

Date December 21, 2020

RESOLUTION HOLDING HEARING ON REQUEST FROM THIRTY SEVEN FIFTY, LLC FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN “THIRTY SEVEN FIFTY ON GRAND” FOR PROPERTY AT 3750 GRAND AVENUE

WHEREAS, on December 7, 2020, by Roll Call No. 20-2007, the City Council received a communication from the City Plan and Zoning Commission advising that on December 3, 2020, the City Plan and Zoning Commission voted 12-0 to **APPROVE** a request from Thirty Seven Fifty, LLC (owner), represented by Kate Miller (officer), to approve the PUD Final Development Plan “Thirty Seven Fifty on Grand” on property located at 3750 Grand Avenue (“Property”) to allow for redevelopment of the existing vacant First Church of Christ Science building with demolition of a portion of said building and addition of an eight-story, 42-unit residential condominium tower containing two levels of indoor parking and first floor permitted uses including business or professional offices, studio or instructional service, assembly, and library or cultural exhibit, and construction of a detached garage containing six parking spaces in the rear parking area, subject to compliance with all administrative review requirements; and

WHEREAS, the Property is legally described as follows:

LOTS 2, 3, 4, AND 5 IN MASON PLACE AND LOTS 11, 12, 13, AND 14 (EXCEPT THE SOUTH 55 FEET THEREOF) IN MASON PLACE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA; AND

WHEREAS, on December 7, 2020, by Roll Call No. 20-2007, it was duly resolved by the City Council that the request for approval of the PUD Final Development Plan be set down for hearing on December 21, 2020 at 5:00 p.m., by electronic means in accordance with the Governor’s and Mayor’s Proclamations and to encourage and maintain social distancing to curb the spread of COVID19 in the community, without public access to the meeting location; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place for hearing on said proposed PUD Final Development Plan; and

WHEREAS, in accordance with said notice, those interested in said proposed PUD Final Development Plan, both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed PUD Final Development Plan “Thirty Seven Fifty on Grand” are hereby overruled, and the hearing is closed.
2. The proposed PUD Final Development Plan “Thirty Seven Fifty on Grand”, as on file in the Development Services Department, is hereby found to be in conformance with PlanDSM: Creating Our

 **Roll Call Number**

Agenda Item Number

52

.....
Date December 21, 2020.....

Tomorrow Plan and is hereby approved, subject to condition stated above.

MOVED BY _____ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

(10-2021-7.21)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED

APPROVED

Mayor

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk



December 15, 2020

Date December 21, 2020

Agenda Item 52

Roll Call # _____

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their December 3, 2020 meeting, the following action was taken regarding a request from Thirty Seven Fifty, LLC (owner) represented by Kate Miller (officer) for review and approval of a PUD Final Development Plan "Thirty Seven Fifty on Grand", on property located at 3750 Grand Avenue, to allow for redevelopment of the existing vacant First Church of Christ Science with demolition of a portion and addition of an 8-story, 42-unit residential condominium tower with two levels being indoor parking. The building would have first floor permitted uses of business or professional offices, studio or instructional service, assembly, and library or cultural exhibit.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 12-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed				X
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of of the proposed "PUD" Final Development Site Plan subject to compliance with all administrative review requirements. (10-2021-7.21)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed “PUD” Final Development Site Plan subject to compliance with all administrative review requirements.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant has demolished the sanctuary and tower portion of the First Church of Christ Scientist building. The northeast and northwest wings have been retained and will be renovated as part of a redevelopment project that includes the construction of an 8-story residential building. The development would include a total of 106 parking spaces with 62 spaces being located within the building. A detached garage with 6 spaces would be provided in the rear parking lot. The site would include a total of 38 surface parking spaces
2. **Size of Site:** 2.93 acres.
3. **Existing Zoning (site):** Thirty-Seven Fifty on Grant “PUD” District.
4. **Existing Land Use (site):** Redevelopment site.
5. **Adjacent Land Use and Zoning:**
 - North** – “PUD”: Uses are multiple-family residential.
 - South** - “N1b” & “P2”: Uses are single-family residential and Greenwood Elementary School.
 - East** - “NX3”: Use is office.
 - West** - “NX3”: Uses are multiple-family and single-family residential.
6. **General Neighborhood/Area Land Uses:** The site is located on the southeast corner of the Grand Avenue and 38th Place intersection. The Grand Avenue corridor contains a mix of multiple-family residential, institutional and commercial uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is in the Salisbury Oaks Neighborhood and within 250 feet of the Greenwood Historic Neighborhood and the North of Grand Neighborhood. The neighborhoods were notified of the Commission meeting by mailing of the Preliminary Agenda on November 13, 2020 and the Final Agenda on November 25, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on November 23, 2020 (10 days prior to the meeting) to the neighborhood associations and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the requested rezoning.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Salisbury Oaks Neighborhood Association mailings were sent to Jenn Kirke, 409 43rd Street, Des Moines, IA 50312. The Greenwood Historic Neighborhood Association mailings were sent to Nicholas Larson, 127 34th Street, Des

Moines, IA 50312. The North of Grand Neighborhood Association mailings were sent to Jason Norris, 647 34th Street, Des Moines, IA 50312.

- 8. Relevant Zoning History:** On January 13, 2020, the City Council rezoned the subject property from “R-3” District to “PUD” District by Ordinance Number 15,851. The City Council also approved the Thirty-Seven Fifty Grand PUD Conceptual Plan by Roll Call Number 20-0108. Approval was subject to the following conditions:
- a. Removal of the reference to restaurant as a permitted use from the Conceptual Plan.
 - b. Provision of a note that states, “no more than 2,000 square feet of floor area shall be utilized for commercial uses.”
 - c. The bulk regulation notes shall be updated to reflect the drawings shown on the Conceptual Plan to the satisfaction of the City’s Planning Administrator.
 - d. Provision of a note that states, “the finalized height and design of any fencing shall be determined during the review of any Development Plan” in place of the notes on Sheet 1 that provide maximum height and minimum opaqueness standards.
 - e. Provision of a note that states, “any Development Plan shall minimize the amount of pavement near the main entrance to the building to the extent possible.”
 - f. Provision of a note that states, “any Development Plan shall provide an identifiable pedestrian route from the main entrance of the building to the Grand Avenue sidewalk.”
 - g. Provision of a note that states, “landscaping and buffering shall be provided in accordance with the City’s Landscaping Standards in place at the time the Development Plan is submitted, or exceeded as illustrated on the Conceptual Plan or as determined necessary by the City’s Planning Administrator.”
 - h. Provision of a note that states, “all site lighting shall be directed downward and shielded from adjoining properties. Any pole mounted lighting along private walkways shall not exceed 15 feet in height and any pole mounted lighting in a parking area shall not exceed 20 feet in height.
 - i. Provision of a note that states, “direct light trespass beyond property lines is prohibited. The maximum horizontal illuminance at grade and the maximum vertical illuminance at five feet above grade measured at the property line should not exceed Illuminating Engineering Society of North America (IESNA) recommended practices for light trespass. (0.5 foot-candles for residential, 2.0 foot-candles for commercial). The Development Plan must contain illuminance models showing light levels throughout the site.”
 - j. Provision of a note that states, “all utility and similar service lines to buildings on the property shall be located underground.”

- k. Provision of a note that states, “all overhead utility and similar service lines within the adjoining portions of the Grand Avenue and 38th Place rights-of-way shall be located underground.
- l. Provision of a note that states, “all utility meters, transformers, ground-mounted equipment, and other utilities shall be placed along rear or side facades that are internal to the site to the satisfaction of the City’s Planning Administrator.
- m. Provision of a note that states, “all reuse and recycling containers shall be stored within the building or within a trash enclosure constructed of masonry walls with solid steel gates as approved with any Development Plan.

9. PlanDSM Creating Our Tomorrow Future Land Use Plan Designation:
Neighborhood Mixed Use located in a Community Node.

10. Applicable Regulations: Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City’s Stormwater Management requirements to the satisfaction of the City’s Permit and Development Center. A bioretention basin is proposed in the southern portion of the site.
2. **Access & Parking:** The site is located on the southeast corner of the Grand Avenue and 38th Place intersection. The Development Plan includes single access points to both streets. A total of 106 off-street parking spaces would be provided.
3. **Urban Design:** The proposed building design is consistent with what was presented with the “PUD” Conceptual Plan. The applicant has shifted the Grand Avenue driveway and associated parking to the east. This allows the main entrance to the building to have a direct sidewalk connect to the Grant Avenue sidewalk and maximizes the front lawn area. The detached garage that is proposed in the rear parking lot was originally envisioned as an open-air carport structure. Staff believes that these two variations are appropriate and consistent with the intent of the PUD Conceptual Plan

SUMMARY OF DISCUSSION

Jason Van Essen presented staff report and recommendation.

Brad Hartman 1011 Locust Street Suite 305 representing the developer stated they are here to answer any questions the commission may have.

Kate Miller 400 Locust Street stated she is available for questions as well.

CHAIRPERSON OPENED THE PUBLIC HEARING

Carol Maher 1510 Center Street asked if residence would have bicycle parking?

Kate Miller stated within their parking garage, there is a bicycle garage. They will have ample bicycle parking, along with a bicycle maintenance kit and wash station.

Carol Maher asked if they would be providing charging stations for electric cars?

Kate Miller stated yes, they are also within the parking garage.

Brad Hartman stated the parking garage will have the ability to charge 50% of the cars. Each car has its own unique charging cord so the power will be available along the front and the residents will need to provide their own charging station and cord.

Carol Maher asked if solar panels will be provided?

Brad Hartman stated given the long and narrow footprint of the roof, it was hard to rationalize the cost based off the benefit the panels would provide. This is something that could be added in the future.

Joseph Lakers 3667 Grand Avenue Unit 14 asked if this would be a modification to the existing PUD?

Jason Van Essen stated this is the finalized PUD Development Plan or site plan, the development was approved previously with the rezoning and concept of the building. This will be finalizing the engineering and construction design details of the project.

CHAIRPERSON CLOSED THE PUBLIC HEARING

COMMISSION ACTION:

Greg Jones made a motion for approval of the proposed "PUD" Final Development Site Plan subject to compliance with all administrative review requirements.

Motion passed: 12-0

Respectfully submitted,



Michael Ludwig, AICP
Planning Administrator

MGL:tjh

Thirty Seven Fifty, LLC (owner) represented by Kate Miller (officer) for property located at 3750 Grand Avenue.		File #		
		10-2021-7.21		
Description of Action	Review and approval of a PUD Final Development Plan "Thirty Seven Fifty on Grand", to allow for redevelopment of the existing vacant First Church of Christ Science with demolition of a portion and addition of an 8-story, 42-unit residential condominium tower with two levels being indoor parking. The building would have first floor permitted uses of business or professional offices, studio or instructional service, assembly, and library or cultural exhibit.			
PlanDSM Future Land Use	Current: Neighborhood Mixed Use. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	No planned improvements.			
Current Zoning District	Thirty Seven Fifty on Grand "PUD" Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	0	0		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No

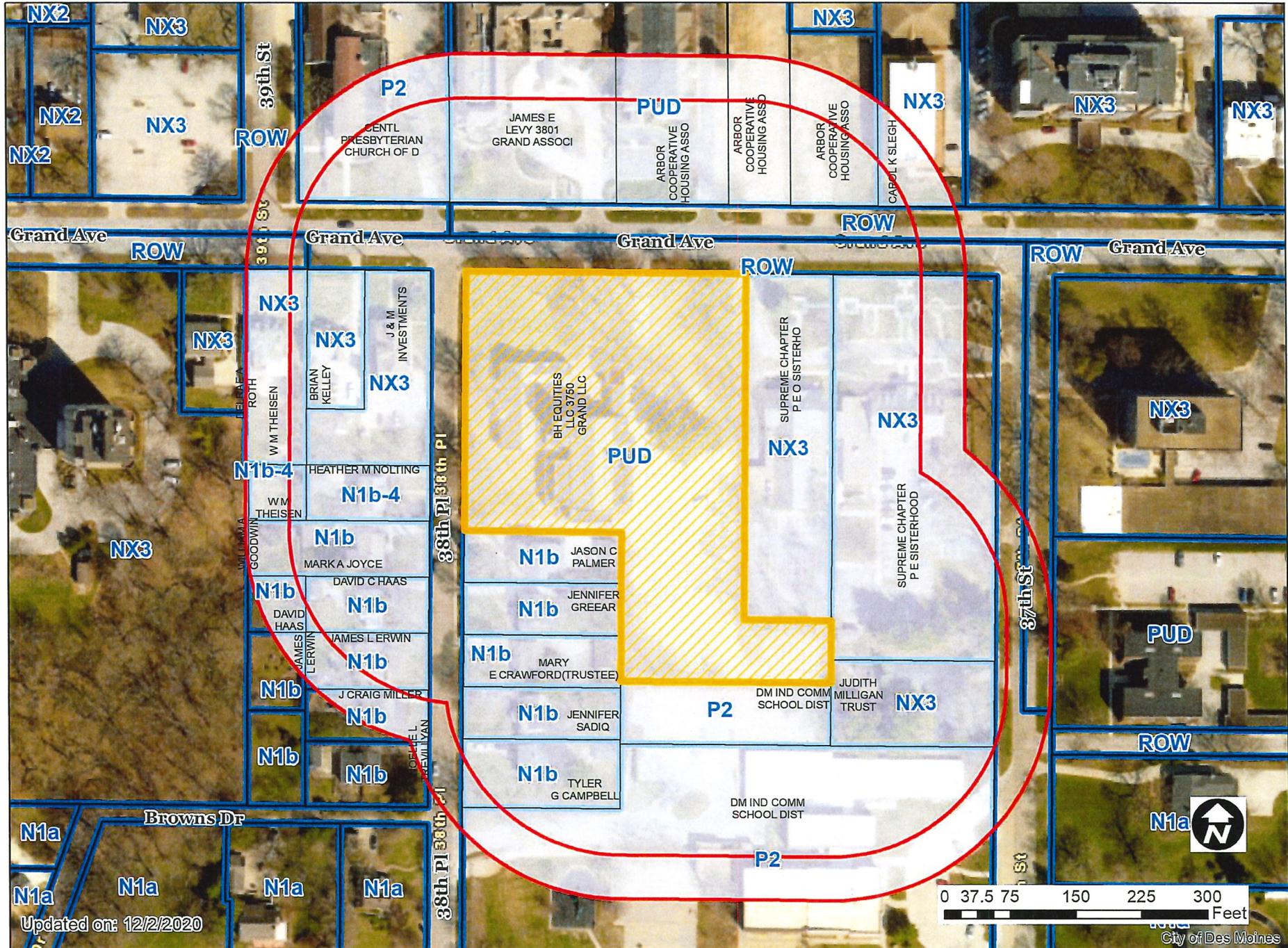
Thirty Seven Fifty, LLC, 3750 Grand Avenue

10-2021-7.21

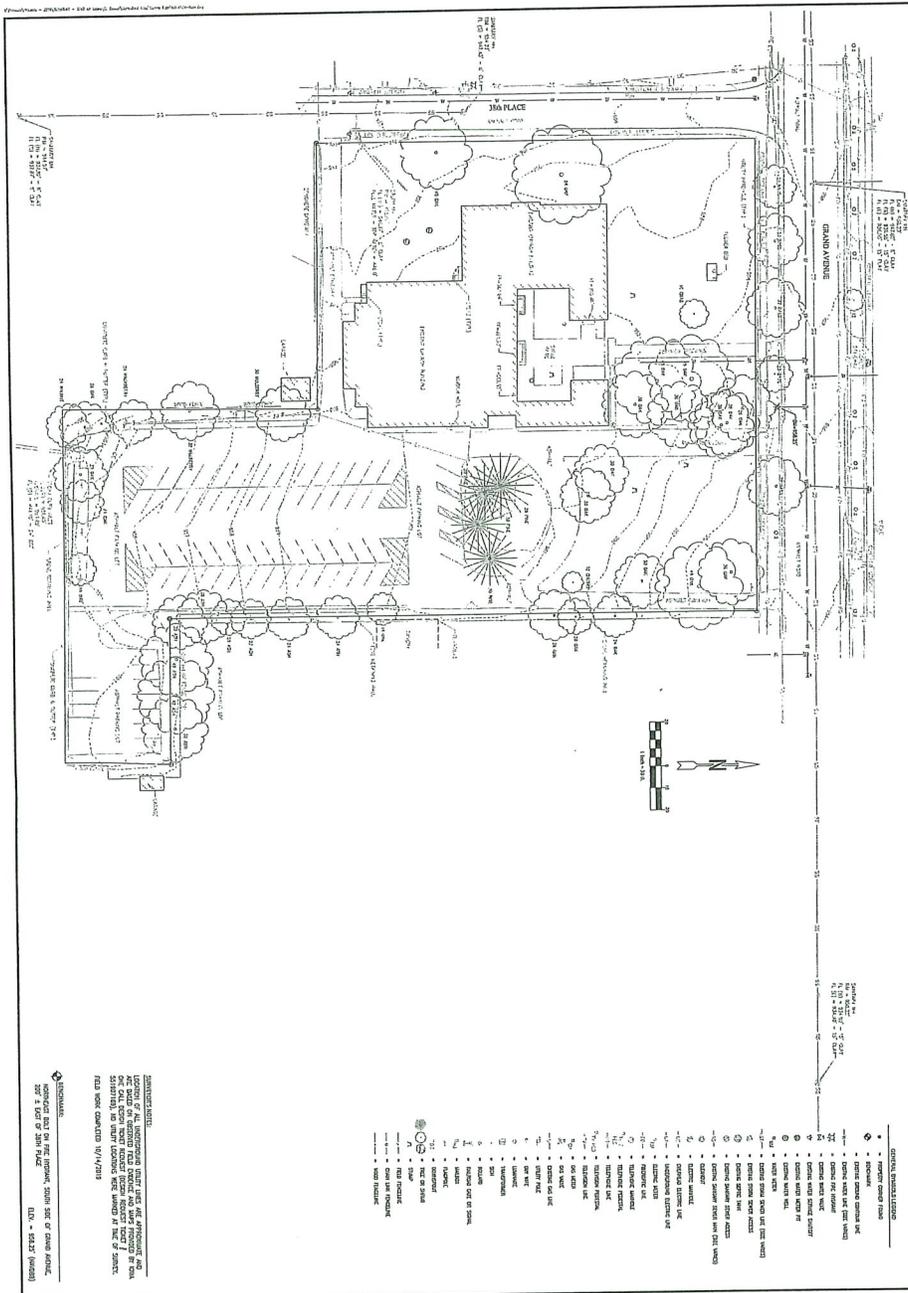


1 inch = 146 feet

52



1 inch = 146 feet



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- GENERAL NOTES:**
- 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 - 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 - 3. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
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 - 19. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 - 20. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.

<p>3750 GRAND AVENUE DES MOINES, IOWA</p> <p>© COPYRIGHT 2013 GARDEN & ASSOCIATES, LTD.</p>		<p>GARDEN & ASSOCIATES, LTD. ENGINEERS & SURVEYORS</p> <p>1701 1st Avenue East, Suite 1 Des Moines, Iowa 50319 515.281.8800 515.281.8801 515.281.8802 515.281.8803 515.281.8804 515.281.8805 515.281.8806 515.281.8807 515.281.8808 515.281.8809 515.281.8810 515.281.8811 515.281.8812 515.281.8813 515.281.8814 515.281.8815 515.281.8816 515.281.8817 515.281.8818 515.281.8819 515.281.8820 515.281.8821 515.281.8822 515.281.8823 515.281.8824 515.281.8825 515.281.8826 515.281.8827 515.281.8828 515.281.8829 515.281.8830 515.281.8831 515.281.8832 515.281.8833 515.281.8834 515.281.8835 515.281.8836 515.281.8837 515.281.8838 515.281.8839 515.281.8840 515.281.8841 515.281.8842 515.281.8843 515.281.8844 515.281.8845 515.281.8846 515.281.8847 515.281.8848 515.281.8849 515.281.8850 515.281.8851 515.281.8852 515.281.8853 515.281.8854 515.281.8855 515.281.8856 515.281.8857 515.281.8858 515.281.8859 515.281.8860 515.281.8861 515.281.8862 515.281.8863 515.281.8864 515.281.8865 515.281.8866 515.281.8867 515.281.8868 515.281.8869 515.281.8870 515.281.8871 515.281.8872 515.281.8873 515.281.8874 515.281.8875 515.281.8876 515.281.8877 515.281.8878 515.281.8879 515.281.8880 515.281.8881 515.281.8882 515.281.8883 515.281.8884 515.281.8885 515.281.8886 515.281.8887 515.281.8888 515.281.8889 515.281.8890 515.281.8891 515.281.8892 515.281.8893 515.281.8894 515.281.8895 515.281.8896 515.281.8897 515.281.8898 515.281.8899 515.281.8900</p>	
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<p>HARTMAN TRAPP ARCHITECTURE STUDIO</p> <p>1010 1st Avenue East, Suite 1 Des Moines, Iowa 50319 515.281.8800 515.281.8801 515.281.8802 515.281.8803 515.281.8804 515.281.8805 515.281.8806 515.281.8807 515.281.8808 515.281.8809 515.281.8810 515.281.8811 515.281.8812 515.281.8813 515.281.8814 515.281.8815 515.281.8816 515.281.8817 515.281.8818 515.281.8819 515.281.8820 515.281.8821 515.281.8822 515.281.8823 515.281.8824 515.281.8825 515.281.8826 515.281.8827 515.281.8828 515.281.8829 515.281.8830 515.281.8831 515.281.8832 515.281.8833 515.281.8834 515.281.8835 515.281.8836 515.281.8837 515.281.8838 515.281.8839 515.281.8840 515.281.8841 515.281.8842 515.281.8843 515.281.8844 515.281.8845 515.281.8846 515.281.8847 515.281.8848 515.281.8849 515.281.8850 515.281.8851 515.281.8852 515.281.8853 515.281.8854 515.281.8855 515.281.8856 515.281.8857 515.281.8858 515.281.8859 515.281.8860 515.281.8861 515.281.8862 515.281.8863 515.281.8864 515.281.8865 515.281.8866 515.281.8867 515.281.8868 515.281.8869 515.281.8870 515.281.8871 515.281.8872 515.281.8873 515.281.8874 515.281.8875 515.281.8876 515.281.8877 515.281.8878 515.281.8879 515.281.8880 515.281.8881 515.281.8882 515.281.8883 515.281.8884 515.281.8885 515.281.8886 515.281.8887 515.281.8888 515.281.8889 515.281.8890 515.281.8891 515.281.8892 515.281.8893 515.281.8894 515.281.8895 515.281.8896 515.281.8897 515.281.8898 515.281.8899 515.281.8900</p>	<p>3750 Grand LLC Thirty Seven Fifty on Grand</p> <p>1010 1st Avenue East, Suite 1 Des Moines, Iowa 50319 515.281.8800 515.281.8801 515.281.8802 515.281.8803 515.281.8804 515.281.8805 515.281.8806 515.281.8807 515.281.8808 515.281.8809 515.281.8810 515.281.8811 515.281.8812 515.281.8813 515.281.8814 515.281.8815 515.281.8816 515.281.8817 515.281.8818 515.281.8819 515.281.8820 515.281.8821 515.281.8822 515.281.8823 515.281.8824 515.281.8825 515.281.8826 515.281.8827 515.281.8828 515.281.8829 515.281.8830 515.281.8831 515.281.8832 515.281.8833 515.281.8834 515.281.8835 515.281.8836 515.281.8837 515.281.8838 515.281.8839 515.281.8840 515.281.8841 515.281.8842 515.281.8843 515.281.8844 515.281.8845 515.281.8846 515.281.8847 515.281.8848 515.281.8849 515.281.8850 515.281.8851 515.281.8852 515.281.8853 515.281.8854 515.281.8855 515.281.8856 515.281.8857 515.281.8858 515.281.8859 515.281.8860 515.281.8861 515.281.8862 515.281.8863 515.281.8864 515.281.8865 515.281.8866 515.281.8867 515.281.8868 515.281.8869 515.281.8870 515.281.8871 515.281.8872 515.281.8873 515.281.8874 515.281.8875 515.281.8876 515.281.8877 515.281.8878 515.281.8879 515.281.8880 515.281.8881 515.281.8882 515.281.8883 515.281.8884 515.281.8885 515.281.8886 515.281.8887 515.281.8888 515.281.8889 515.281.8890 515.281.8891 515.281.8892 515.281.8893 515.281.8894 515.281.8895 515.281.8896 515.281.8897 515.281.8898 515.281.8899 515.281.8900</p>
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 www.rrolter.com

ARCHITECTS OF RECORD
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 Des Moines, Iowa 50317
 P: 515.273.2571
 www.walsinger.com

ARCHITECTS OF RECORD
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 Indianola, Iowa 50450
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 www.larsoneng.com

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 www.tessagroup.com

LANDSCAPE ARCHITECTS
 Jeffrey L. Bruce & Company, LLC
 308 4th Street
 West Des Moines, Iowa 50263
 www.jlbruce.com

SYMBOL LEGEND

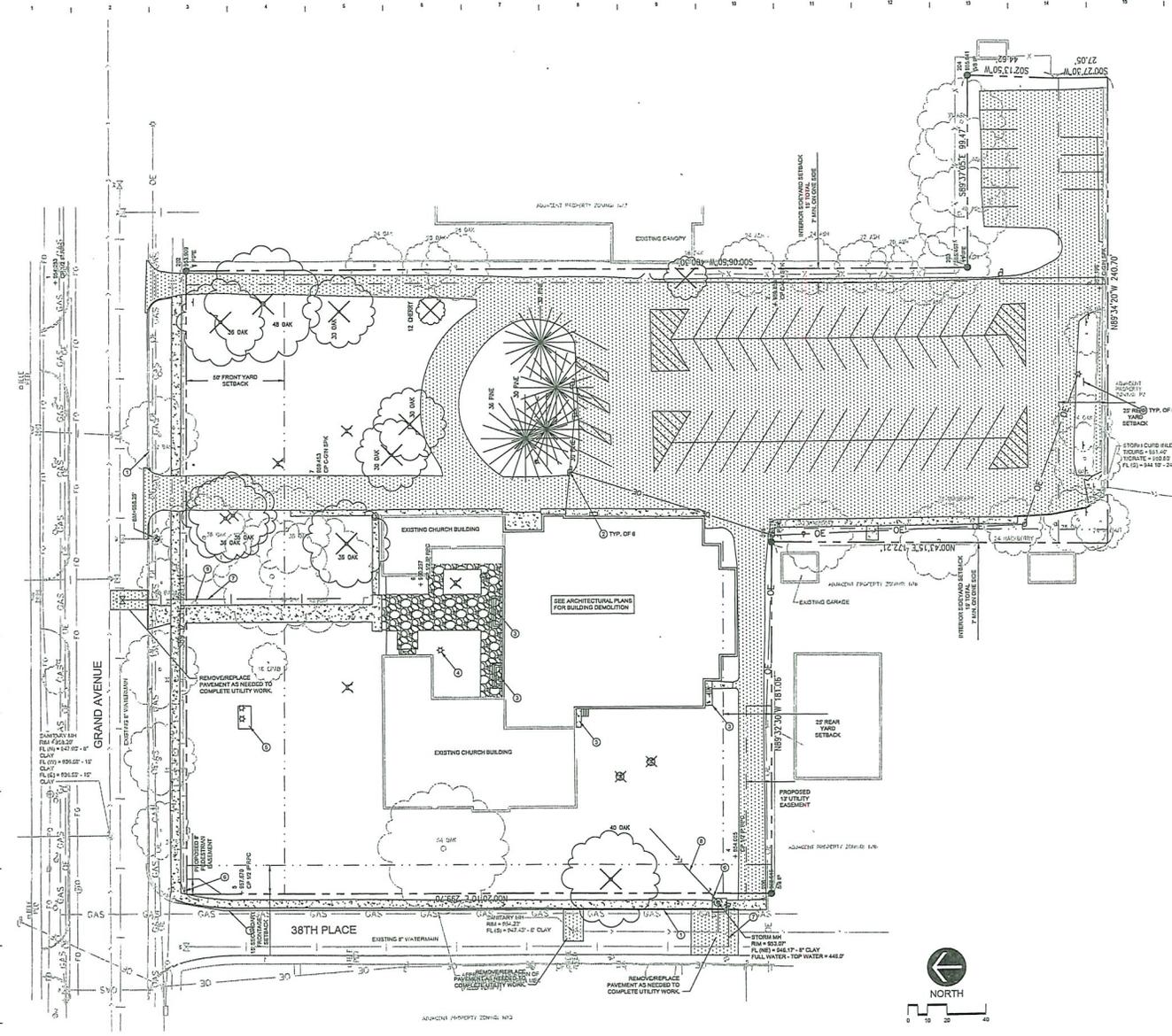
- REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING STONE IN PAVED AREA
- TREE TO BE REMOVED

KEY NOTES

1. SAWCUT, REMOVE, AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
2. REMOVE AND DISPOSE OF EXISTING UTILITY POLE AND WIRING.
3. REMOVE AND DISPOSE OF EXISTING STAIRS.
4. REMOVE AND DISPOSE OF EXISTING COURTYARD LIGHTING.
5. REMOVE AND DISPOSE OF EXISTING PLANTER BOX/LIGHTING.
6. REMOVE AND DISPOSE OF EXISTING SIGN. RELOCATE SIGN/STREET SIGNING AS NEEDED. CONTRACTOR SHALL NOT REMOVE ANY SIGNAGE FROM PUBLIC RIGHT-OF-WAY WITHOUT COORDINATING DIRECTLY WITH CITY TRAFFIC AND TRANSPORTATION DIVISION. TEMPORARY SIGNAGE MAY BE REQUIRED.
7. REMOVE AND DISPOSE OF EXISTING WATER SERVICE. SERVICE TO BE TERMINATED AT MAIN.
8. REMOVE AND DISPOSE OF EXISTING STORM LINE. CAP EXISTING LINE AT STORM STRUCTURE.
9. REMOVE EXISTING ORNAMENTAL YARD LIGHT FIXTURE. SALVAGE AND PRESERVE FOR REUSE.

DEMOLITION NOTES

1. VERIFY ALL EXISTING UTILITY LOCATIONS.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL NECESSARY UTILITY DEMOLITIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO ALL ON-SITE APARTMENTS AND BUILDINGS. THESE CONNECTIONS INCLUDE, BUT ARE NOT LIMITED TO, WATER, SANITARY SEWER, CABLE TV, TELEPHONE, GAS, ELECTRIC, SITE LIGHTING, ETC.
3. PRIOR TO BEGINNING WORK, CONTACT IOWA ONE CALL (800-328-5889) TO LOCATE UTILITIES THROUGHOUT THE AREA UNDER CONSTRUCTION. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PRIVATE UTILITY LOCATOR TO LOCATE THE PRIVATE UTILITIES.
4. SAWCUT ALONG EDGES OF PAVEMENTS, SIDEWALKS, AND CURBS TO REMAIN.
5. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.



CONSTRUCTION

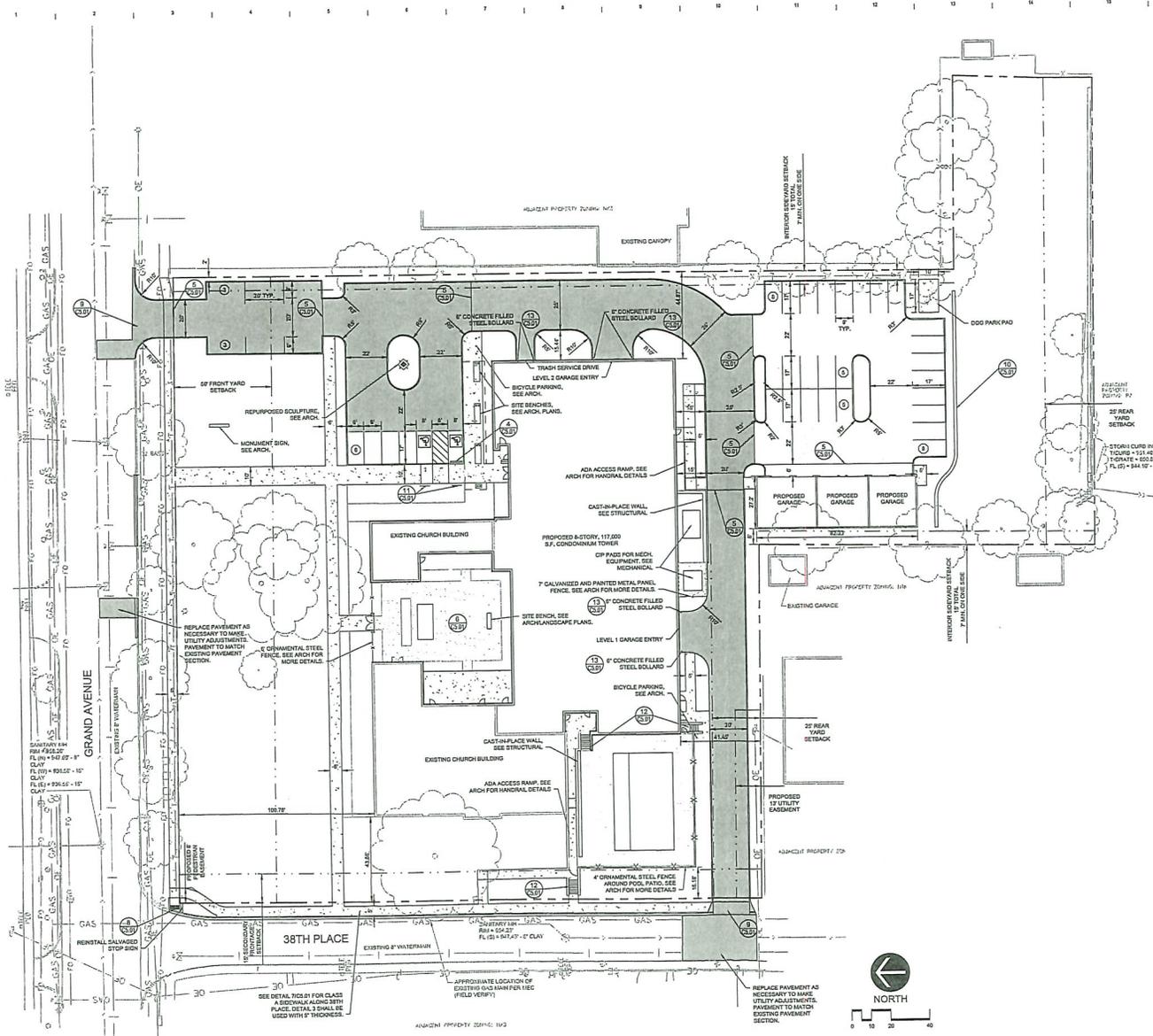
0750 Grand LLC
 Thirty Seven Fifty on Grand

Project No: 0101
 Client:
 Date: November 6, 2020
 Revision:
 Date:

Site Plan Submittal #2

SITE DEMOLITION PLAN

C1.01



SYMBOL LEGEND

- NEW 6" PORTLAND CEMENT CONCRETE OVER NEW 6" BASE AGGREGATE. SEE DETAIL 305.01
- NEW 6" COLORED PORTLAND CEMENT CONCRETE OVER NEW 6" BASE AGGREGATE WITH 2% TOOLED JOINTS. SEE DETAIL 105.01
- NEW 6" PORTLAND CEMENT CONCRETE OVER NEW 6" BASE AGGREGATE. SEE DETAIL 305.01
- NEW 7" PORTLAND CEMENT CONCRETE OVER NEW 7" BASE AGGREGATE. SEE DETAIL 305.01
- 2" DECOMPOSED GRANITE PATHWAY OVER 6" BASE AGGREGATE WITH LANDSCAPING FABRIC. SEE DETAIL 505.01

WHERE APPLICABLE, DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB OR BACK OF CURB TO END OF STALL LINE.

NOTES

1. Contractor to submit phased paving plan and jointing layout.
2. Pavement replacement within existing City streets shall match existing pavement section.
3. Sidewalk/Drive Approach Permit is required prior to start of construction.

IMPERVIOUS/OPEN SPACE DATA

TOTAL SITE AREA	137,252 S.F. (3.14 AC)
TOTAL DISTURBED AREA	126,252 S.F. (2.81 AC)
EXISTING IMPERVIOUS AREA	71,219 S.F.
PROPOSED IMPERVIOUS AREA	82,748 S.F.
PROPOSED NEW PAVEMENT	41,800 S.F.
PROPOSED OPEN SPACE	55,176 S.F. (1.26 AC)

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 San Diego, CA 92108
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 LANDSCAPE ARCHITECT
 Tassell Electric
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 LANDSCAPE ARCHITECT
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 325 W. 2nd
 San Diego, CA 92101
 PL 16123167
 www.jlbross.com

3750 Grand LLC
 Thirty Seven Fifty on Grand

Project No: 0101
 Client No: 0201
 Date: November 6, 2023
 Revision: none submitted

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335 1/2 West
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WWW.JSCOTT.COM

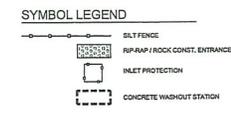
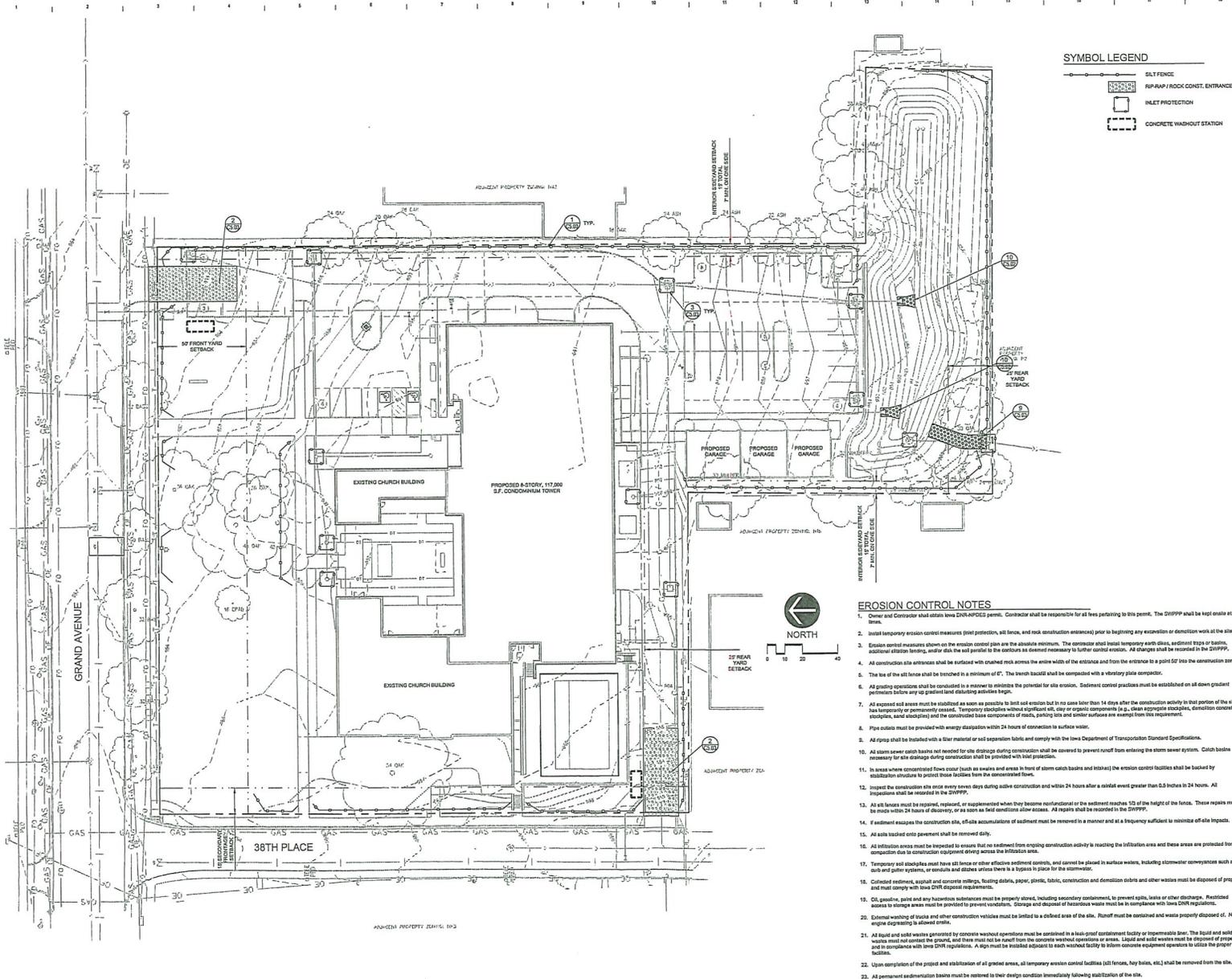


3750 Grand LLC
Thirty Seven Fifty on Grand
Site Plan Submitted #2

Project No: 0101
Client No: 0021
Date: November 6, 2020
Revisions: www.hartmantrapp.com

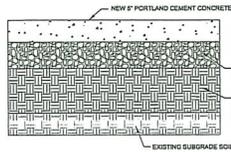
EROSION CONTROL PLAN

C3.02

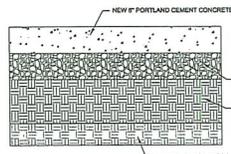


- #### EROSION CONTROL NOTES
- Owner and Contractor shall obtain local DNR-APDES permit. Contractor shall be responsible for all fees pertaining to this permit. The DSWPPP shall be kept onsite at all times.
 - Install temporary erosion control measures (silt fence, silt fence, and rock construction entrance) prior to beginning any excavation or demolition work at the site.
 - Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional silt fence, and/or silt fence to the contours as deemed necessary to further control erosion. All changes shall be recorded in the DSWPPP.
 - All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction area.
 - The site of all fences shall be constructed to a minimum of 2". The fabric should be compacted with a vibratory plate compactor.
 - All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient portions before any up gradient land disturbing activities begin.
 - All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stabilization methods include, but are not limited to, straw mulch, straw blankets, erosion control blankets, straw wattles, and sods.
 - Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
 - All ditches shall be installed with a clear outlet or all separation fabric and comply with the local Department of Transportation Standard Specifications.
 - All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
 - In areas where concentrated flow occur (such as swales and areas in front of storm catch basins and inlets) the erosion control facilities shall be backed by stabilization structures to protect facilities from the concentrated flow.
 - Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the DSWPPP.
 - All soil banks must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 10% of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow repairs. All repairs shall be recorded in the DSWPPP.
 - If sediment escapes the construction site, all-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
 - All silt loaded onto pavement shall be removed daily.
 - All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from construction dust to construction equipment driving across the infiltration area.
 - Temporary soil stockpiles must have silt fences or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyance such as on and gutter systems, or curbs and ditches unless there is a bypass in place for the stormwater.
 - Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with local DNR disposal requirements.
 - Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to these areas must be provided and prevented. Storage and disposal of hazardous waste must be in compliance with local DNR regulations.
 - External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine idling is allowed on-site.
 - All liquid and solid wastes generated by concrete washed operations must be contained in a leak-proof containment facility or impervious liner. The liquid and solid wastes must be stored on the ground, and there must not be runoff from the concrete washed operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with local DNR regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
 - Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
 - All permanent sedimentation basins must be returned to their design condition immediately following stabilization of the site.

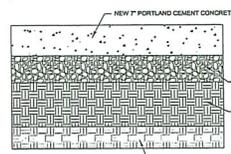
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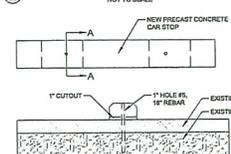
LIGHT-DUTY CONCRETE CONSTRUCTION DETAIL



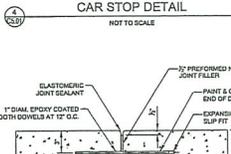
MEDIUM-DUTY CONCRETE CONSTRUCTION DETAIL



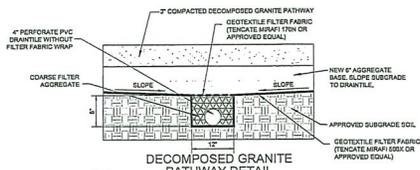
HEAVY-DUTY CONCRETE CONSTRUCTION DETAIL



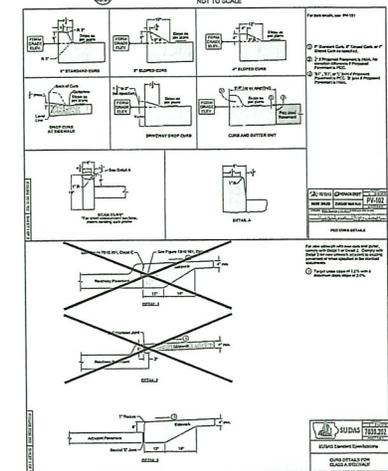
CONCRETE CAR STOP DETAIL



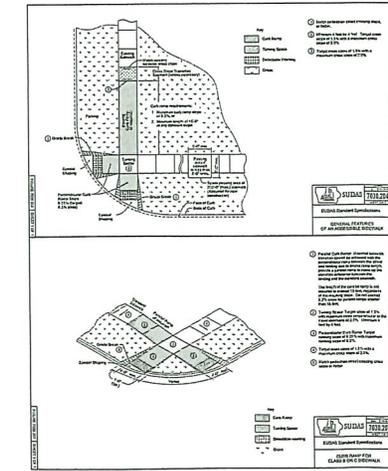
DOWELED EXPANSION JOINT



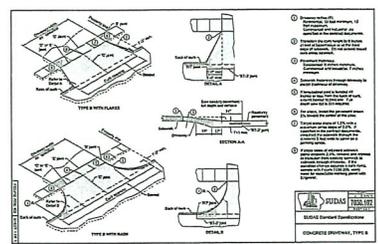
DECOMPOSED GRANITE PATHWAY DETAIL



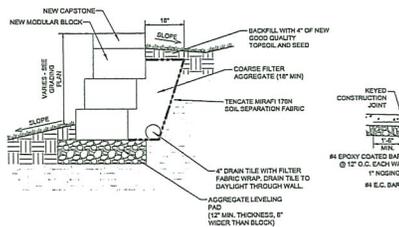
CONCRETE CURB DETAILS



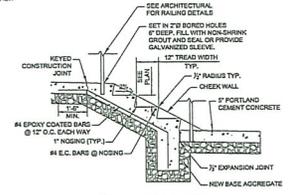
ACCESSIBLE SIDEWALK DETAIL



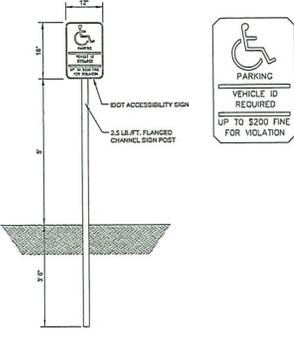
CONCRETE DRIVEWAY DETAIL



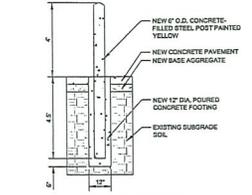
RETAINING WALL DETAIL



CONCRETE STAIR SECTION DETAIL



SIGN AND POST DETAIL



BOLLARD DETAIL

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3750 Grand LLC
Thirty Seven Fifty on Grand

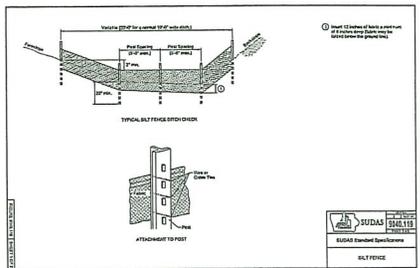
Project No: 0101
Client No: 0211
Date: November 6, 2020
Revised: 0000
Scale: 1/8" = 1'-0"

Site Plan Submittal #2

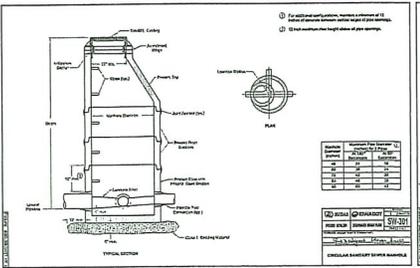
CIVIL DETAILS

C5.01

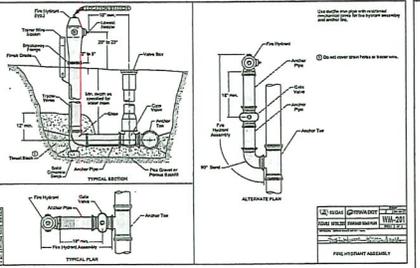
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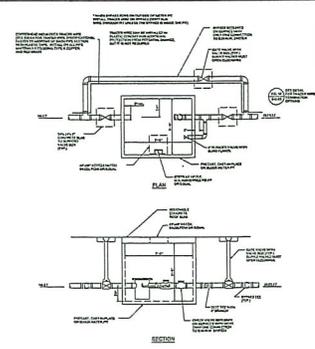
1 SILT FENCE NOT TO SCALE



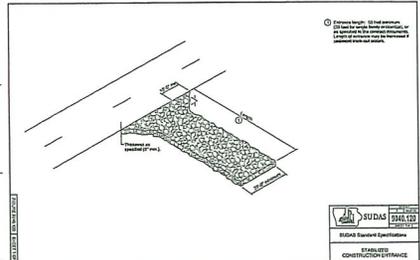
2 SW-301 CIRCULAR SANITARY SEWER MANHOLE NOT TO SCALE



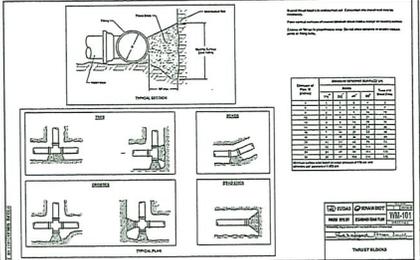
3 WM-201 FIRE HYDRANT ASSEMBLY NOT TO SCALE



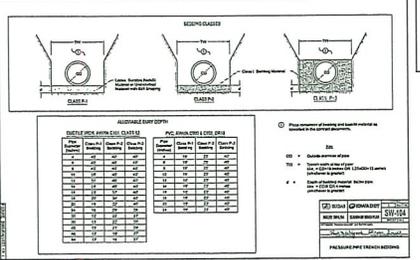
4 FIRE SERVICE METER PIT DETAIL NOT TO SCALE



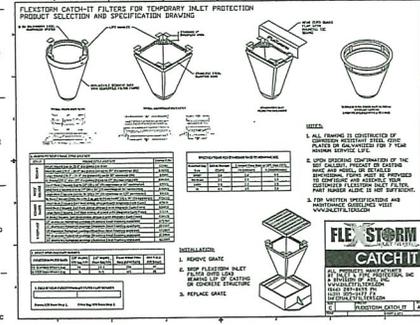
5 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



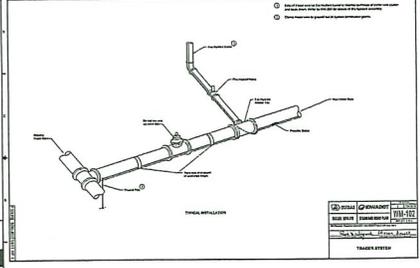
6 WM-101 THRUST BLOCKS NOT TO SCALE



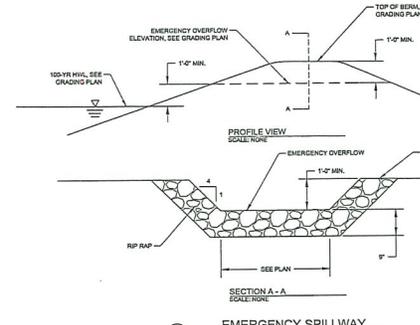
7 SW-104 PRESSURE PIPE TRENCH BEDDING NOT TO SCALE



8 INLET SEDIMENT FILTER NOT TO SCALE



9 WM-102 TRACER SYSTEM NOT TO SCALE



10 EMERGENCY SPILLWAY NOT TO SCALE

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Des Moines Water Works
ENGINEERING DEPARTMENT
Des Moines, Iowa

FIRE SERVICE METER PIT DETAIL
SCALE: NONE DATE: 6/16/18
DESIGNED BY: [Name] APPROVED BY: [Name]

3750 Grand LLC
Thirty Seven Fifty on Grand

Project No.: 0101
Client No.: 0011
Date: November 4, 2019
Revisions: www.hartmantrapp.com

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52

PLANTING SCHEDULE				
CONTRIBUTOR	BOTANICAL NAME	COMMON NAME	SIZE	QTY
PA	Picea abies	Norway Spruce	4' HT.	3
PO	Picea omorika	Serbian Spruce	4' HT.	6
OVERSTORY TREES				
AO	Aesculus glabra	Ohio Buckeye	11-1/2" CAL.	2
CS	Castanea speciosa	Northern Catalpa	11-1/2" CAL.	1
GL	Ginkgo biloba 'Lakeway'	Lakeway Malesherbe tree	11-1/2" CAL.	3
GP	Ginkgo biloba 'Pinceton Sentry'	Pinceton Sentry Ginkgo	11-1/2" CAL.	2
GT	Gleditsia triacanthos f. inermis	Thornless Honey Locust	11-1/2" CAL.	3
QB	Quercus bicolor	Swamp White Oak	11-1/2" CAL.	2
QV	Quercus velutina	Black Oak	11-1/2" CAL.	2
UP	Ulmus americana 'Pinceton'	American Elm	11-1/2" CAL.	2
UV	Ulmus americana 'Valley Forge'	American Elm	11-1/2" CAL.	1
UNDERSTORY TREES				
AIC	Amelanchier canadensis	Canadian Serviceberry	11-1/2" CAL.	2
MS	Magnolia stellata	Star Magnolia	11-1/2" CAL.	5
MP	Molux x 'Proflita'	Prickly Pear Magnolia	11-1/2" CAL.	2
QV	Quercus virginiana	American Hophornbeam	15 gal	7
SHRUBS				
BO	BOTANICAL NAME	COMMON NAME	SIZE	QTY
RG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal	23
DECIDUOUS SHRUBS				
SH	Syringa vulgaris 'Albert F. Holden'	Albert F. Holden Lilac	3 GAL.	12
EVERGREEN SHRUBS				
JA	Juniperus chinensis 'Ames'	Ames Juniper	3 GAL.	24
TD	Taxus x media 'Danaeformis'	Danae Yew	3 GAL.	166
TH	Taxus x media 'Hetzl'	Hetzl Yew	3 GAL.	30

VINE/FOLIAGE				
ID	BOTANICAL NAME	COMMON NAME	SIZE	QTY
HD	Hedera helix	English Ivy	Top	37
GROUND COVERS				
ID	BOTANICAL NAME	COMMON NAME	CONT.	SPACING
	Ajuga reptans	Creeping Bugle	flat	12" o.c.
	Ulopes spicata	Creeping Lily Turf	flat	12" o.c.
	Pachyandra terminalis	Japanese Spurge	flat	6" o.c.
	Vincetoxicum	Common Foxglove	flat	6" o.c.
	Profilia Mx #1	RE: SUDAS SECTION 9010	seed mix	10,876 SF
	Hydric Mx #1	RE: SUDAS SECTION 9010	seed mix	2,433 SF

LANDSCAPE SUMMARY
 830 DEVELOPMENT - TOTAL SITE AREA: 127,257 S.F.

(1A) CANOPY COVER (15%): 19,574
 REQUIRED: 17,188 S.F.
 EXISTING TO REMAIN: 12,100 S.F.
 PROPOSED: 31,700 S.F.
 TOTAL PROVIDED: 44,800 S.F.

(1B) EXISTING TREE CANOPY CREDITS (EXCLUDING ROW AND ASH TREES):
 ASSIGNED: NUMBER OF EXISTING TREES TO REMAIN:
 2 10 INCH DIA. @ 4.5' = 900 S.F. 2 = 400 S.F.
 2 20 INCH DIA. @ 4.5' = 700 S.F. 5 = 3,200 S.F.
 2 30 INCH DIA. @ 4.5' = 1,000 S.F. 8 = 8,000 S.F.

(1C) TOTAL CANOPY CREDITS OF EXISTING TREES TO REMAIN:
 12,100 S.F.

(1D) AREA OF CANOPY COVERAGE BY TREE SIZE AT MATURITY:
 ASSIGNED: PROPOSED:
 SHADE OR OVERSTORY TREE = 1,200 S.F. 18 = 18,000 S.F.
 CRANEMAN OR UNDERSTORY TREE = 700 S.F. 16 = 11,200 S.F.
 EVERGREEN OR CONIFEROUS TREE = 300 S.F. 9 = 2,700 S.F.

(1E) TOTAL AREA OF CANOPY COVERAGE FROM PROPOSED TREES:
 31,700 S.F.

(2) SIDE BUFFER:
 REQUIRED: 1 SHADE TREE EVERY 40 LF.

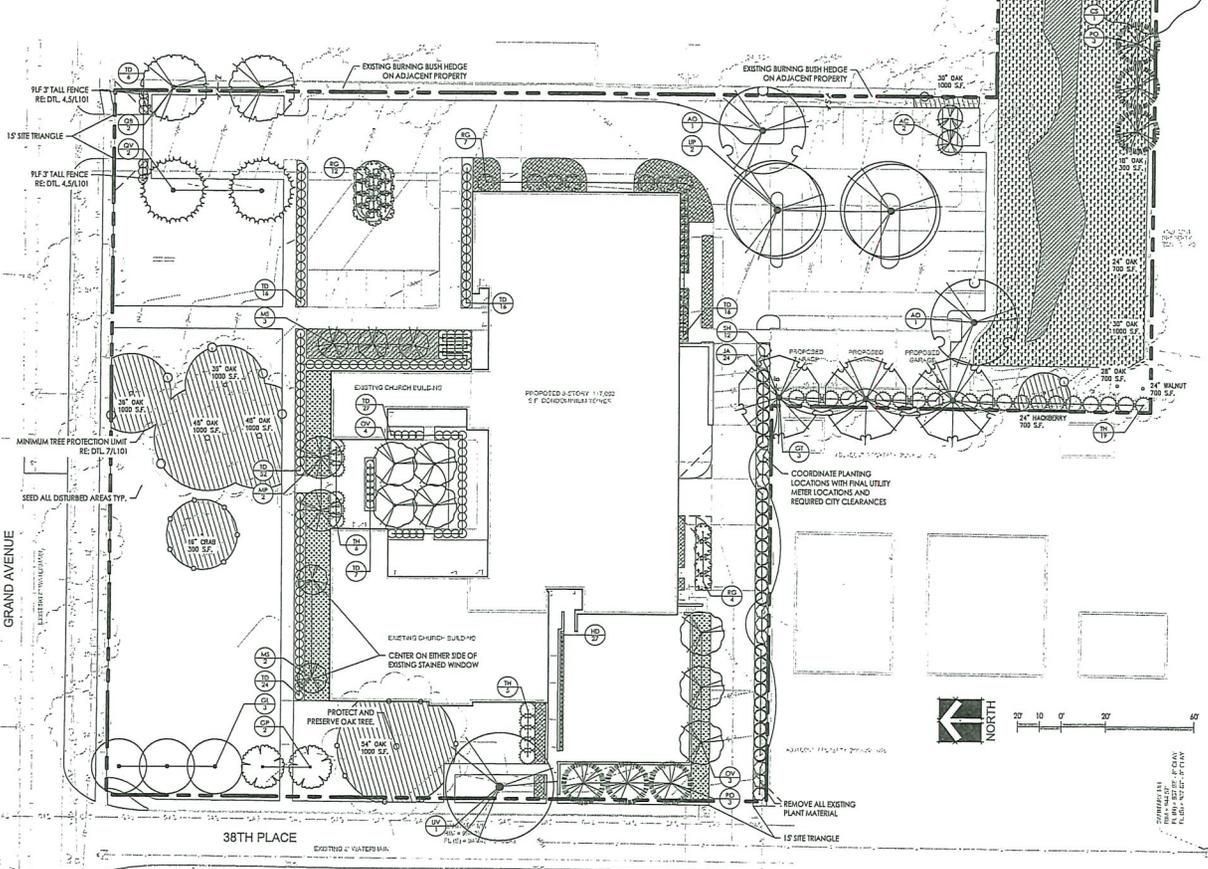
PROPOSED:
 EAST BUFFER (GUEST LOT): 80 LF @ 4 LF = 2
 2 PROPOSED = 2 SHADE TREES
 EAST BUFFER (RESIDENT LOT): 70 LF @ 4 LF = 2
 2 EXISTING ASH AND OAK TREES LINE THIS BUFFER
 WEST BUFFER: 240 LF @ 4 LF = 6
 3 PROPOSED = 3 EXISTING = 6 SHADE TREES

(3) REQUIRED AREA FOR LANDSCAPE ISLANDS (INSIDE CURB):
 MINIMUM DIMENSIONS: 5'-0" x 17'-0"

(4) TREE REQUIREMENTS FOR LANDSCAPE ISLANDS:
 MINIMUM OF ONE SINGLE-TRUNK, SHADE TREE IS REQUIRED WITHIN EACH ISLAND.
 EACH PARKING SPACE SHALL BE LOCATED WITHIN 50' OF A TREE PLANTED WITHIN THE PARKING LOT INTERIOR.
 FURTHEST DISTANCE BETWEEN A PARKING SPACE AND AN INTERIOR PLANTED TREE: 44'

(5) CANOPY COVERAGE REQUIREMENTS FOR LANDSCAPE ISLANDS:
 AT MATURITY, TREE CANOPIES SHALL SHADE A MINIMUM OF 30% OF THE INTERIOR OF THE PARKING LOT.
 NORTH LOT:
 INTERIOR PARKING LOT SIZE: 1,095 S.F.
 REQUIRED SHADING: 328.5 S.F.
 PROPOSED SHADING AT MATURITY: 6,000 S.F.
 SOUTH LOT:
 INTERIOR PARKING LOT SIZE: 8,803 S.F.
 REQUIRED SHADING: 2,441 S.F.
 PROPOSED SHADING AT MATURITY: 5,800 S.F.

SOIL VOLUMES & HERMABARE AREAS:
 ISLANDS THAT DO NOT MEET THE REQUIREMENT MAY BE REQUIRED TO INSTALL AN AERATION SYSTEM AND USE PERMEABLE PAVING AS APPROVED BY THE CITY FORESTER.
 REQUIRED SOIL VOLUME FOR MATURE SHADE TREE = 1000 C.F.



- LANDSCAPE NOTES**
- LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND SECTIONS OF THE LOCAL JURISDICTIONS STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - LOCATIONS OF ALL PLANT MATERIALS TO BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM A SINGLE NURSERY SOURCE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF PLANT MATERIALS AND IMPROVEMENTS SHOWN.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED AND RESTORE ALL DISTURBED AREAS BACK TO ORIGINAL OR FINISH GRADE ELEVATIONS, INCLUDING EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.
 - PLANT TREES AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF ALL OTHER PLANTS.
 - ALL EXISTING PLANTS SHOWN ON PLAN ARE IN APPROXIMATE LOCATIONS. ADJUST NEW PLANTING BED AND TREE LOCATIONS TO AVOID CONFLICT WITH EXISTING PLANTING. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ON ANY NECESSARY ADJUSTMENTS.
 - THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING AND MAINTENANCE OPERATIONS.
 - REFER TO STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS TREE PLANTING DETAILS ON 9000.101, 9000.102, AND 9000.103 FOR TREE PLANTING, STAKING, CUTTING, AND WRAPPING.
 - ALL TREE AND SHRUB LANDSCAPE BEDS SHALL HAVE WEED PREVENTION FABRIC INSTALLED. WEED PREVENTION FABRIC SHALL COVER THE ENTIRE LANDSCAPE BED.
 - CANOPY TREES AND EVERGREEN TREES SHALL RECEIVE A MINIMUM OF 4" SHROUDED HARDWOOD MULCH. MULCH AROUND TREES SHALL BE EXTENDED OUT AS FAR AS THE HOLE DUG FOR PLANTING AND SHALL BE PLACED IN SUCH A WAY AS TO FORM A BOWL AT THE BASE OF THE TRUNK ALLOWING WATER TO COLLECT MORE EFFECTIVELY.
 - REMOVE ALL WIRE, TWINE, OR BURLAP FROM THE ROOTBALLS OF STREET TREES PRIOR TO PLANTING.
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ANY TREES THAT HAVE RECEIVED TIES WITHIN ONE YEAR FROM DATE OF INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF IDENTIFICATION TAGS, CONTAINERS, AND BURLAP ON ALL PLANT MATERIAL PRIOR TO COMPLETION OF THE CONTRACT.
 - THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.

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Company Name
 Address Line 1
 Address Line 2
 City, State, Zip
 www_www

Company Name
 Address Line 1
 Address Line 2
 City, State, Zip
 www_www

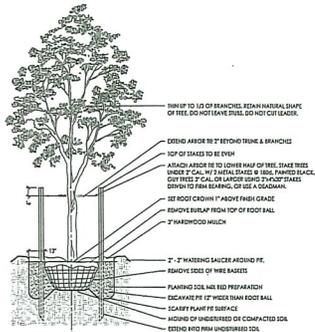
3750 on Grand L.L.C.
 3750 on Grand Avenue

Project No.: 0191
 Client No.: 0000
 Date: September 3, 2015
 Revision: None
 Scale: AS15

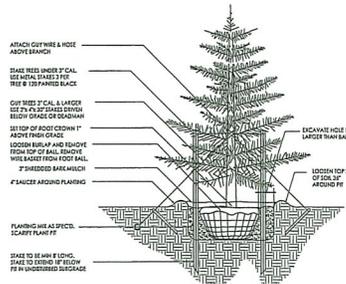
STATE OF IOWA
 IOWA BOARD OF ARCHITECTURE
 ARCHITECT REG. NO. 0545
 LANDSCAPE REG. NO. 0001

LANDSCAPE PLAN
 L100

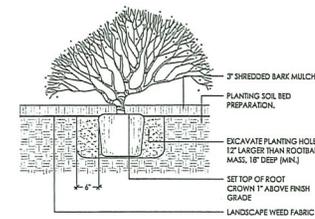
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1 DECIDUOUS TREE PLANTING DETAIL
3/8" = 1'-0"



2 CONIFEROUS TREE PLANTING (TYP.)
NOT TO SCALE

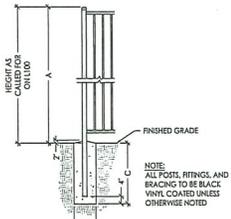


3 SHRUB PLANTING (TYP.)
1" = 1'-0"

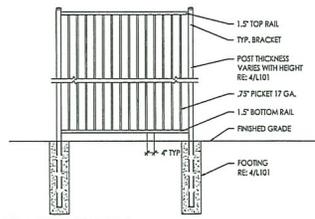
NOTE:
ALL PIPE TO BE STANDARD STEEL SCHED. 40 PIPE (ASTM A500, GRADE B) Fy = 42 KSI

HEIGHT OF FENCE (A)	RAIL				POST		DEPTH OF FOOTING (C)	DIA. OF FOOTING (B)
	INT.	EXT.	INT.	EXT.	CONCRETE/STEEL	WOOD/STEEL		
3'-0"	1.660"	1.660"	1.900"	2.875"	4"	3"	12"	8"
6'-0"	1.660"	1.660"	1.900"	2.875"	4"	3"	12"	8"

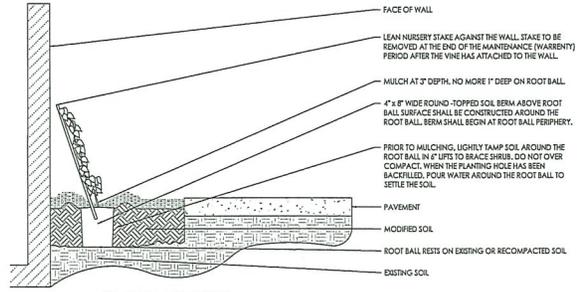
* ALL VINYL FENCE MATERIAL TO BE BLACK VINYL COATED. FENCE TO BE 20% OPAQUE AT A MINIMUM.



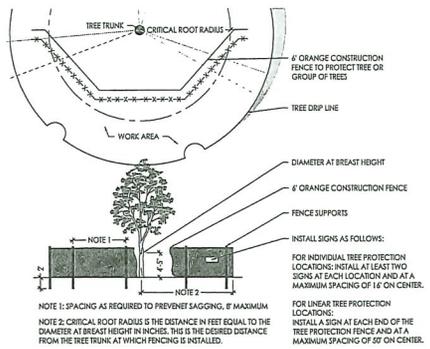
4 FENCING SIZE DETAIL
1/2" = 1'-0"



5 FENCING ELEVATION
1/2" = 1'-0"



6 VINE PLANTING (TYP.)
1" = 1'-0"



7 TREE PROTECTION DETAIL
1/8" = 1'-0"

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CONSTRUCTION

3750 on Grand L.L.C.
3750 on GRAND AVENUE

Project No.: 0101
Client No.: 0000
Date: September 3, 2020
Revised: DATE
Scale: DATE

Preliminary - Not for Construction
Schematic Design