	AW	AX	AY	AZ	BA	BB	BC	BD	BE	BF	BG	BH	BI	BJ	BK	BL	BM	BN	BO	BP	BQ	BR	BS	BT	BU	BV	BW	BX	BY	BZ	CA	CB	CC	CD	CE	CF	CG	CH	CI	CJ	CK	CL	CM	CN	CO	CP	CQ	CR	CS	CT	CU	CV	CW	CX	CY	CZ	DA	DB	DC	DD	DE	DF	DG	DH	DI	DJ	DK	DL	DM	DN	DO	DP	DQ	DR	DS	DT	DU	DV	DW	DX	DY	DZ	EA	EB	EC	ED	EE	EF	EG	EH	EI	EJ	EK	EL	EM	EN	EO	EP	EQ	ER	ES	ET	EU	EV	EW	EX	EY	EZ	FA	FB	FC	FD	FE	FF	FG	FH	FI	FJ	FK	FL	FM	FN	FO	FP	FQ	FR	FS	FT	FU	FV	FW	FX	FY	FZ	GA	GB	GC	GD	GE	GF	GG	GH	GI	GJ	GK	GL	GM	GN	GO	GP	GQ	GR	GS	GT	GU	GV	GW	GX	GY	GZ	HA	HB	HC	HD	HE	HF	HG	HH	HI	HJ	HK	HL	HM	HN	HO	HP	HQ	HR	HS	HT	HU	HV	HW	HX	HY	HZ	IA	IB	IC	ID	IE	IF	IG	IH	II	IJ	IK	IL	IM	IN	IO	IP	IQ	IR	IS	IT	IU	IV	IW	IX	IY	IZ	JA	JB	JC	JD	JE	JF	JG	JH	JI	JJ	JK	JL	JM	JN	JO	JP	JQ	JR	JS	JT	JU	JV	JW	JX	JY	JZ	KA	KB	KC	KD	KE	KF	KG	KH	KI	KJ	KK	KL	KM	KN	KO	KP	KQ	KR	KS	KT	KU	KV	KW	KX	KY	KZ	LA	LB	LC	LD	LE	LF	LG	LH	LI	LJ	LK	LL	LM	LN	LO	LP	LQ	LR	LS	LT	LU	LV	LW	LX	LY	LZ	MA	MB	MC	MD	ME	MF	MG	MH	MI	MJ	MK	ML	MM	MN	MO	MP	MQ	MR	MS	MT	MU	MV	MW	MX	MY	MZ	NA	NB	NC	ND	NE	NF	NG	NH	NI	NJ	NK	NL	NM	NN	NO	NP	NQ	NR	NS	NT	NU	NV	NW	NX	NY	NZ	OA	OB	OC	OD	OE	OF	OG	OH	OI	OJ	OK	OL	OM	ON	OO	OP	OQ	OR	OS	OT	OU	OV	OW	OX	OY	OZ	PA	PB	PC	PD	PE	PF	PG	PH	PI	PJ	PK	PL	PM	PN	PO	PP	PQ	PR	PS	PT	PU	PV	PW	PX	PY	PZ	QA	QB	QC	QD	QE	QF	QG	QH	QI	QJ	QK	QL	QM	QN	QO	QP	QQ	QR	QS	QT	QU	QV	QW	QX	QY	QZ	RA	RB	RC	RD	RE	RF	RG	RH	RI	RJ	RK	RL	RM	RN	RO	RP	RQ	RR	RS	RT	RU	RV	RW	RX	RY	RZ	SA	SB	SC	SD	SE	SF	SG	SH	SI	SJ	SK	SL	SM	SN	SO	SP	SQ	SR	SS	ST	SU	SV	SW	SX	SY	SZ	TA	TB	TC	TD	TE	TF	TG	TH	TI	TJ	TK	TL	TM	TN	TO	TP	TQ	TR	TS	TT	TU	<th>TW</th> <th>TX</th> <th>TY</th> <th>TZ</th> <th>UA</th> <th>UB</th> <th>UC</th> <th>UD</th> <th>UE</th> <th>UF</th> <th>UG</th> <th>UH</th> <th>UI</th> <th>UJ</th> <th>UK</th> <th>UL</th> <th>UM</th> <th>UN</th> <th>UO</th> <th>UP</th> <th>UQ</th> <th>UR</th> <th>US</th> <th>UT</th> <th>UU</th> <th>UV</th> <th>UW</th> <th>UX</th> <th>UY</th> <th>UZ</th> <th>VA</th> <th>VB</th> <th>VC</th> <th>VD</th> <th>VE</th> <th>VF</th> <th>VG</th> <th>VH</th> <th>VI</th> <th>VJ</th> <th>VK</th> <th>VL</th> <th>VM</th> <th>VN</th> <th>VO</th> <th>VP</th> <th>VQ</th> <th>VR</th> <th>VS</th> <th>VT</th> <th>VU</th> <th>VV</th> <th>VW</th> <th>VX</th> <th>VY</th> <th>VZ</th> <th>WA</th> <th>WB</th> <th>WC</th> <th>WD</th> <th>WE</th> <th>WF</th> <th>WG</th> <th>WH</th> <th>WI</th> <th>WJ</th> <th>WK</th> <th>WL</th> <th>WM</th> <th>WN</th> <th>WO</th> <th>WP</th> <th>WQ</th> <th>WR</th> <th>WS</th> <th>WT</th> <th>WU</th> <th>WV</th> <th>WW</th> <th>WX</th> <th>WY</th> <th>WZ</th> <th>XA</th> <th>XB</th> <th>XC</th> <th>XD</th> <th>XE</th> <th>XF</th> <th>XG</th> <th>XH</th> <th>XI</th> <th>XJ</th> <th>XK</th> <th>XL</th> <th>XM</th> <th>XN</th> <th>XO</th> <th>XP</th> <th>XQ</th> <th>XR</th> <th>XS</th> <th>XT</th> <th>XU</th> <th>XV</th> <th>XW</th> <th>XX</th> <th>XY</th> <th>XZ</th> <th>YA</th> <th>YB</th> <th>YC</th> <th>YD</th> <th>YE</th> <th>YF</th> <th>YG</th> <th>YH</th> <th>YI</th> <th>YJ</th> <th>YK</th> <th>YL</th> <th>YM</th> <th>YN</th> <th>YO</th> <th>YP</th> <th>YQ</th> <th>YR</th> <th>YS</th> <th>YT</th> <th>YU</th> <th>YV</th> <th>YW</th> <th>YX</th> <th>YY</th> <th>YZ</th> <th>ZA</th> <th>ZB</th> <th>ZC</th>	TW	TX	TY	TZ	UA	UB	UC	UD	UE	UF	UG	UH	UI	UJ	UK	UL	UM	UN	UO	UP	UQ	UR	US	UT	UU	UV	UW	UX	UY	UZ	VA	VB	VC	VD	VE	VF	VG	VH	VI	VJ	VK	VL	VM	VN	VO	VP	VQ	VR	VS	VT	VU	VV	VW	VX	VY	VZ	WA	WB	WC	WD	WE	WF	WG	WH	WI	WJ	WK	WL	WM	WN	WO	WP	WQ	WR	WS	WT	WU	WV	WW	WX	WY	WZ	XA	XB	XC	XD	XE	XF	XG	XH	XI	XJ	XK	XL	XM	XN	XO	XP	XQ	XR	XS	XT	XU	XV	XW	XX	XY	XZ	YA	YB	YC	YD	YE	YF	YG	YH	YI	YJ	YK	YL	YM	YN	YO	YP	YQ	YR	YS	YT	YU	YV	YW	YX	YY	YZ	ZA	ZB	ZC
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THE MARKET DISTRICT

DES MOINES IOWA

DATE	REVISION	SCHEDULE	DESCRIPTION	BY

PROJECT NO. 20-23999
FILE NAME 23999 PPLAT EX
DRAWN BY
DESIGNED BY
REVIEWED BY
ORIGINAL ISSUE DATE 07/20/2022
CLIENT PROJECT NO. -

TITLE
**PRELIMINARY
PLAT - EXISTING
CONDITIONS**

SHEET
10
OF 69

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION

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PRELIMINARY PLAT

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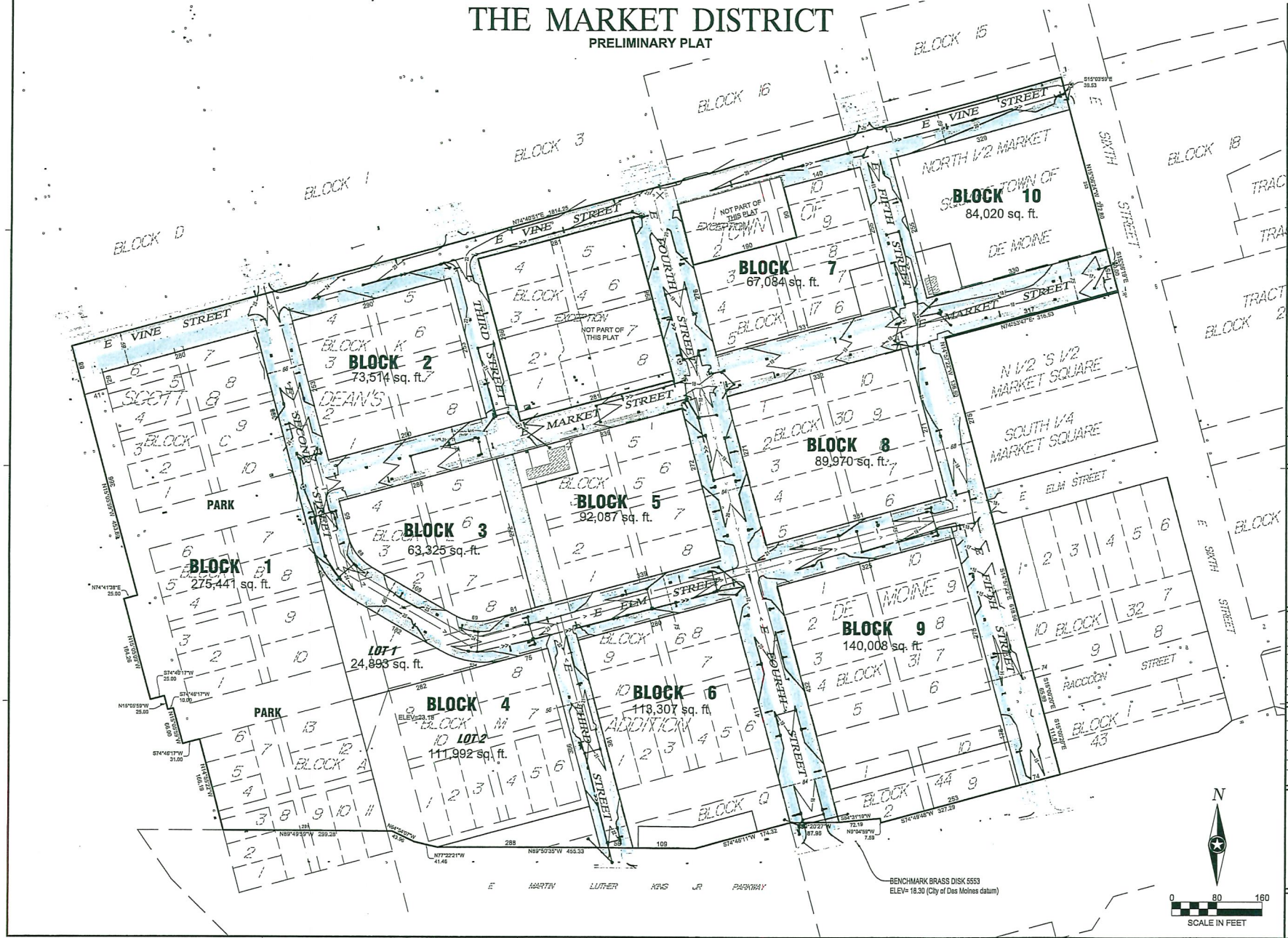
IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 20-23999
FILE NAME 23999 PPLAT PRO
DRAWN BY
DESIGNED BY
REVIEWED BY
ORIGINAL ISSUE DATE 07/30/2020
CLIENT PROJECT NO. -

TITLE
**PRELIMINARY
PLAT**

SHEET
15 OF 69



GRADING LEGEND	
	EXISTING CONTOUR (MAJOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
	PROPOSED TOP BACK OF CURB SPOT ELEVATION



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(landscape architects)

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	DESCRIPTION	

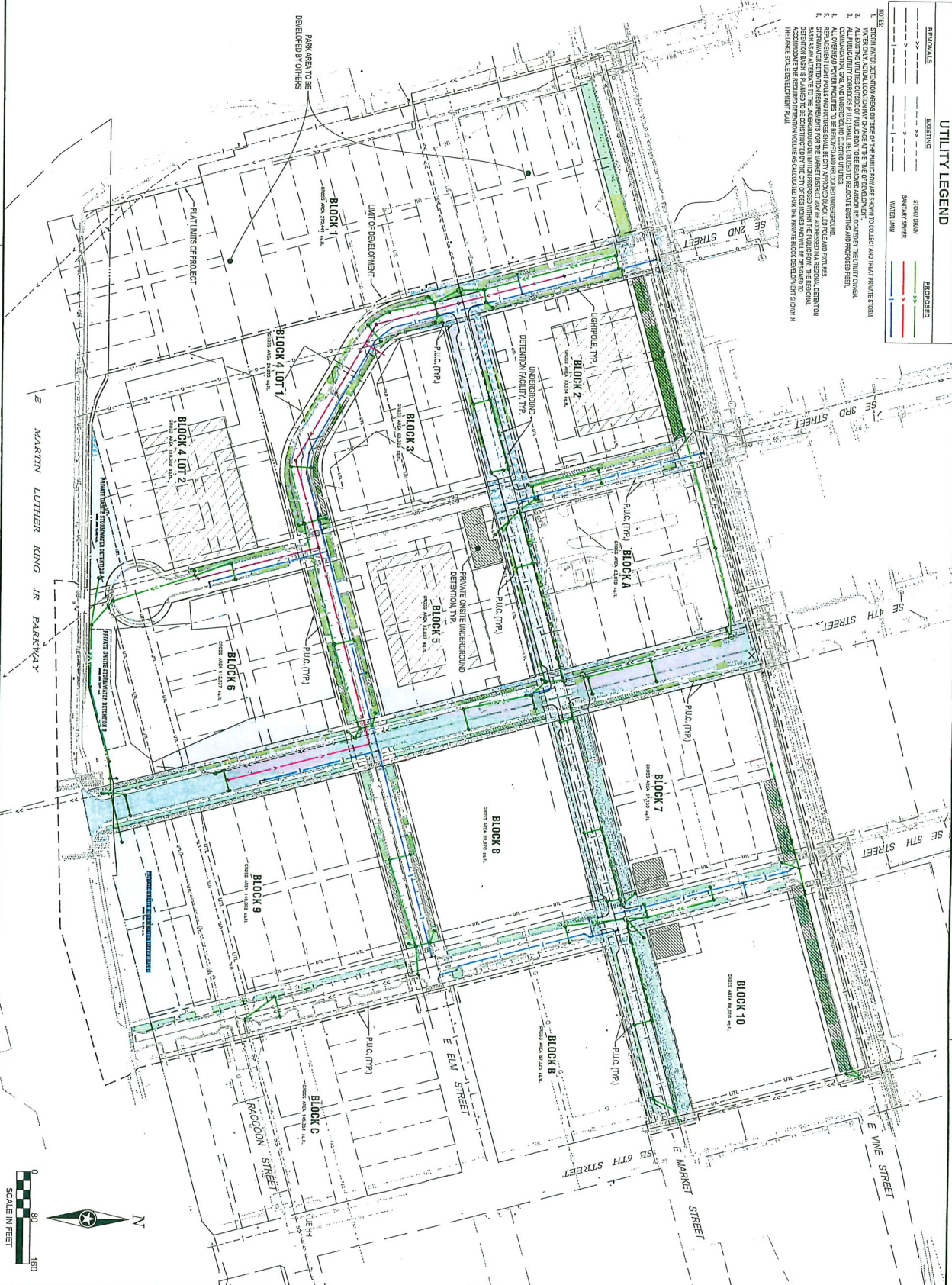
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FILE NAME	23999 GRADING
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CHECKED BY	
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ORIGINAL ISSUE DATE	07/20/2020
CLIENT PROJECT NO.	

OVERALL GRADING PLAN

SHEET
25
OF 89

REMOVAL	EXISTING	PROPOSED
STORM DRAIN		
BINARY SERVER		
WATER MAIN		

- [illegible]



THE MARKET DISTRICT

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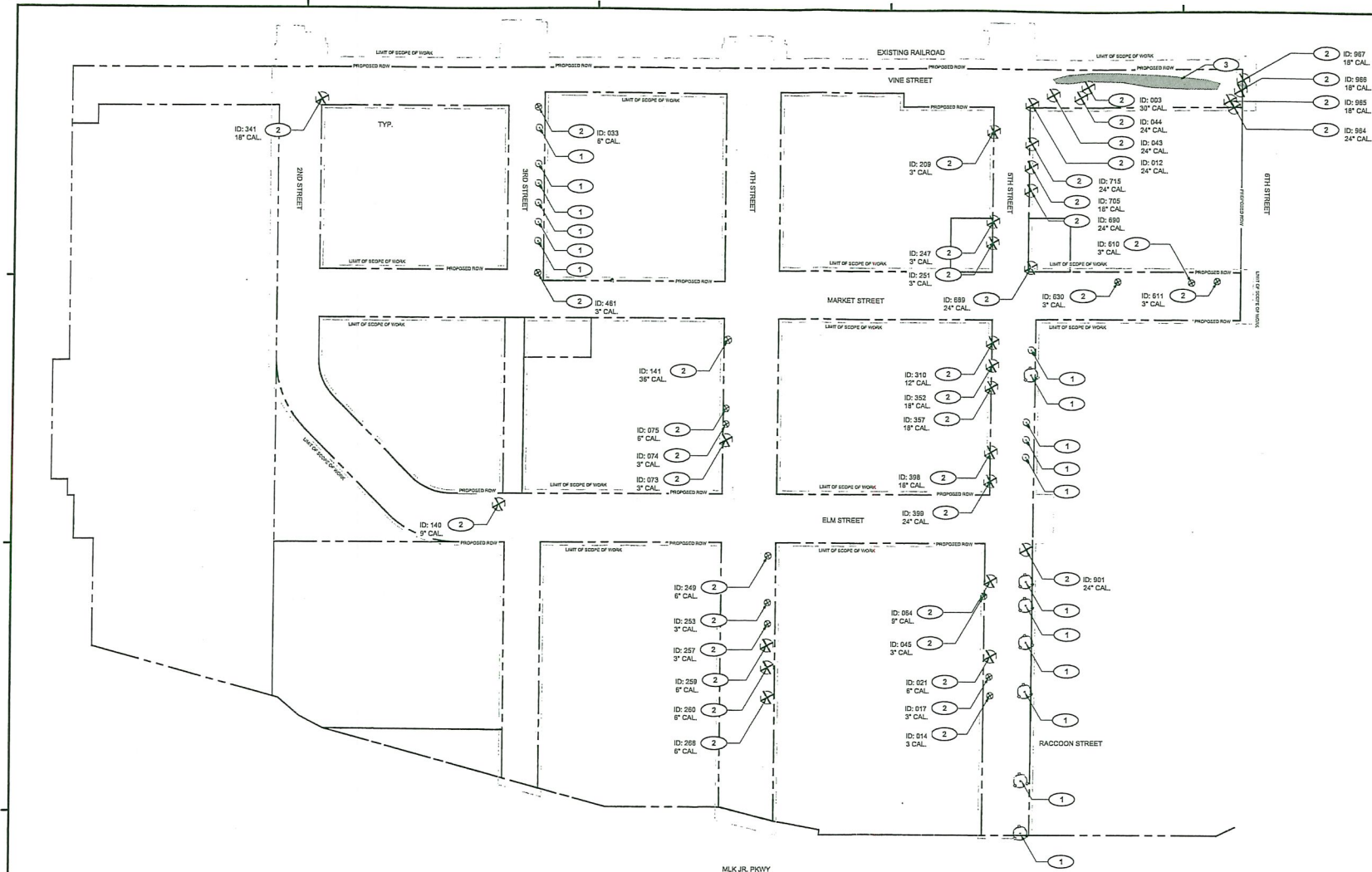
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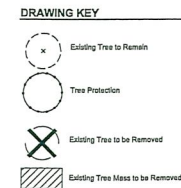
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OVERALL UTILITY PLAN

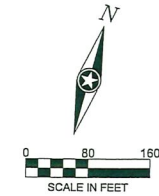
30



TREE MITIGATION TABLE											
TREE ID / TREE DBH	TREES TO BE REMOVED (Caliper Inches)	REQUIRED TREE MITIGATION (Ratio)	TOTAL PROPOSED/NEW TREES	TREE ID / TREE DBH	TREES TO BE REMOVED (Caliper Inches)	REQUIRED TREE MITIGATION (Ratio)	TOTAL PROPOSED/NEW TREES	TREE ID / TREE DBH	TREES TO BE REMOVED (Caliper Inches)	REQUIRED TREE MITIGATION (Ratio)	TOTAL PROPOSED/NEW TREES
075	6	1:1	1	003	30	2:1	3	461	3	1:1	1
074	3	1:1	1	967	18	2:1	2	398	18	2:1	2
073	3	1:1	1	966	18	2:1	2	357	18	2:1	2
064	9	1:1	1	965	18	2:1	2	352	18	2:1	2
045	3	1:1	1	954	24	2:1	2	341	18	2:1	2
044	24	2:1	2	901	24	2:1	2	310	12	2:1	2
043	24	2:1	2	715	24	2:1	2	251	3	1:1	1
033	6	1:1	1	705	18	2:1	2	247	3	1:1	1
021	6	1:1	1	690	24	2:1	2	209	3	1:1	1
017	3	1:1	1	630	3	1:1	1	141	36	4:1	4
014	3	1:1	1	611	3	1:1	1	140	9	1:1	1
012	24	2:1	2	610	3	1:1	1				
								TOTAL PROPOSED/NEW TREES: 56			



- REFERENCE NOTES**
- Existing Tree to Remain to be Protected
 - Existing Tree to be Removed
 - Existing Tree Mass to be Removed



JSC
PROPERTIES LLC
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PHASE 1

CITY STATE

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DATE	DESCRIPTION	BY

PROJECT NO. 20-23999
FILE NAME Div-6347-L-PLANT PROTECTION
DRAWN BY
DESIGNED BY DESIGN WORKSHOP
REVIEWED BY
ORIGINAL ISSUE DATE 07/20/2020
CLIENT PROJECT NO.

TITLE
TREE PROTECTION AND MITIGATION PLAN

SHEET
L1-01

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THE MARKET DISTRICT

DES MOINES, IOWA

LARGE SCALE DEVELOPMENT PLAN

ISG PROJECT # 20-23999



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REVISION SCHEDULE		
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PROJECT NO.	20-23999
FILE NAME	23999 TITLE
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DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	07/23/2020
CLIENT PROJECT NO.	---

TITLE
TITLE SHEET

SHEET
1
OF 14

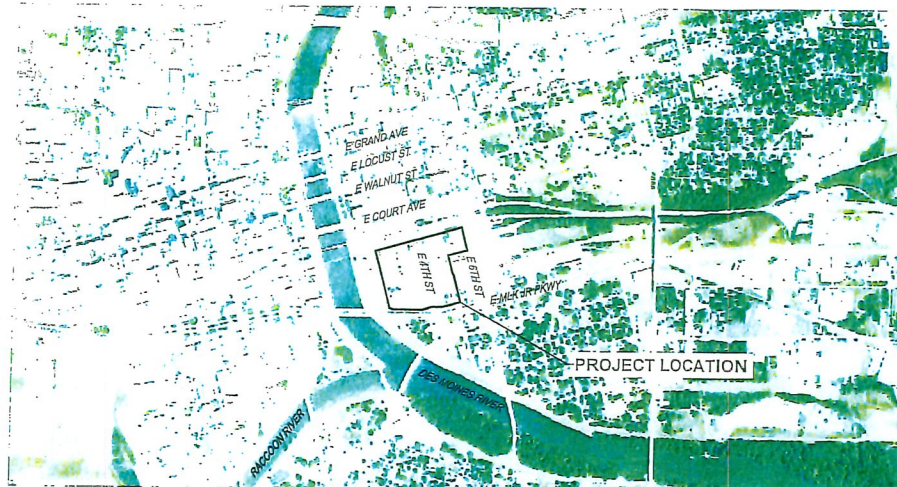
LEGEND

EXISTING

SECTION LINE	---
QUARTER SECTION LINE	---
RIGHT OF WAY LINE	---
PROPERTY / LOTLINE	---
EASEMENT LINE	---
ACCESS CONTROL	---
RAILROAD TRACK	---
WATER EDGE	---
WETLAND BOUNDARY	---
WETLAND / MARSH	---
FENCE LINE	---
CULVERT	---
STORM SEWER	---
SANITARY SEWER	---
SANITARY SEWER FORCE MAIN	---
WATER	---
GAS	---
OVERHEAD ELECTRIC	---
UNDERGROUND ELECTRIC	---
UNDERGROUND TELEPHONE	---
OVERHEAD UTILITY	---
UNDERGROUND UTILITY	---
UNDERGROUND FIBER OPTIC	---
DECIDUOUS TREE	---
CONIFEROUS TREE	---
TREE LINE	---
MANHOLE/STRUCTURE	---
CATCH BASIN	---
HYDRANT	---
VALVE	---
CURB STOP	---
POWER POLE	---
UTILITY PEDESTAL / CABINET	---

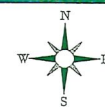
PROPOSED

LOT LINE	---
RIGHT OF WAY	---
EASEMENT	---
FENCE	---
CULVERT	---
STORM SEWER	---
SANITARY SEWER	---
WATER	---
SANITARY MANHOLE	---
STORM MANHOLE	---
CATCH BASIN	---
HYDRANT	---
VALVE	---
STREET LIGHT	---



LOCATION MAP

SCALE IN FEET
0 1000 2000



ABBREVIATIONS:

AC Area	CL Centerline	FOC Fire Department Connection	HORIZ Horizontal	MAX Maximum	PJ Pounds per square inch	T/C Top of Curb
ADA Americans with Disabilities Act	CMP Corrugated Metal Pipe	FOH Foundation	HR Hour	MB Mail Box	PVC Polyvinyl Chloride	TEL Telephone
ADD Addendum	CO Coarse	FTE Finished Floor Elevation	HVL High Water Level	MEH Mechanical	PWT Pavement	TEMP Temporary
AF Above Finished Floor	CONC Concrete	FPS Feet per second	HWH Highway	MM Minimum	QTY Quantity	THRU Through
AGE Appropriate	CONT Continuous	FT Feet, Feet	HYD Hydrant	MIN Minimum	RAD Radius	THRU Top Not of Fire Hydrant
APPROX Approximate	CTY Continuous	FTG Feeding	ID Inside Diameter	MISC Miscellaneous	RCP Reinforced Concrete Pipe	TRANS Transformer
ARCH Architect, Architectural	CES Curb and Gutter	GA Gage	IN Inch	NTS Not To Scale	REBAR Reinforcing Bar	TEL Television
BSH Sheet of Curb to Sheet of Curb	DEM Demolition	GAL Gallon	INCH Inch	NVL Normal Water Level	REM Remove	TOP Top of Wall
BT Bituminous	DIA Diameter	GALV Galvanized	IP Iron Pipe	OC On Center	NOV Night of Way	TY Typical
CAD Computer-Aided Design	DIM Dimension	GC General Contractor	IPS Iron Pipe Size	OCV On Center Each Way	NYW Night of Way	UT Utility, Underground Telephone
CS Catch Basin	DN Downspout	GFE Garage Floor Elevation	JBS Junction Box	OH Overhead	YCP Vented City Pipe	W/ Without
CT Cubic Feet per Second	EA Each	GL Gutter Line	JT Joint	OHV Overhead Door	SCH Schedule	W/ With
CF Cubic Feet	ELEV Elevation	GPA Gallons Per Minute	LF Linear Feet	OL Outside	SF Square Foot	YD Yard
CI Cast Iron	ELEC Electrical	GV Gate Valve	UP Under	OL Outside	SPEC Specification	YR Year
CP Cast Iron Pipe	EQF Emergency Overflow	HOPE High Density Polyethylene	UPH Low Pressure Steam	PERF Perforated	SQ Square	
CPC Cast in Place Concrete	EQ Equal	HD Heavy Duty	LS Low Pressure Steam	PL Property Line	STA Station	
CI Central Inlet	EX Existing	HH Handle	LO Lowest Structural Opening	PP Polysynthetic	SV Square Yard	

PROJECT INDEX:

OWNER:

JSC PROPERTIES
350 E LOCUST STREET, SUITE 500
DES MOINES, IA 50309
PH: (515) 245-9501

PROJECT ADDRESS / LOCATION:

S3 T78N R24W &
S10 T78N R24W

POLK COUNTY
DES MOINES, IOWA

MANAGING OFFICE:

DES MOINES OFFICE
508 EAST LOCUST STREET
DES MOINES, IA 50309
PHONE: 515-243-9143

PROJECT MANAGER: EVAN DEL VAL
EMAIL: EVAN.DELVAL@ISG.COM



SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF DES MOINES REQUIREMENTS AND WITH THE 2019 EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83/CONUS), ON THE IOWA PCS ZONE 14 (NAD83-DES MOINES COORDINATE SYSTEM) IN U.S. SURVEY FEET.
ELEVATIONS HAVE BEEN REFERENCED TO THE DES MOINES VERTICAL DATUM.
RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

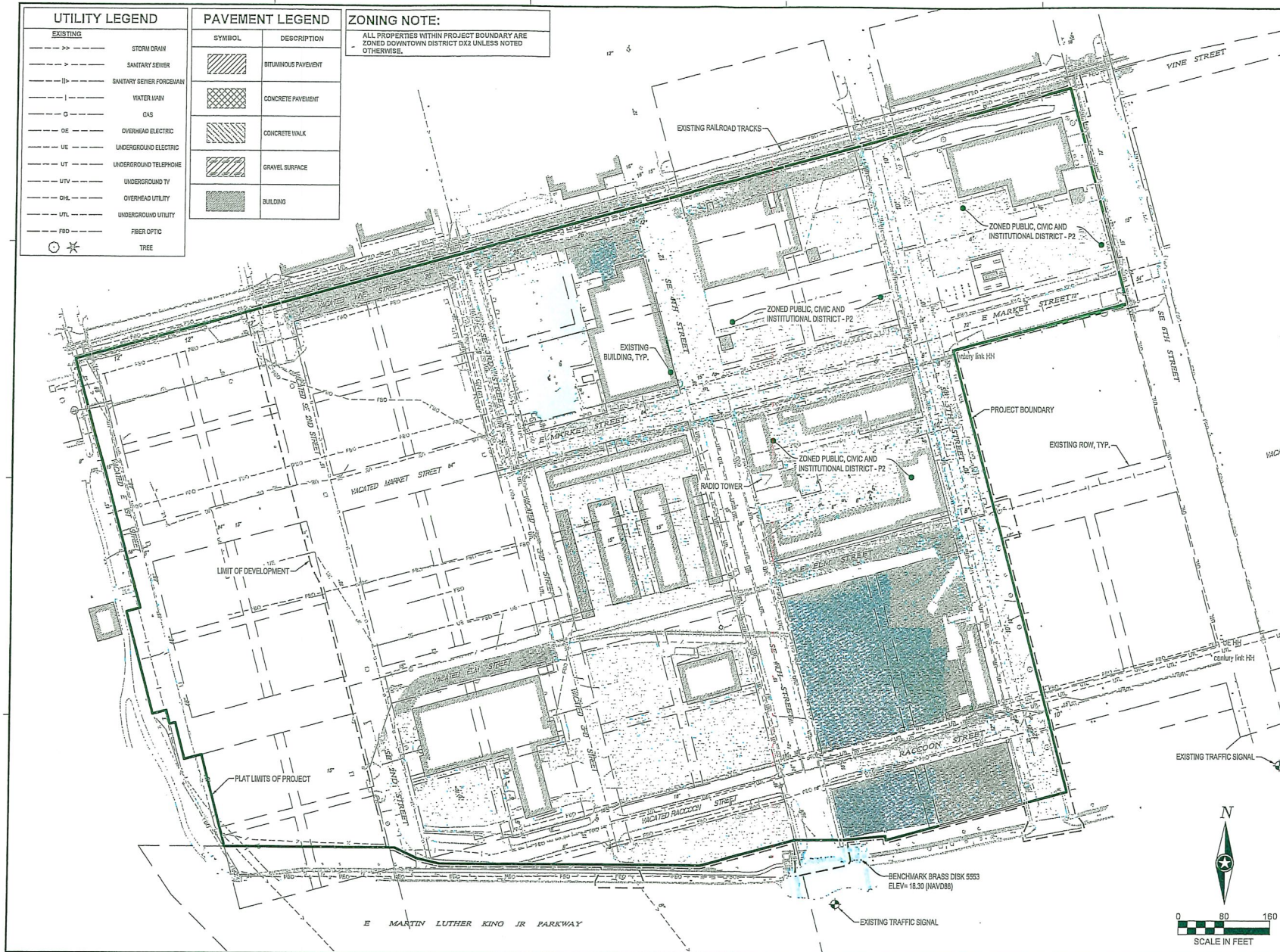
B.M. ELEVATION=18.30

CITY OF DES MOINES BRASS TABLET
NW CORNER TRAFFIC SIGNAL BASE AT
NE QUAD OF E MLK JR PKWY AND SE 4TH ST

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN APRIL 2020 BY ISG.

PRELIMINARY NOT FOR CONSTRUCTION



UTILITY LEGEND		PAVEMENT LEGEND		ZONING NOTE:
EXISTING		SYMBOL	DESCRIPTION	
---	STORM DRAIN	[Hatched Box]	BITUMINOUS PAVEMENT	ALL PROPERTIES WITHIN PROJECT BOUNDARY ARE ZONED DOWNTOWN DISTRICT DX2 UNLESS NOTED OTHERWISE.
---	SANITARY SEWER	[Cross-hatched Box]	CONCRETE PAVEMENT	
---	SANITARY SEWER FORCE MAIN	[Diagonal Hatched Box]	CONCRETE WALK	
---	WATER MAIN	[Stippled Box]	GRAVEL SURFACE	
---	GAS	[Solid Grey Box]	BUILDING	
---	OVERHEAD ELECTRIC			
---	UNDERGROUND ELECTRIC			
---	UNDERGROUND TELEPHONE			
---	UNDERGROUND TV			
---	OVERHEAD UTILITY			
---	UNDERGROUND UTILITY			
---	FIBER OPTIC			
○	TREE			

JSC

RYAN

genus

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DESIGNWORKSHOP

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THE MARKET DISTRICT

DES MOINES IOWA

DATE	REVISION	SCHEDULE	DESCRIPTION	BY

PROJECT NO. 20-23999

FILE NAME 23999 EXIST

DRAWN BY

DESIGNED BY

REVIEWED BY

ORIGINAL ISSUE DATE 07/22/2020

CLIENT PROJECT NO.

TITLE

EXISTING SITE PLAN

SHEET

2

OF 14

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PROJECT

THE MARKET DISTRICT

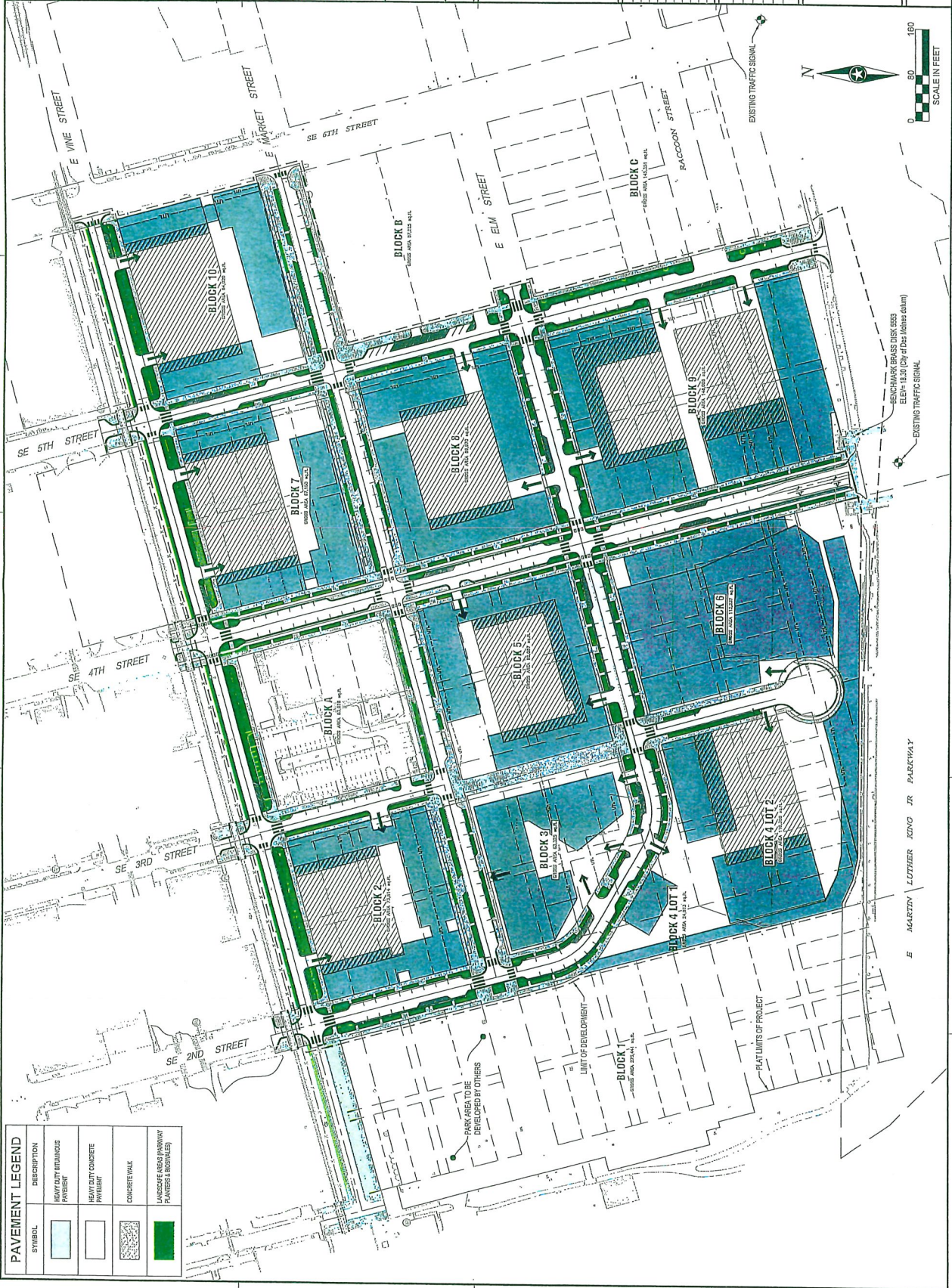
DES MOINES IOWA

REVISION	SCHEDULE	DATE	DESCRIPTION
1	20-23589	2020	2020 SITE PLAN
2	2020	2020	2020 SITE PLAN
3	2020	2020	2020 SITE PLAN
4	2020	2020	2020 SITE PLAN
5	2020	2020	2020 SITE PLAN
6	2020	2020	2020 SITE PLAN
7	2020	2020	2020 SITE PLAN
8	2020	2020	2020 SITE PLAN
9	2020	2020	2020 SITE PLAN
10	2020	2020	2020 SITE PLAN
11	2020	2020	2020 SITE PLAN
12	2020	2020	2020 SITE PLAN
13	2020	2020	2020 SITE PLAN
14	2020	2020	2020 SITE PLAN
15	2020	2020	2020 SITE PLAN
16	2020	2020	2020 SITE PLAN
17	2020	2020	2020 SITE PLAN
18	2020	2020	2020 SITE PLAN
19	2020	2020	2020 SITE PLAN
20	2020	2020	2020 SITE PLAN

FILE NAME	20-23589
DRAWN BY	2020 SITE PLAN
DESIGNED BY	2020 SITE PLAN
REVIEWED BY	2020 SITE PLAN
DATE	2020
CUSTOM PROJECT NO.	2020

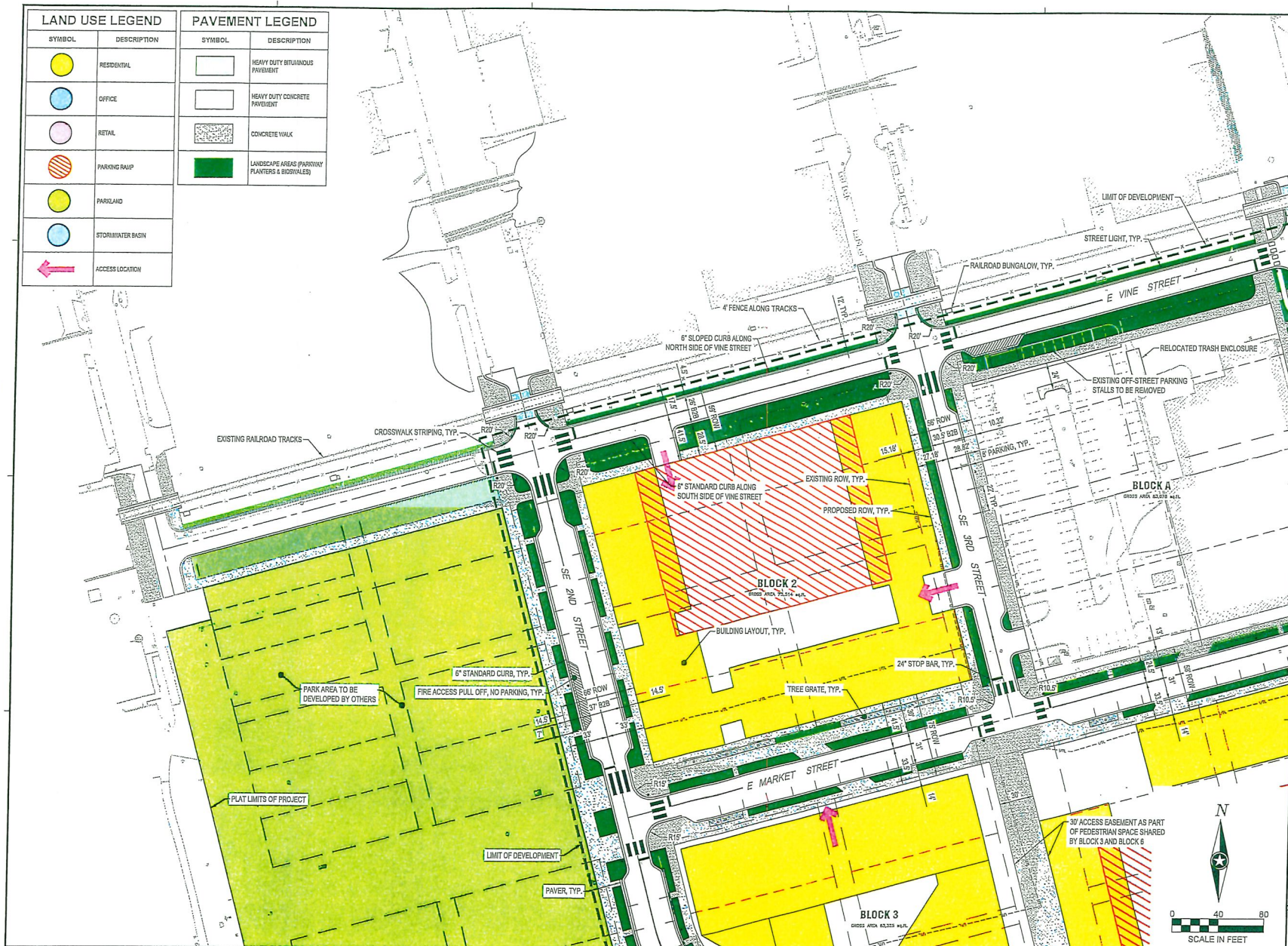
OVERALL SITE PLAN

SHEET 4 OF 14



SYMBOL	DESCRIPTION
	HEAVY DUTY BITUMINOUS PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE WALK
	LANDSCAPE AREAS (PARKWAY, PLANTERS & BOULEVARDS)

LAND USE LEGEND		PAVEMENT LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	RESIDENTIAL		HEAVY DUTY BITUMINOUS PAVEMENT
	OFFICE		HEAVY DUTY CONCRETE PAVEMENT
	RETAIL		CONCRETE WALK
	PARKING RAUP		LANDSCAPE AREAS (PARKWAY PLANTERS & BIOSWALES)
	PARKLAND		
	STORMWATER BASIN		
	ACCESS LOCATION		



genus
[landscape architects]

325 SAUL ST. STREET
DES MOINES, IA 50309
1 515 284 1010
WWW.GENUS-IA.COM

ISG

DESIGNWORKSHOP
Landscape Architecture • Urban Planning • Urban Design • Historic Preservation
418 Corporate Street • Des Moines, IA 50309 • 515-281-8822

SHERWOOD
DESIGN ENGINEERS

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PROJECT

**THE MARKET
DISTRICT**

DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 20-23999
FILE NAME 23999 SITE PLAN
DRAWN BY
DESIGNED BY
REVIEWED BY
ORIGINAL ISSUE DATE 01/23/2020
CLIENT PROJECT NO.

TITLE

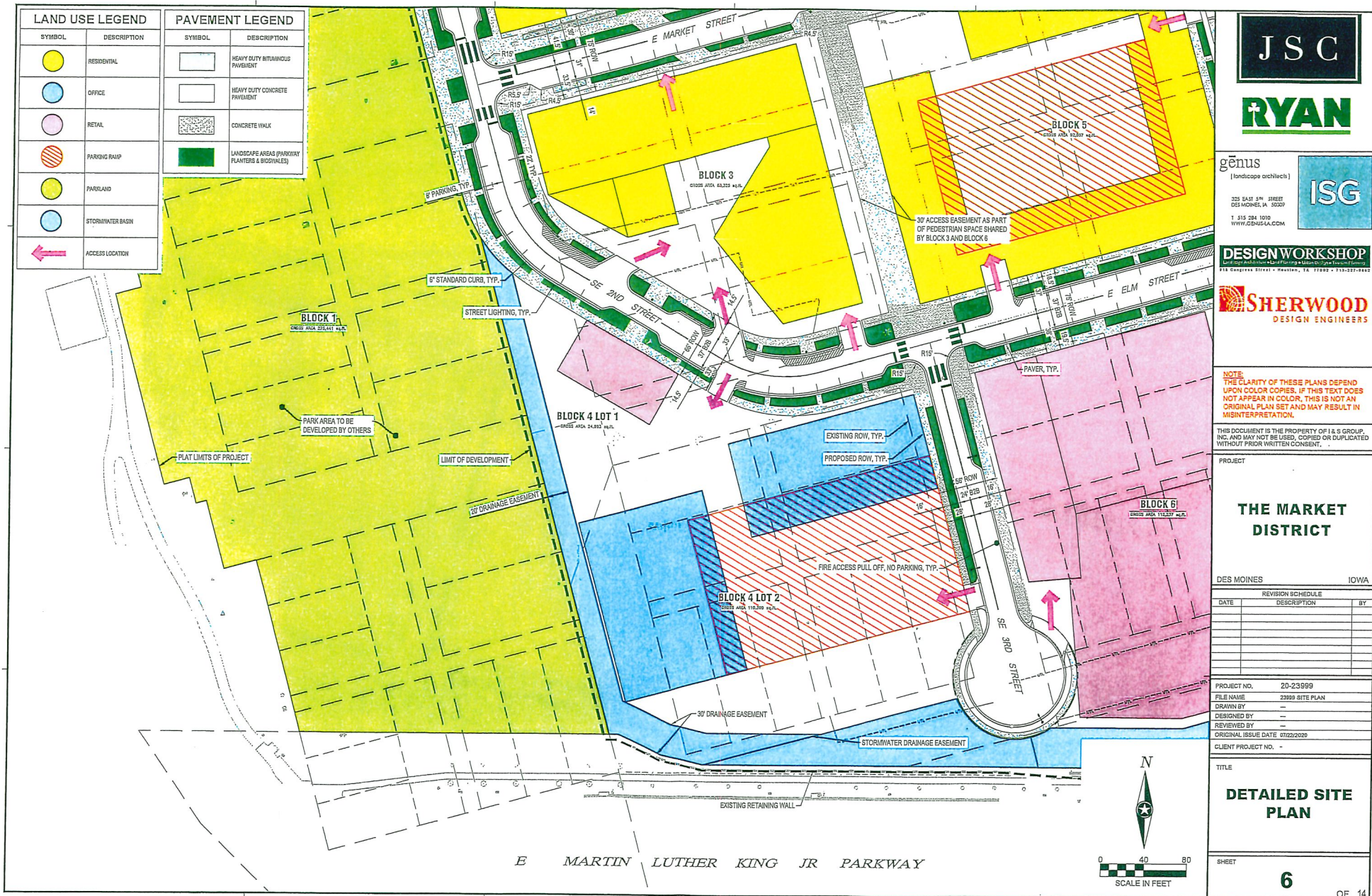
**DETAILED SITE
PLAN**

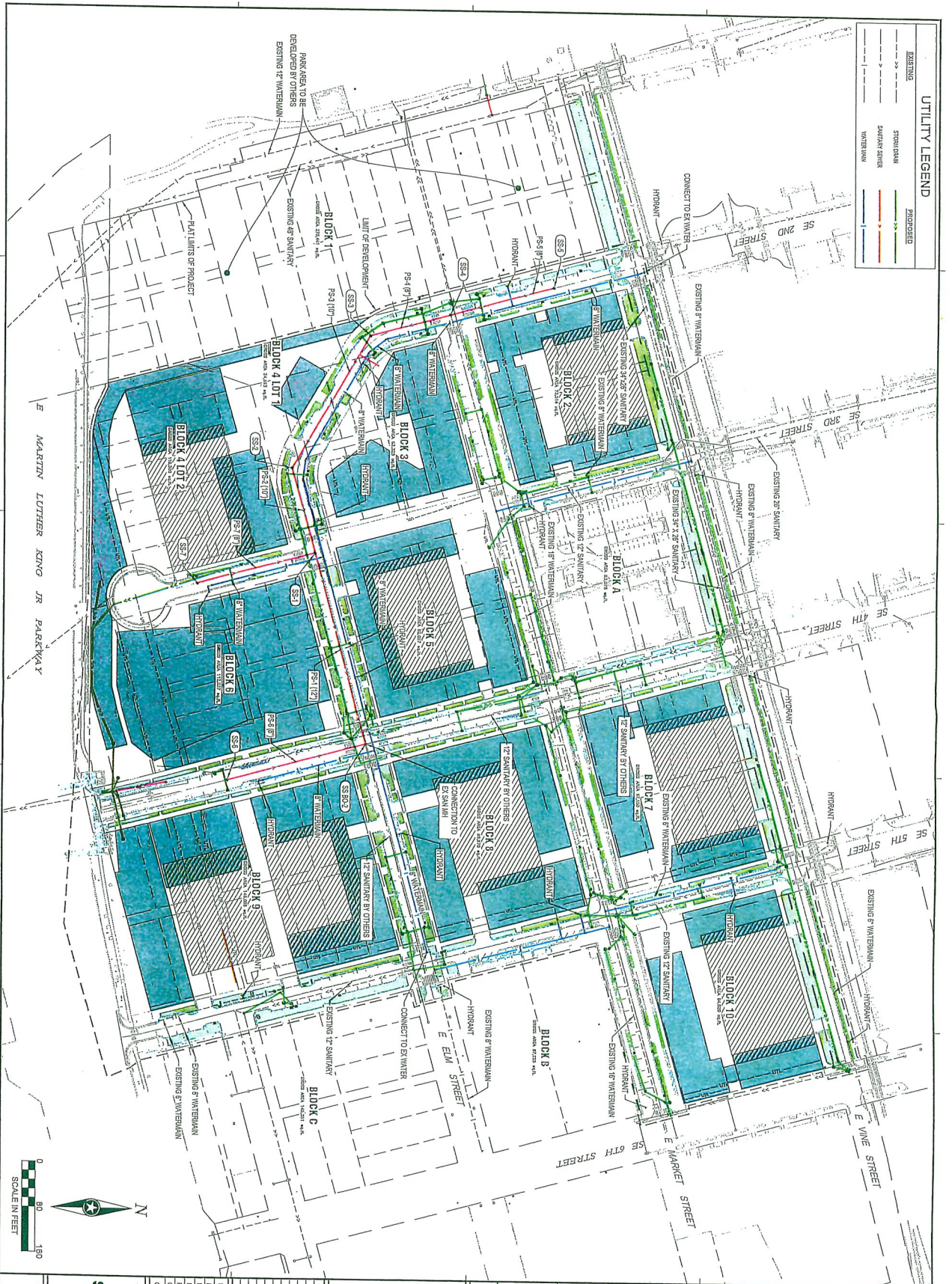
SHEET




5




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THE MARKET DISTRICT

UTILITY PLAN - SANITARY SEWER & WATERMAIN

9 OF 14

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[landscape architects]
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DES MOINES, IA 50309
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110 GARDNER STREET • HAVANA, IL 61828 • 717-237-0412



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PROJECT

THE MARKET DISTRICT

DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

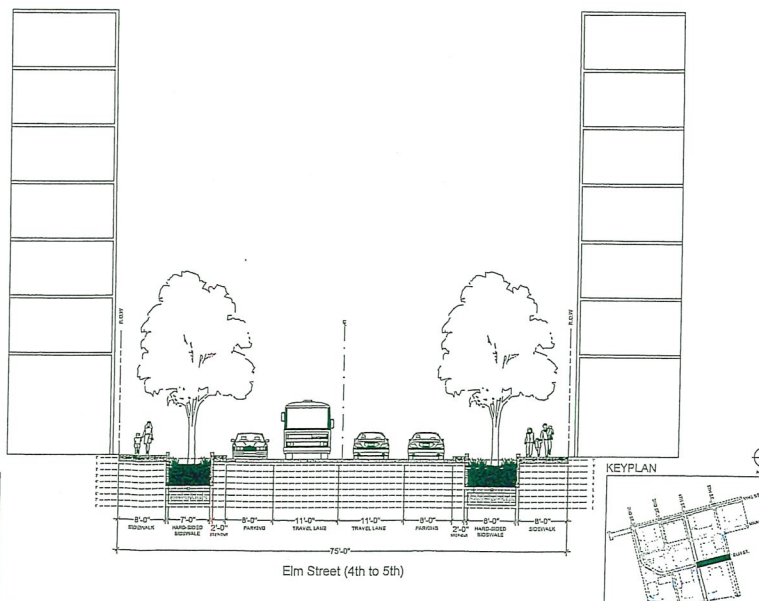
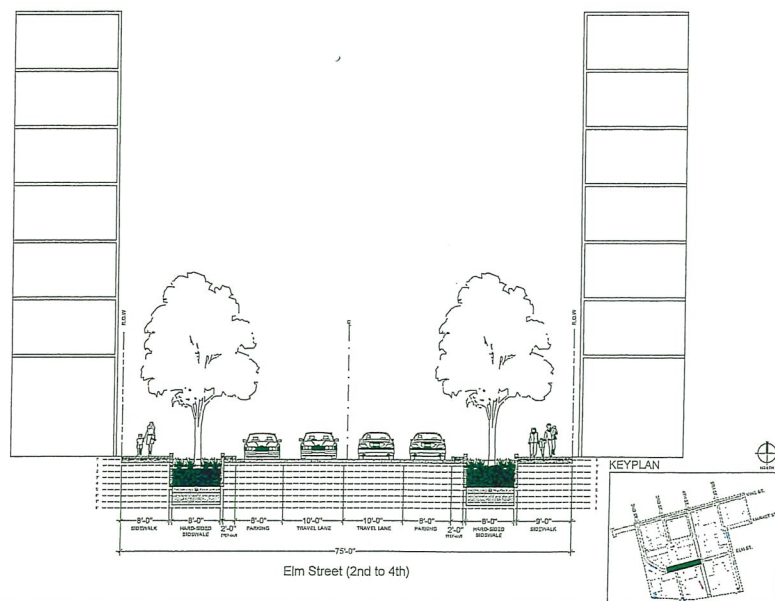
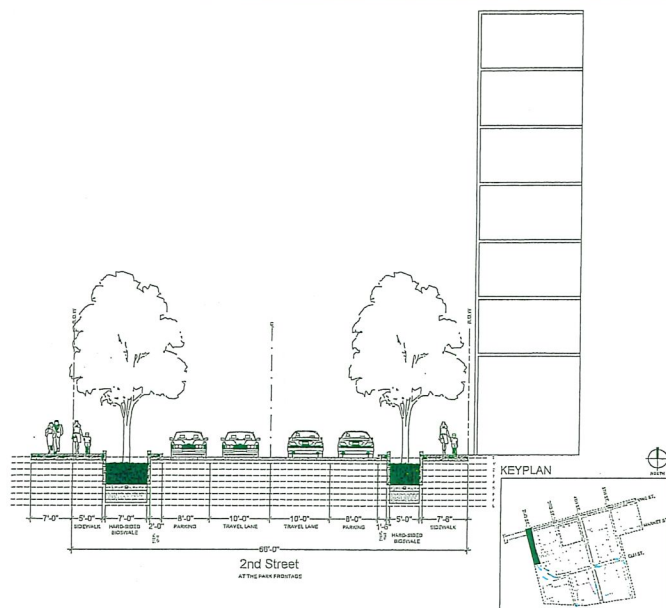
PROJECT NO. 20-23999
FILE NAME 23999 DETAIL
DRAWN BY
DESIGNED BY
REVIEWED BY
ORIGINAL ISSUE DATE 07/22/2020
CLIENT PROJECT NO. -

TITLE
**TYPICAL STREET
SECTIONS**

SHEET

11

OF 14





gēnus
(landscape architects)
225 EAST 5TH STREET
DES MOINES, IA 50309
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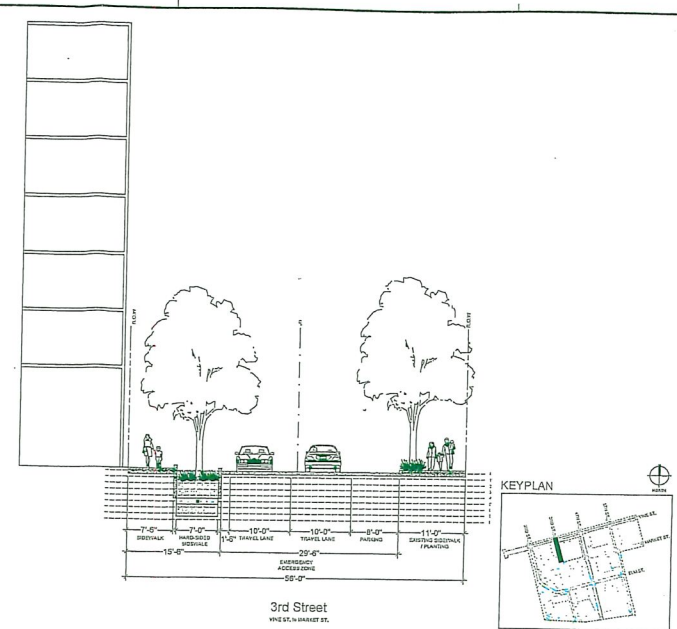
DES MOINES IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 20-23999
FILE NAME 23999 DETAIL
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DESIGNED BY -
REVIEWED BY -
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CLIENT PROJECT NO. -

TYPICAL STREET SECTIONS

SHEET
13 OF 14





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THE MARKET DISTRICT

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DATE	REVISION
BY	BY
PROJECT NO.	20-23999
FILE NAME	2399 DETAIL
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	07/22/20
CLIENT PROJECT NO.	---

TYPICAL STREET SECTIONS

