



Date March 8, 2021

**RESOLUTION SETTING HEARING ON REQUEST FROM HILLTOP HOUSING, LLC (OWNER) TO AMEND PLANDSM FUTURE LAND USE DESIGNATION AND APPROVE A 1<sup>ST</sup> AMENDMENT TO THE “HILLTOP APARTMENTS” LEGACY PUD CONCEPTUAL PLAN FOR PROPERTY LOCATED AT 3722 & 3726 HUBBELL AVENUE AND 3680 & 3688 KENNEDY DRIVE**

**WHEREAS**, on February 18, 2021, the City Plan and Zoning Commission voted 14-0 to **APPROVE** a request from Hilltop Housing, LLC (owner), represented by J.B. Conlin (officer), to review and approve amendment of the PlanDSM Creating our Tomorrow comprehensive plan future land use classification from Medium Density Residential within a Community Node to High Density Residential within a Community Node, and to review and approve a 1<sup>st</sup> Amendment to the “Hilltop Apartments” Legacy PUD Conceptual Plan on the property located at 3722 and 3726 Hubbell Avenue and 3680 and 3688 Kennedy Drive (“Property”), to allow construction of two 42-unit household dwellings in place of the approved dwelling units within a 30-unit household dwelling, a 36-unit household dwelling, and several two-household dwellings. The amendment would not alter the total number of dwelling units (254) allowed within the development. Additional property owners include Hilltop Senior, LP; Hilltop I, LP; and Hilltop II, LP, subject to the following conditions:

1. Provision of a note to state that any “thru-wall air condition unit” shall be designed and colored to blend with the building; and
2. Sheets 2 and 3 of the PUD Conceptual Plan shall be revised to demonstrate the existing sidewalks along Hubbell Avenue, as well as the existing shelter for the transit stop; and
3. The proposed north/south sidewalk extending through the eastern portion of the site be extended southerly to the east/west sidewalk that provides a connection the public sidewalk along Hubbell Avenue; and
4. The notes on Sheet 2 pertaining to the landscape buffer shall be clarified to state that the proposed 6-foot tall fence shall be 100 % opaque; and
5. The note on Sheet 1 pertaining to landscaping shall be revised to state that the site will be landscaped in accordance with the landscaping regulations applicable in the ‘NX3’ District; and
6. The note on Sheet 1 pertaining to signage shall be revised to state that any signage shall be in accordance with signage regulations applicable in the ‘NX3’ District; and

**WHEREAS**, the Property is legally described as follows:

THE EAST 15 ACRES OF THE WEST 30 ACRES OF THE SOUTHEAST 1/3 OF THE SOUTHEAST ¼ OF SECTION 20; LYING NORTH OF AVENUE FREDERICK HUBBELL; IN TOWNSHIP 70 NORTH, RANGE 23 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, IOWA, EXCEPT LEGALLY ESTABLISHED HIGHWAYS. CONTAINING 14.62 ACRES.



**Roll Call Number**

**Agenda Item Number**

22

**Date** March 8, 2021

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed Amendment to the PlanDSM Comprehensive Land Use Plan and proposed 1<sup>st</sup> Amendment to the "Hilltop Apartments" Legacy PUD Conceptual Plan are to be considered, and at which time the City Council will hear both those who oppose and those who favor the proposal, shall be held at 5:00 p.m. on March 22, 2021, by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community, without public access to the meeting location.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code. The City Clerk is instructed to provide this notice including information about participation in the electronic meeting as indicated above.

MOVED BY \_\_\_\_\_ TO ADOPT.

FORM APPROVED: Judy Parks-Kruse  
 Judy K. Parks-Kruse  
 Assistant City Attorney

(21-2021-4.04)  
(ZON2020-00011)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED APPROVED

\_\_\_\_\_ Mayor

**CERTIFICATE**

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

\_\_\_\_\_ City Clerk



March 2, 2021

Date March 8, 2021

Agenda Item 22

Roll Call # \_\_\_\_\_

Honorable Mayor and City Council  
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their February 18, 2021 meeting, the following action was taken regarding a City initiated request from Hilltop Housing, LLC (owner) represented by J.B. Conlin (officer) for the 1<sup>st</sup> Amendment to the to the "Hilltop Apartments" Legacy PUD Conceptual Plan to allow construction of two 42-unit household dwellings in place of the approved dwelling units within a 30-unit household dwelling, a 36-unt household dwelling, and several two-household dwellings. The amendment would not alter the total number of dwelling units (254) allowed within the development.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 14-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

**APPROVAL** of Part A) The proposed amendment to the PUD is not in conformance with the PlanDSM Creating Our Tomorrow Comprehensive Plan.

Part B) Approval of amending the PlanDSM Creating Our Tomorrow Plan future land use classification from Medium Density Residential within a Community Node to High Density Residential within a Community Node.

Part C) Approval of the 1<sup>st</sup> Amendment to the “Hilltop Apartments” Legacy PUD Conceptual Plan, subject to the following:

1. Provision of a note to state that any “thru-wall air condition unit” shall be of a design and color that blends with the building.
2. Sheets 2 and 3 of the PUD Conceptual Plan shall be revised to demonstrate the existing sidewalks along Hubbell Avenue, as well as the existing shelter for the transit stop.
3. The proposed north/south sidewalk extending through the eastern portion of the site be extended southerly to the east/west sidewalk that provides a connection to the public sidewalk along Hubbell Avenue.
4. The notes on Sheet 2 pertaining to the landscape buffer shall be clarified to state that the proposed 6-foot tall fence shall be 100% opaque (solid).
5. The note on Sheet 1 pertaining to landscaping shall be revised to state that the site will be landscaped in accordance with the landscaping regulations applicable in the “NX3” District.
6. The note on Sheet 1 pertaining to signage shall be revised to state that any signage shall be in accordance with signage regulations applicable in the “NX3” District.  
(ZON2021-00011)

#### Written Responses

4 in Favor

0 in opposition

#### **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Part A) Staff recommends that the Commission find the proposed amendment to the PUD is no in conformance with the PlanDSM Creating Our Tomorrow Comprehensive Plan.

Part B) Staff recommends approval of an amendment to the PlanDSM Creating Our Tomorrow Plan future land use classification from Medium Density Residential within a Community Node to High Density Residential within a Community Node.

Part C) Staff recommends approval of the 1<sup>st</sup> Amendment to the to the “Hilltop Apartments” Legacy PUD Conceptual Plan, subject to the following:

1. The elevations for the two new structures, as provided on Sheets 5 & 6, shall be revised so that stone and brick masonry cover at least 2/3 of all facades.
2. Provision of a note to state that any “thru-wall air condition unit” shall be designed and painted to blend with the building.

3. Sheets 2 and 3 of the PUD Conceptual Plan shall be revised to demonstrate the existing sidewalks along Hubbell Avenue, as well as the existing shelter for the transit stop.
4. The proposed north/south sidewalk extending through the eastern portion of the site be extended southerly to the east/west sidewalk that provides a connection to the public sidewalk along Hubbell Avenue.
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6. The note on Sheet 1 pertaining to landscaping shall be revised to state that the site will be landscaped in accordance with the landscaping regulations applicable in the "NX3" District.
7. The note on Sheet 1 pertaining to signage shall be revised to state that any signage shall be in accordance with signage regulations applicable in the "NX3" District.

## **STAFF REPORT TO THE PLANNING COMMISSION**

### **I. GENERAL INFORMATION**

1. **Purpose of Request:** The proposed amendment to the "Hilltop Apartments PUD" Conceptual Plan would allow construction of two 42-unit household dwellings in place of the approved dwelling units within multiple two-household dwellings, a 30-unit household dwelling, and a 36-unit household dwelling. The total number of dwelling units allowed by the resulting PUD Conceptual Plan would remain constant at 254 dwelling units.

Any future construction must be in accordance with a "PUD" Development Site Plan that would be reviewed and recommended by the Plan and Zoning Commission and approved by the City Council. Such a Site Plan has not been submitted for review at this time.

2. **Size of Site:** 14.62 acres.
3. **Existing Zoning (site):** "Hilltop Apartments PUD" Planned Unit Development District.
4. **Existing Land Use (site):** The site currently contains four (4) multi-household structures containing a total of 170 dwelling units and a clubhouse building.

**5. Adjacent Land Use and Zoning to Site of Amendment:**

**North** – “N2b” & “F”, Uses include a single-family dwelling and floodplain along Four Mile Creek.

**South** – “MX3”, Uses include Hubbell Avenue, Kennedy Avenue, a gas station/convenience store (QuikTrip), and a photo copy business (Copy Center).

**East** - “MX3” & “N2a-2”, Uses include a car wash, six (6) two-household dwellings (12 dwelling units), and three (3) single-household dwellings.

**West** – “PUD” & “RX1”, Use is multiple-family residential with 240 dwelling units within 10 buildings.

**6. General Neighborhood/Area Land Uses:** The subject property is located along the northwest side of Hubbell Avenue at its intersection with East Douglas Avenue. The surrounding area includes a mix of multiple-household residential, commercial, and institutional uses.

**7. Applicable Recognized Neighborhood(s):** The subject property is within 250 feet of the Sheridan Gardens Neighborhood. This neighborhood was notified of the meeting by mailing of the Preliminary Agenda to all recognized neighborhoods on January 29, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on January 29, 2021 (20 days prior to the hearing) and February 8, 2021 (10 days prior to the hearing) to the Sheridan Gardens Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on February 12, 2021.

All agendas and notices are mailed to the primary contact person designated to the City of Des Moines Neighborhood Development Division by the recognized neighborhood association. The Sheridan Gardens Neighborhood Association mailings were sent to Kurt Lee, 3507 E 39<sup>th</sup> Court, Des Moines, IA 50317.

The applicant mailing the required neighborhood outreach letter to surrounding property owners on January 21, 201. The applicant will be available to provide a summary of the meeting at the public hearing.

**8. Relevant Zoning History:** On November 19, 2012, the City Council rezoned the subject property to “PUD” District (Ordinance 15,142) and approved the original “PUD” Conceptual Plan.

**9. PlanDSM Creating Our Tomorrow Designation:** The subject property is currently designated as Community Mixed Use and Medium Density Residential within a Community Node centered at the intersection of Hubbell Avenue and East 38<sup>th</sup> Street. The 254 dwelling units on the 14.62-acre site represents a net density of 17.37 units per acre. Therefore, the land use designation for the northern portion of the site should be revised from Medium Density Residential to High Density Residential, which accommodates densities over 17 units per acre.

**10. Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the application, accompanying evidence and Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of the City Code and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the amended "PUD" Conceptual Plan as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the Commission shall be referred to the City Council.

## **II. ADDITIONAL APPLICABLE INFORMATION**

**1. Urban Design:** The proposed amendment to the PUD Conceptual Plan would allow construction of two (2) new multiple-household structures. One of the structures would be oriented north-to-south within the eastern portion of the property and the other would be oriented east-to-west within the northern portion of the property. The elevations demonstrate that the buildings would generally match the architectural character of the four (4) existing multiple-household dwellings on the site. However, the elevations demonstrate that the east façade of the easternmost building and the north façade of the northernmost building would only have a masonry wainscot. Given the visibility of these buildings from the residential uses to the east, Staff recommends that stone and brick masonry be provided on at least 2/3 of all facades instead of the wainscot so that the materials are consistent on all facades.

The elevations demonstrate that there would be "thru-wall air conditioning units". Staff recommends that a note be added to state that these shall be designed and painted to blend with the buildings.

**2. Traffic/Street System:** The PUD Conceptual Plan states that a traffic study was approved by the City in 2013 when the initial phase of the development was constructed.

The intersection of Hubbell Avenue and East Douglas Avenue has recently been realigned, which has allowed the main vehicular entrance for the development to be served by a stoplight along Hubbell Avenue. The PUD Conceptual Plan also provides a drive approach from Kennedy Drive (former segment of East Douglas Avenue) and an internal driveway connection at the north provided by an easement from the adjoining property.

The PUD Conceptual Plan demonstrates a total of 457 off-street parking spaces would be provided for the 254 dwelling, resulting in 1.80 parking spaces per dwelling unit.

There is existing sidewalk along all public streets, as a note on Sheet 1 of the PUD Conceptual Plan states that sidewalk shall be provided along all public streets fronting the PUD. Staff recommends that Sheets 2 and 3 of the PUD Conceptual Plan be revised to demonstrate these sidewalks, as well as the existing shelter at the transit stop along Hubbell Avenue. The PUD Conceptual Plan also demonstrates a network of

sidewalks throughout the development. Staff recommends that the proposed north/south sidewalk through the eastern portion of the site be extended southerly to the east/west sidewalk that provide a pedestrian connection from the public sidewalk along Hubbell Avenue.

3. **Landscaping:** The proposed "PUD" Conceptual Plan demonstrates significant landscaping and plantings throughout the site. It also provides a 30-foot wide landscape buffer along the east property line and a 20-foot wide landscape buffer along the north property line. Both buffers would contain a 6-foot tall fence, as well as 4 overstory trees and a mix of at least 8 additional evergreen, ornamental, or overstory trees, per 100 lineal feet. Staff recommends that the note be clarified to state that the fence within the buffers would be 100% opaque (solid).  
The proposed "PUD" Conceptual Plan states that the site will be landscaped in accordance with the landscaping regulations applicable in the "R-3" District. Staff recommends that this note be revised to state that the site will be landscaped in accordance with the landscaping regulations applicable in the "NX3" District.
4. **Signage:** The proposed "PUD" Conceptual Plan states that signage will be allowed in accordance with the signage regulations applicable in the "R-3" District. Staff recommends that this note be revised to state that signage will be allowed in accordance with the signage regulations applicable in the "NX3" District.

## **SUMMARY OF DISCUSSION**

Bert Drost presented staff report and recommendation.

Will Page asked with the 2 proposed buildings constructed, how many units would still be available.

Bert Drost stated this would max out the 254 units.

JB Conlin 3721 SW 61<sup>st</sup> Street, stated the back building has been changed to senior living units. Both buildings will have applications to IFA so these were designed to be built together or separately depending on what is approved by IFA. They would rather follow the requirements by IFA, which is 50% of brick on the building. The back of these buildings will hardly be seen and with brick being expensive makes it seem like a luxury that would cause rent prices to rise. Regarding condition #2, they will use a powder coated metal screen for the air conditioners that will match the color used on the buildings.

## **CHAIRPERSON OPENED THE PUBLIC HEARING**

Johnny Alcivar asked to clarify 50% of brick and masonry is what's required by IFA?

JB Conlin stated that is correct but they don't require a specific place for the brick and masonry.

Greg Wattier asked if the staff recommendation is to match the existing buildings or to be different.

Bert Drost stated it would be to match the architecture of the existing buildings on all 4 facades.

Greg Jones stated he likes the façade that has more brick but understands the applicants point of view around the 50% IFA requirement. Maybe they could move some around to the back so it doesn't come out to be 2/3 and could lose a little bit on the front side.

Jason Van Essen stated staff was looking for consistency in the materials used between the existing buildings and the proposed buildings. Staff was not aware of how much the grade would be cut into with the project, which will obscure views of the back side of the buildings from the adjoining property. With seeing the graphic from the applicant showing the need for a retaining wall, staff is comfortable with what is proposed.

Rocky Sposato stated he would support striking condition #1 from the staff recommendation and rewording condition #2.

### **CHAIRPERSON CLOSED THE PUBLIC HEARING**

#### **COMMISSION ACTION:**

Greg Jones made a motion for the following:

Part A) The proposed amendment to the PUD is not in conformance with the PlanDSM Creating Our Tomorrow Comprehensive Plan.

Part B) Approval of amending the PlanDSM Creating Our Tomorrow Plan future land use classification from Medium Density Residential within a Community Node to High Density Residential within a Community Node.

Part C) Approval of the 1<sup>st</sup> Amendment to the "Hilltop Apartments" Legacy PUD Conceptual Plan, subject to the following:

1. Provision of a note to state that any "thru-wall air condition unit" shall be of a design and color that blends with the building.
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6. The note on Sheet 1 pertaining to signage shall be revised to state that any signage shall be in accordance with signage regulations applicable in the "NX3" District.

Motion passed: 14-0

Respectfully submitted,



Jason Van Essen, AICP  
Planning & Urban Design Administrator

JMV:tjh

ZON2021-00011

Item: \_\_\_\_\_

Date: 2/10/21 22

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Staff Use Only

**RECEIVED**  
COMMUNITY DEVELOPMENT

FEB 17 2021

Signature: [Signature]

Name: Git-N-Go Stores, Inc.

Address: 3765 Hubball Ave.  
D.V.

Reason for opposing or approving this request may be listed below:

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ZON2021-00011

Item: \_\_\_\_\_

Date: 2-11-21

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Staff Use Only

**RECEIVED**  
COMMUNITY DEVELOPMENT

FEB 17 2021

Signature: [Signature]

Name: Kevin Yoakum 2Key LLC

Address: 3764 Hubball Ave  
Om

Reason for opposing or approving this request may be listed below:

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Item: ZON2021-00011 Date: 2/9/21

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Signature: *JH Carlin*  
 Name: JH Carlin, Carlin Properties  
 Address: See Below.

Staff Use Only

**RECEIVED**  
 COMMUNITY DEVELOPMENT  
**FEB 11 2021**

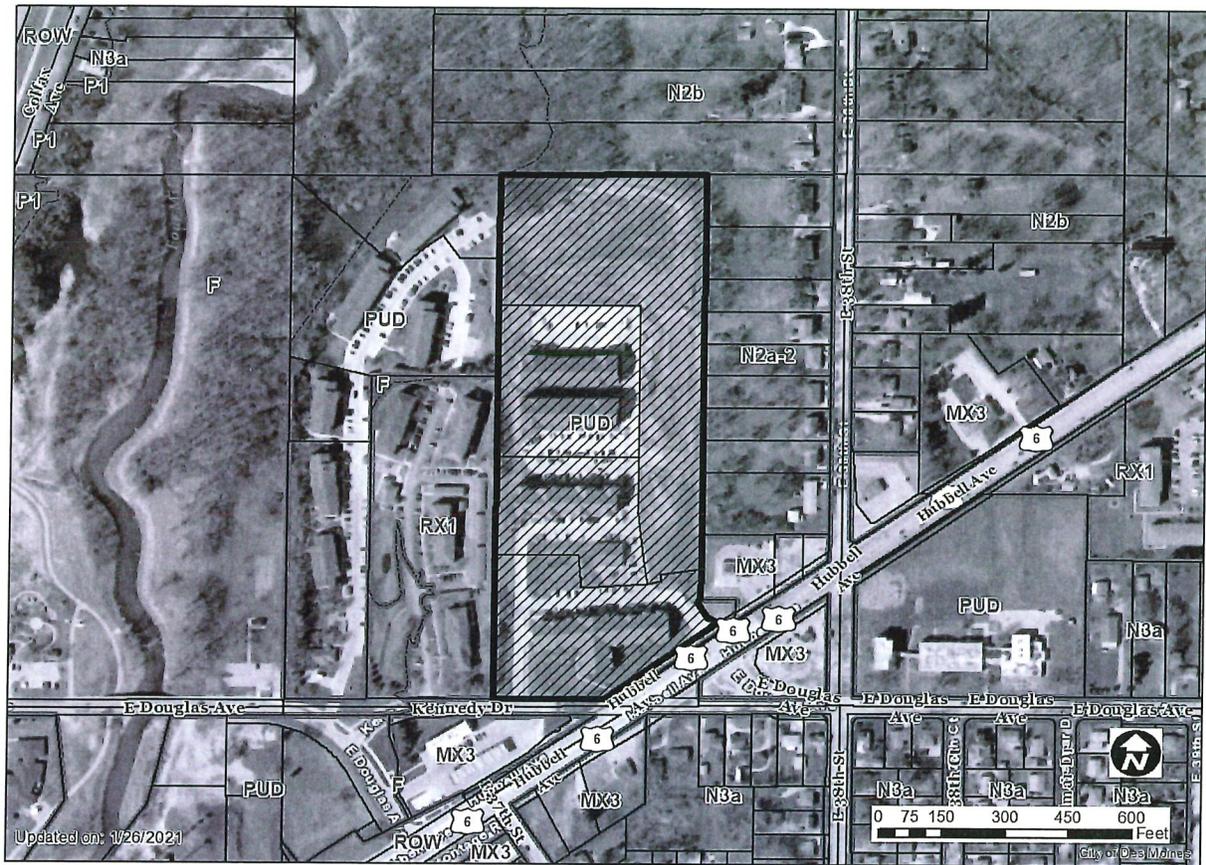
Reason for opposing or approving this request may be listed below:

3540 E Douglas, 3560 E Douglas Bldgs A-F  
3720, 3722, 3724, 3726, 3728-3768 Hubbell.  
See Attached Email with all parcel  
numbers

Request from Hilltop Housing, LLC (owner) represented by J.B. Conlin (officer) for property located at 3722 Hubbell Avenue, 3726 Hubbell Avenue, 3680 Kennedy Drive, and 3688 Kennedy Drive. Additional property owners include Hilltop Senior, LP; Hilltop I, LP; and Hilltop II, LP.			File # 21-2021-4.04	
Description of Action	Amendment to the PlanDSM Creating Our Tomorrow Plan future land use classification from Medium Density Residential within a Community Node to High Density Residential within a Community Node.			
PlanDSM Future Land Use	Current: Community Mixed Use and Medium Density Residential within a Neighborhood Node. Proposed: Community Mixed Use and High Density Residential within a Neighborhood Node.			
Mobilizing Tomorrow Transportation Plan	2020-2024 Hubbell Avenue reconstruction/expansion from E 33 <sup>rd</sup> St to E 38 <sup>th</sup> Street (LRTP #12)			
Current Zoning District	Hilltop Legacy "PUD" Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)				
Within Subject Property				
Plan and Zoning Commission Action	Approval		Required 6/7 Vote of the City Council	Yes
	Denial			No

Hilltop Housing, LLC, 3722 and 3726 Hubbell & 3680 and 3688 Kennedy Drive

21-2021-4.04



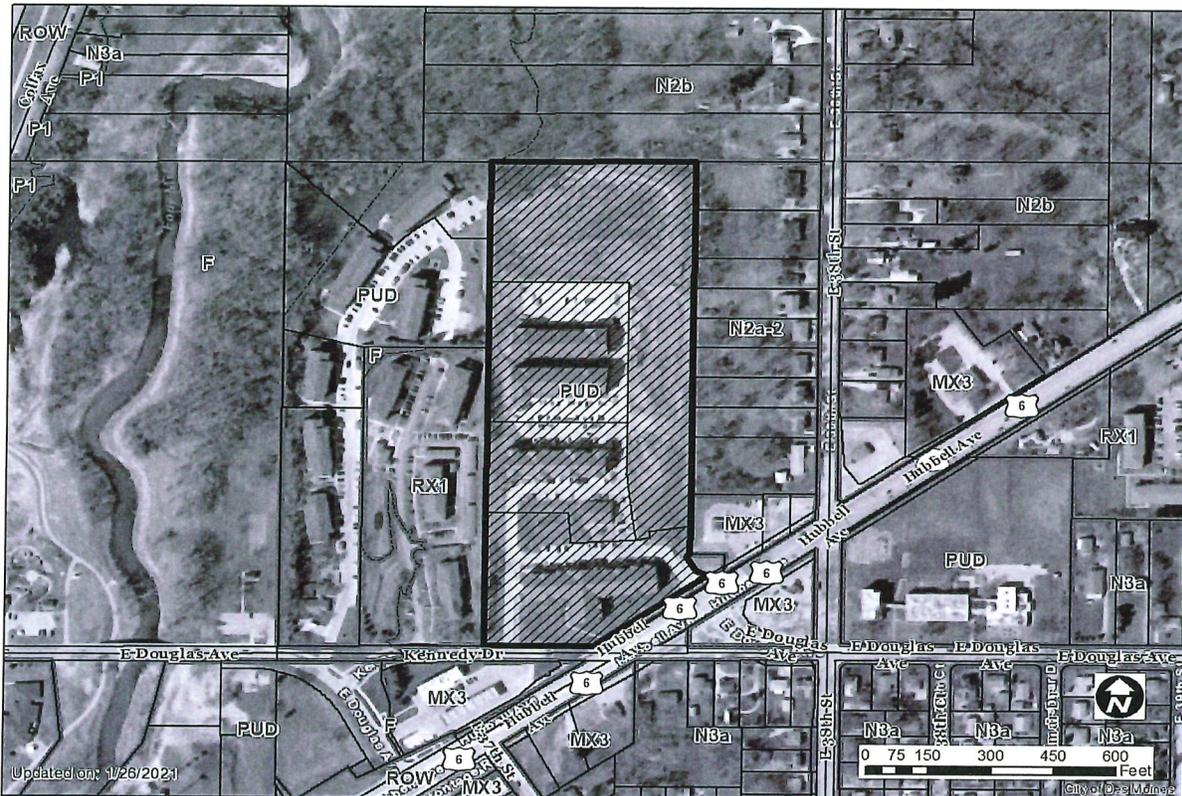
1 inch = 283 feet

22

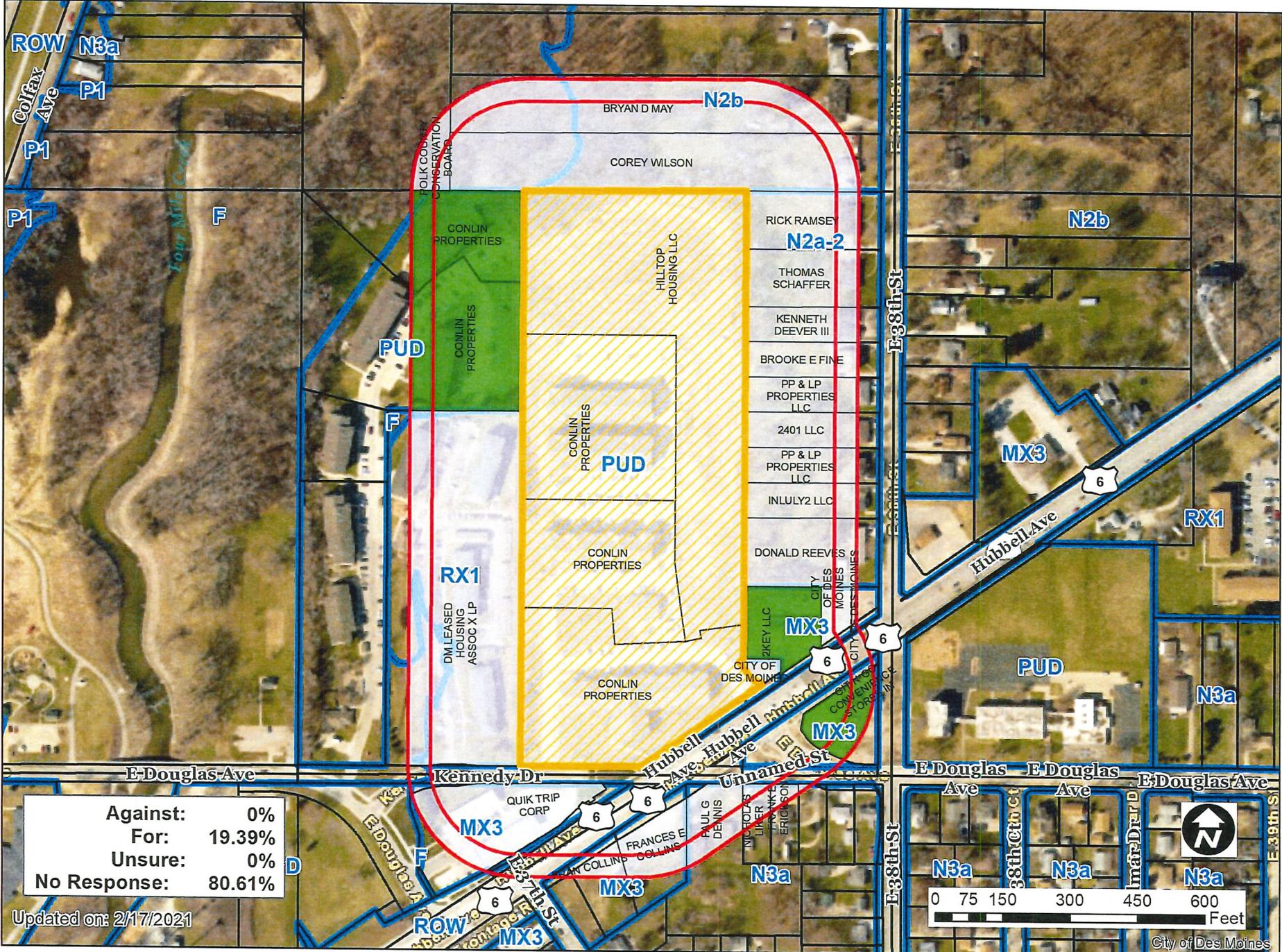
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Plan/DSM Future Land Use	Current: Community Mixed Use and Medium Density Residential within a Neighborhood Node. Proposed: Community Mixed Use and High Density Residential within a Neighborhood Node.			
Mobilizing Tomorrow Transportation Plan	2020-2024 Hubbell Avenue reconstruction/expansion from E 33 <sup>rd</sup> St to E 38 <sup>th</sup> Street (LRTP #12)			
Current Zoning District	Hilltop Legacy "PUD" Planned Unit Development.			
Proposed Zoning District	N/A			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	4	0		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No

Hilltop Housing, LLC, 3722 and 3726 Hubbell Avenue & 3680 and 3688 Kennedy Drive

ZON2021-00011



1 inch = 283 feet



Against:	0%
For:	19.39%
Unsure:	0%
No Response:	80.61%

Updated on: 2/17/2021

1 inch = 284 feet

City of Des Moines

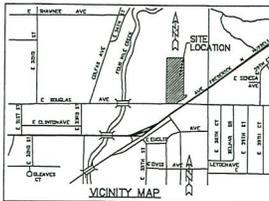
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# CONCEPTUAL PLAN FOR HILLTOP APARTMENTS

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
SHEET 1 OF 10 AMENDMENT #1

## LEGAL DESCRIPTION

THE EAST 15 ACRES OF THE WEST 30 ACRES OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 20; LYING NORTH OF AVENUE FREDERICK HUBBELL; IN TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M. NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, IOWA, EXCEPT LEGALLY ESTABLISHED HIGHWAYS, CONTAINING 14.62 ACRES



## OWNER CONTACT

HILLTOP HOUSING LLC  
3721 SW 51ST STREET  
DES MOINES, IA 50321  
(515) 246-8016

## ZONING

EXISTING = PUD  
PROPOSED = PUD

## GENERAL DEVELOPMENT CONCEPT

THE PURPOSE OF THIS PUD IS TO ALLOW FOR THE CONSTRUCTION OF NEW MULTI-FAMILY BUILDINGS WHICH INCLUDES APARTMENT BUILDINGS. AMENITIES INCLUDE PLAYGROUNDS, A CLUBHOUSE, POOL, RECREATIONAL FEATURES, DAYCARE, FITNESS CENTER, COMPUTER CENTER, ETC.

THE OVERALL SITE DENSITY SHALL NOT EXCEED 254 UNITS.

EXISTING PROPERTY AREA: 636,847 SF  
PROPOSED UNITS: 254  
LAND AREA/UNIT: 2,507 SF

## PERMITTED LAND USES

ONLY USES DESCRIBED IN THESE PUD DOCUMENTS SHALL BE ALLOWED. CURRENT USE IS MULTI FAMILY

## SANITARY SEWER

PUBLIC SANITARY SEWER IS EXISTING IN HUBBELL AVE. EXTENSION WILL BE MADE INTO NEW DEVELOPMENT.

## STORM WATER MANAGEMENT

STORM WATER MANAGEMENT FOR BOTH QUANTITY AND QUALITY WILL BE PROVIDED ON SITE FOR THE NEW DEVELOPMENT. VARIOUS CONSERVATION METHODS MAY BE EXPLORED DURING THE SITE PLAN PROCESS. THE STORM WATER MANAGEMENT WILL CONFORM TO THE CITY'S SITE PLAN ORDINANCE POLICIES AS PART OF ANY DEVELOPMENT PLAN

FEMA FIRM PANEL 190227 0004D (SEPTEMBER 18, 1987) 100-YEAR ELEVATION = 821 +/- (47 +/- - @ DES MOINES VERTICAL DATUM)

## LANDSCAPING REQUIREMENTS

SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE LANDSCAPE STANDARDS AS APPLICABLE TO THE "R-3" DISTRICT.

OPEN SPACE LANDSCAPE REQUIREMENTS ARE MET AS FOLLOWS FOR EACH 2,500SF OF OPEN SPACE

- 1 - OVERSTORY DECIDUOUS TREES
- 1 - EVERGREEN TREES
- 1 - SHRUBS

## BUFFERYARD LANDSCAPE REQUIREMENTS ARE MET AS FOLLOWS

### NORTH & EAST

A 20' WIDE LANDSCAPE BUFFER AREA WITH 4 OVERSTORY AND A MIX OF AT LEAST 9 ADDITIONAL EVERGREEN, ORNAMENTAL OR OVERSTORY TREES PER 100 LF OF PROPERTY LINE. EXISTING TREES MAY BE SUBSTITUTED FOR PROPOSED LANDSCAPE BUFFER TREES REGARDLESS OF SPECIES, AND A 6' TALL SOLID WOOD FENCE, 75% CAPACITY.

### SOUTH

NO REQUIREMENTS

### WEST

NO REQUIREMENTS

## PARKING LOT LANDSCAPE REQUIREMENTS ARE MET AS FOLLOWS

- 1 OVERSTORY AND 3 SHRUBS OF EACH 20 STALLS

PERIMETER PARKING LOT: 1 OVERSTORY; 3 SHRUBS PER SOLF PARKING LOT.

## ARCHITECTURAL GUIDELINES

1. BUILDINGS MAY BE EITHER SINGLE OR MULTI STORY. WALL HEIGHTS MAY NOT EXCEED 35' FROM THE FIRST FLOOR LINE TO THE EAVE.
2. ROOF SLOPE SHALL BE AT LEAST 4 OVER 12. THE ROOF SHALL BE A SLOPED ROOF WITH 30 YEAR, ARCHITECTURAL ASPHALT SHINGLES.
3. BUILDING CONSTRUCTION MAY INCLUDE A COMBINATION OF PAINTED WOOD TRIM, VINYL LAP SIDING, CEMENT FIBER SIDING OR PANELS, BRICK, ARCHITECTURAL CMU AND PAINTED METAL.
4. WINDOWS & EXTERIOR DOOR ASSEMBLY SHALL BE METAL, VNYL, OR FIBERGLASS FRAMES WITH SWINGING, SLIDING OR CASEMENT ASSEMBLIES.
5. SOFFIT SHALL BE VENTILATED MATERIAL WITH A PERMANENT FINISH.
6. ALL BALCONIES ON THE MULTIPLE-FAMILY RESIDENTIAL STRUCTURES SHALL BE CONSTRUCTED WITH PREDOMINANTLY METAL, WOOD OR CEMENT FIBER MATERIALS.
7. EXPOSED FOUNDATION WALLS SHALL NOT EXCEED 6' IN HEIGHT AND SHALL BE CAST IN PLACE CONCRETE FINISH. NO FINISH SHALL BE APPLIED TO THE FOUNDATIONS.
8. VINYL SHALL NOT BE A PERMITTED MATERIAL FOR THE PROPOSED HORIZONTAL OVERLAP SIDING.

## NOTE

IN ACCORDANCE WITH IFC SECTION 508.5.1; WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED (EXCEPTION: R-3, U & SPRINKLERED BUILDINGS SHALL BE NO MORE THAN 600 FEET FROM A HYDRANT).

## REGULATIONS

- A. THE REGULATIONS FOR THIS PUD SHALL COMPLY WITH THAT OF THE R-3 DISTRICT WITH EXCEPTIONS AS DENOTED;
- B. ONLY MULTI-FAMILY APARTMENT BUILDINGS AND ACCESSORY USES SHALL BE PERMITTED, SUCH AS CLUBHOUSE, POOL, RECREATIONAL FEATURES, DAYCARE, FITNESS CENTER, COMPUTER CENTER, ETC.
- C. BUILDING SETBACKS:
  - E. DOUGLAS (KENNEDY DRIVE): 30'
  - HUBBELL AVE: 30'
  - NORTH BOUNDARY: 20'
  - WEST BOUNDARY: 35'
  - EAST BOUNDARY: 35'
- D. MAXIMUM HEIGHT = 45'
- E. DENSITY: LAND AREA PER UNIT 2500 SF
- F. REQUIRED PARKING 1.5 STALLS PER UNIT FOR ENTIRE DEVELOPMENT.

## PARKING

PROPOSED PARKING STALLS: 457  
(457/254 UNITS = 1.80 SPACES/UNIT)

## DEVELOPMENT SCHEDULE

JANUARY 2022 - DECEMBER 2027

## SIGNAGE

SIGNS SHALL COMPLY WITH CITY REQUIREMENTS

## NOTES

1. PRE-APPLICATION MEETING HELD 01/19/2021
2. DES MOINES 2020 COMMUNITY CHARACTER PLAN USES: MEDIUM DENSITY RESIDENTIAL
3. 4' WIDE SIDEWALKS SHALL BE PROVIDED ALONG ALL PUBLIC STREETS FRONTING THE PUD.
4. TREE REMOVAL FROM THE SITE SHALL BE IN ACCORDANCE WITH CHAPTER 42, ARTICLE 10 OF THE CITY CODE.
5. FENCING SHALL BE IN ACCORDANCE WITH FENCE REGULATIONS AS THEY APPLY TO THE "R-3" DISTRICT, EXCEPT THAT ANY CHAIN LINK FENCE SHALL BE BLACK VINYL-GLAZ.
6. THE DEVELOPMENT PLAN WILL DETAIL INTERNAL PEDESTRIAN CIRCULATION.
7. ALL MECHANICAL EQUIPMENT, INCLUDING ROOFTOP MECHANICAL OR AIR CONDITIONER UNITS NOT RECESSED IN THE BUILDING, SHALL BE SCREENED FROM VIEW.
8. TRANSFORMER, JUNCTION BOXES, AIR CONDITIONER UNITS, OR OTHER MECHANICAL EQUIPMENT OVER 3 FEET IN HEIGHT CANNOT BE LOCATED WITHIN A REQUIRED SETBACK.
9. NEIGHBORHOOD MEETING HELD XX/XX/XX P.M. AT XXXXXXXXXXXXX.
10. UTILITY METERS PLACED ON NEW BUILDING FACADES SHALL NOT FACE PARKING LOTS OR PUBLIC STREETS.
11. DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH EXTENDING ANY PUBLIC UTILITIES REQUIRED AS PART OF ANY FUTURE PLAT OR DEVELOPMENT PLAN.
12. TRASH CONTAINERS WILL BE SCREENED BY ENCLOSURES CONSTRUCTED WITH MASONRY WALLS AND STEEL GATES TO MATCH THE PRIMARY STRUCTURES.
13. ALL LIGHTING FIXTURES ON THE SITE SHALL BE DOWN-DIRECTIONAL SHARP CUT OFF AND THAT ALL LIGHTING POLES WITHIN PARKING AREAS SHALL BE NO TALLER THAN 20 FEET AND ALL LIGHTING POLES WITHIN PEDESTRIAN AREAS SHALL BE NO TALLER THAN 15 FEET.
14. ANY SIGNAGE SHALL BE IN ACCORDANCE WITH THE SIGN REGULATIONS AS APPLICABLE TO THE "R-3" DISTRICT, WITH THE EXCEPTION THAT ANY FREESTANDING SIGN ON ANY PARCEL SHALL BE A MONUMENT STYLE SIGN WITH A MASONRY BASE THAT MATCHES THE PRIMARY STRUCTURE ON EACH PARCEL.
15. A TRAFFIC IMPACT STUDY DATED 08/28/2013 WAS APPROVED BY THE CITY.
16. SOLAR PANELS MAY BE ALLOWED AND MUST FOLLOW THE CITY REQUIREMENTS IN CHAPTER 133.
17. DIVISION OF THE PROPERTY FOR FUTURE PHASES SHALL BE PERMITTED BY PLAT OF SURVEY OR SUBDIVISION PLAT.
18. SANITARY SEWER SHALL BE EXTENDED FROM THE WEST TO SERVE PHASES 3 AND 4.

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
IOWA REG. NO. \_\_\_\_\_

PLANNING & ZONING MEETING APPROVAL: XX/XX/XXXX  
CITY COUNCIL MEETING APPROVAL: XX/XX/XXXX  
ORDINANCE #000000

**PUD CONCEPT PLAN**  
 APPROVED  APPROVED WITH CONDITIONS  
SEE EXHIBIT "A"  
IN ACCORDANCE WITH SECTION 133-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.  
NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COAGNANT DEVELOPMENT DIRECTOR.  
COAGNANT DEVELOPMENT DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

HILLTOP APARTMENTS - CONCEPTUAL PLAN

SCALE: 1" = 20'	DESIGNED BY: DMS	DRAWN BY: PAV
FIELD BOOK: 91-005-07-1464	SHEET: 1 OF 10	DATE: 07/10/2021
		FILE NO.: 21-005

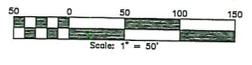
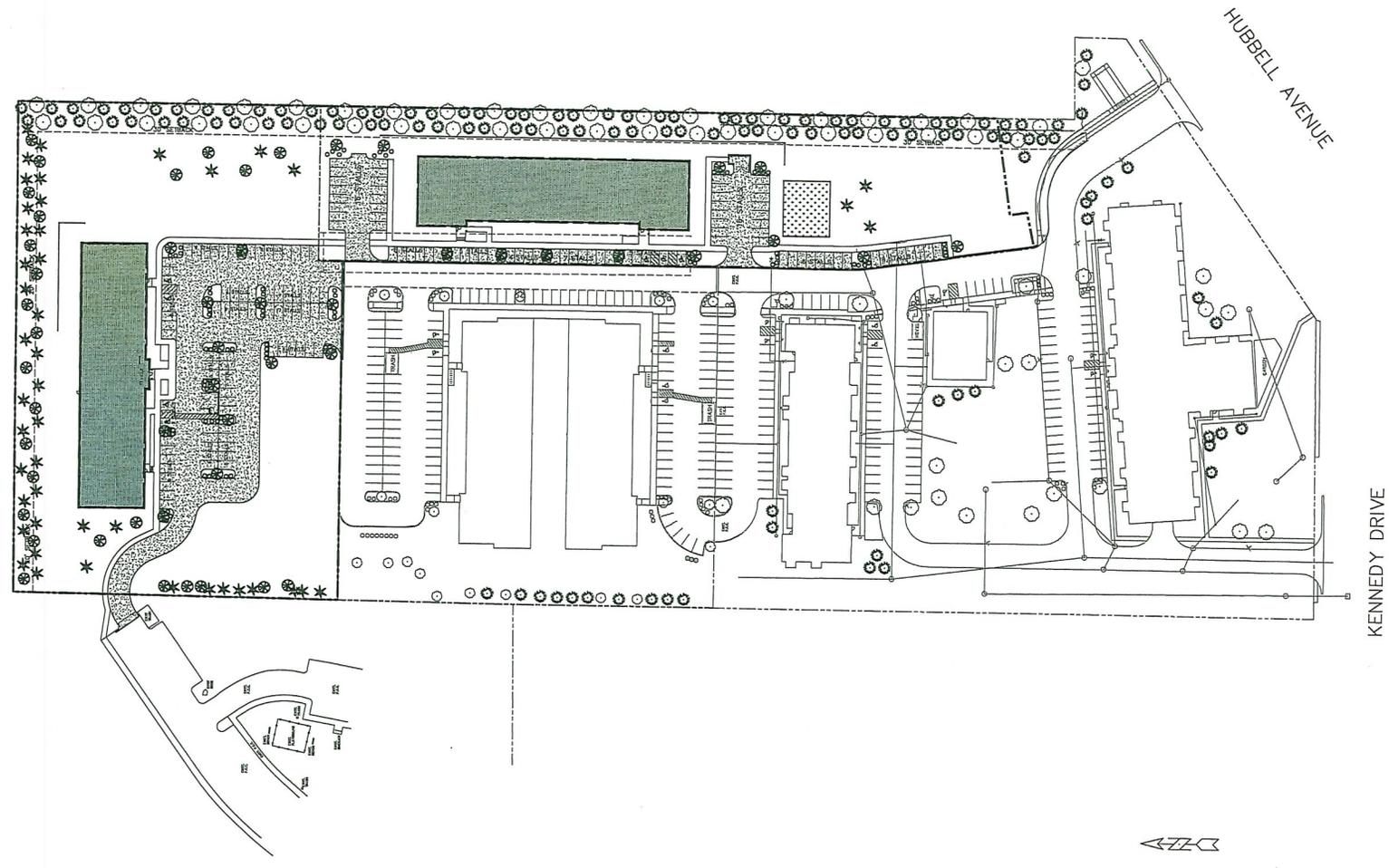
**FRG**  
Engineering, Resource Group, Inc.  
Registered Professional Engineer  
DES MOINES, IOWA 50319  
(515) 281-4681

20201 P:\021 400\DESIGN\PUD-AMENDMENTS\005-05-1.dwg, 07/10/2021 2:37:47 P.M. BDI



**NOTE:**  
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE OBTAINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

**CONCEPTUAL PLAN FOR HILLTOP APARTMENTS**  
 A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
 SHEET 3 OF 10 AMENDMENT #1



**CONCEPTUAL LANDSCAPE PLAN**

**HILLTOP APARTMENTS - CONCEPTUAL PLAN**

**ERG**  
 Engineering Resources Group, Inc.  
 2413 GRAND AVENUE  
 DES MOINES, IOWA 50312  
 (515) 281-4663

NO.	REVISION	DATE	BY	FOR	LOCATION:	SCALE:	DESIGNED BY:	DRAWN BY:
						1"=50'	D.S	B.H
						FIELD DATA	D.S	D.S
							SHEET 3	OF 10
							DATE	FILE NO.
							07/19/2021	21-005

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CP2.2

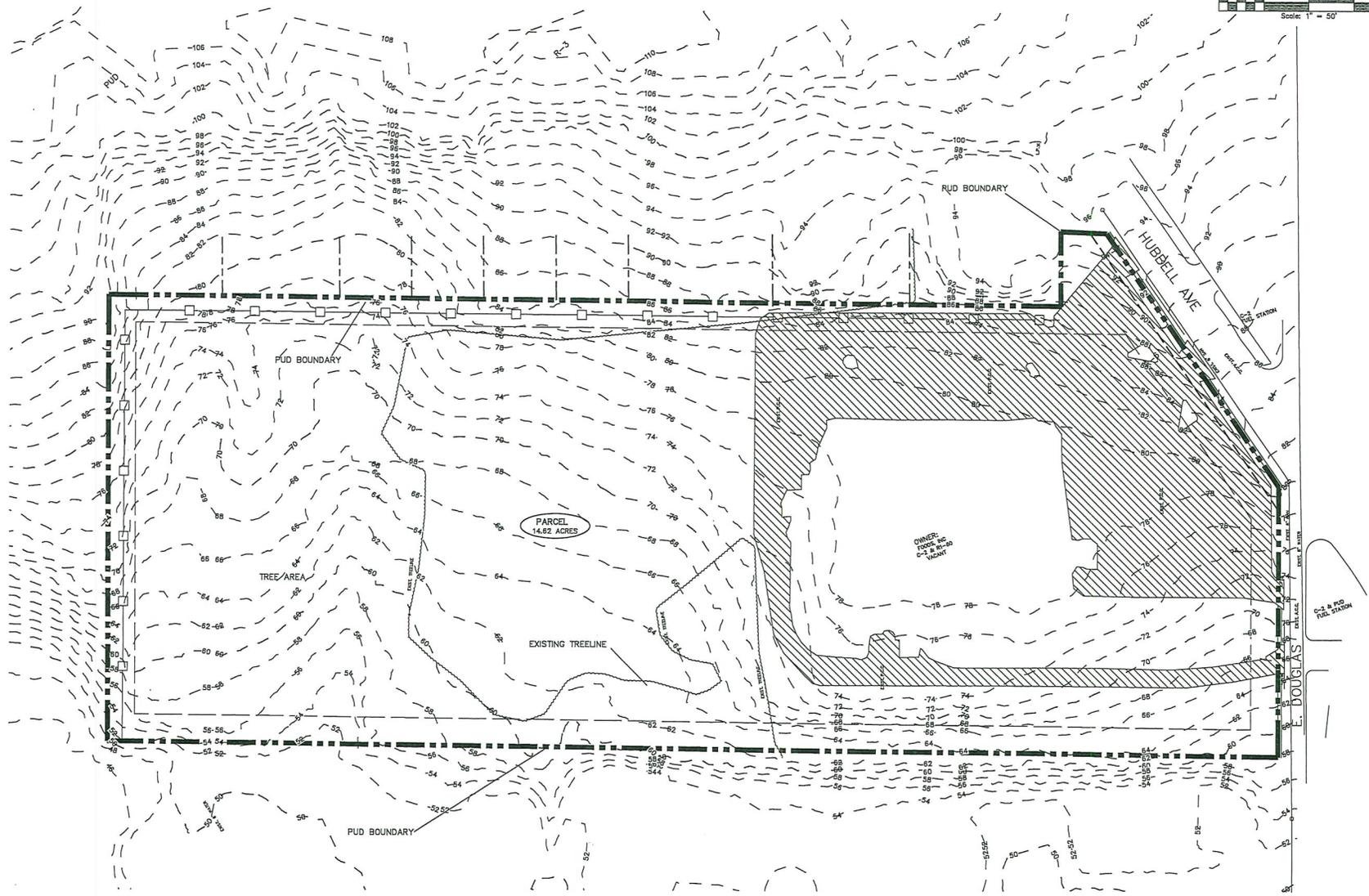
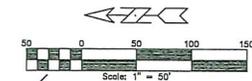
21-005

# CONCEPTUAL PLAN FOR HILLTOP APARTMENTS

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA

SHEET 4 OF 10 AMENDMENT #1

**NOTE:**  
THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE OBTAINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



PRE-DEVELOPMENT CONDITION

CP2.3

## HILLTOP APARTMENTS - CONCEPTUAL PLAN

**ERC**  
Engineering & Research  
Company  
1000 Locust Street  
Des Moines, IA 50319  
(515) 281-4823

NO.	REVISION	DATE	BY	FOR	LOCATION

SCALE:	21-005-CP-2-3.609	SHEET	4	OF	10
DESIGNED BY:	DJS	FILE NO.:	21-005		
DRAWN BY:	DJS	DATE:	07/24/2021		

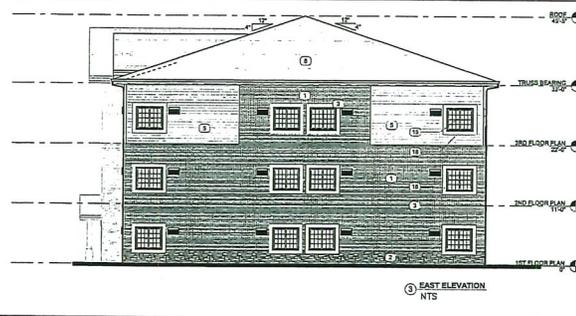
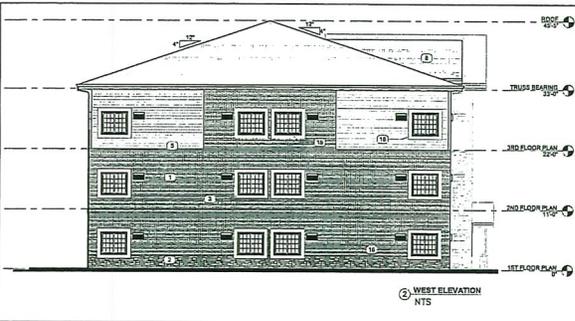
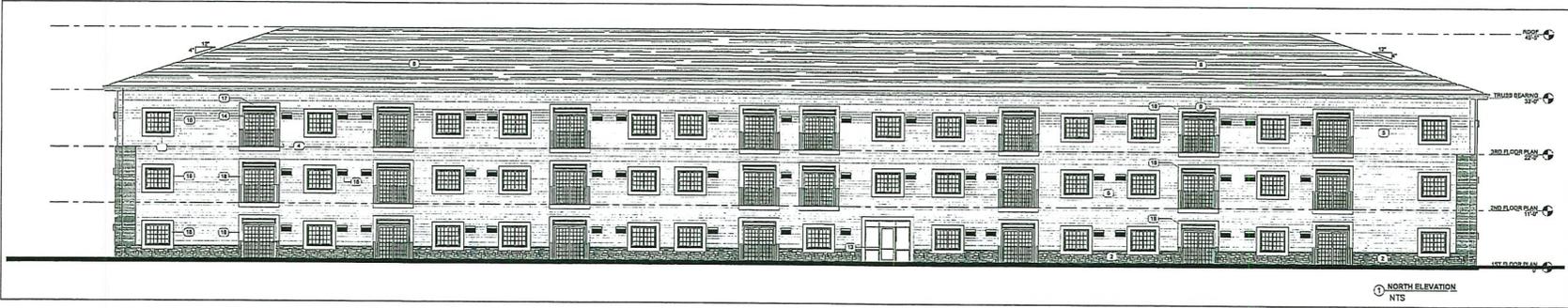
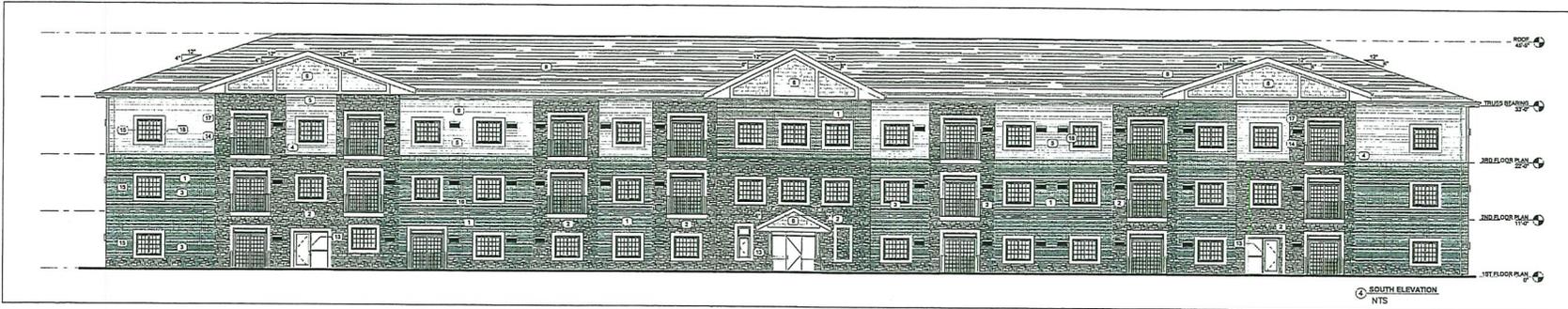
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# CONCEPTUAL PLAN FOR HILLTOP APARTMENTS

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
SHEET 6 OF 10 AMENDMENT #1



EXTERIOR MATERIAL LEGEND	
MAT. LABEL	MATERIAL DESCRIPTION
1	4" DEPTH BRICK VENEER OVER AIR SPACE
2	4" DEPTH STONE VENEER OVER AIR SPACE
3	4" DEPTH CAST STONE SURROUNDS OVER AIR SPACE
4	PRE-FINISHED DECORATIVE RAILINGS
5	PRE-FINISHED FIBER CEMENT LAP SIDING
6	PRE-FINISHED FIBER CEMENT SHINGLE SIDING
8	ARCHITECTURAL ASPHALT SHINGLE
9	PRE-FINISHED METAL VENTED SOFFIT
10	PRE-FINISHED METAL FASCIA TRIM
11	PRE-FINISHED METAL GUTTERS & DOWNSPOUTS
13	ALUMINUM STOREFRONT ENTRY SYSTEM WITH INSULATED GLASS
14	SLIDING VINYL PATIO DOOR WITH INSULATED GLASS
15	SLIDING VINYL WINDOW UNIT WITH INSULATED GLASS
16	THRU-WALL AIR CONDITIONER UNITS
17	TRANSOM WINDOW
18	PRE-FINISHED 2x8 FIBER CEMENT TRIM BOARD

PROPOSED SENIOR BUILDING (PHASE 4)

## HILLTOP APARTMENTS - CONCEPTUAL PLAN

FRG  
Engineering Resource Group, Inc.  
3415 GRAND AVENUE  
DES MOINES, IOWA 50312  
(515) 288-4823

NO. \_\_\_\_\_  
DATE \_\_\_\_\_  
BY \_\_\_\_\_  
FOR \_\_\_\_\_  
REVISION \_\_\_\_\_  
LOCATION \_\_\_\_\_  
SCALE: AS NOTED  
DWG: 21-005-CP-BLDG-2.dwg  
FIELD BOOK: \_\_\_\_\_

DESIGNED BY: BUS  
CHECKED BY: \_\_\_\_\_  
DRAWN BY: R-M  
DATE: 01/19/2021  
SHEET 6 OF 10  
FILE NO.: 21-005

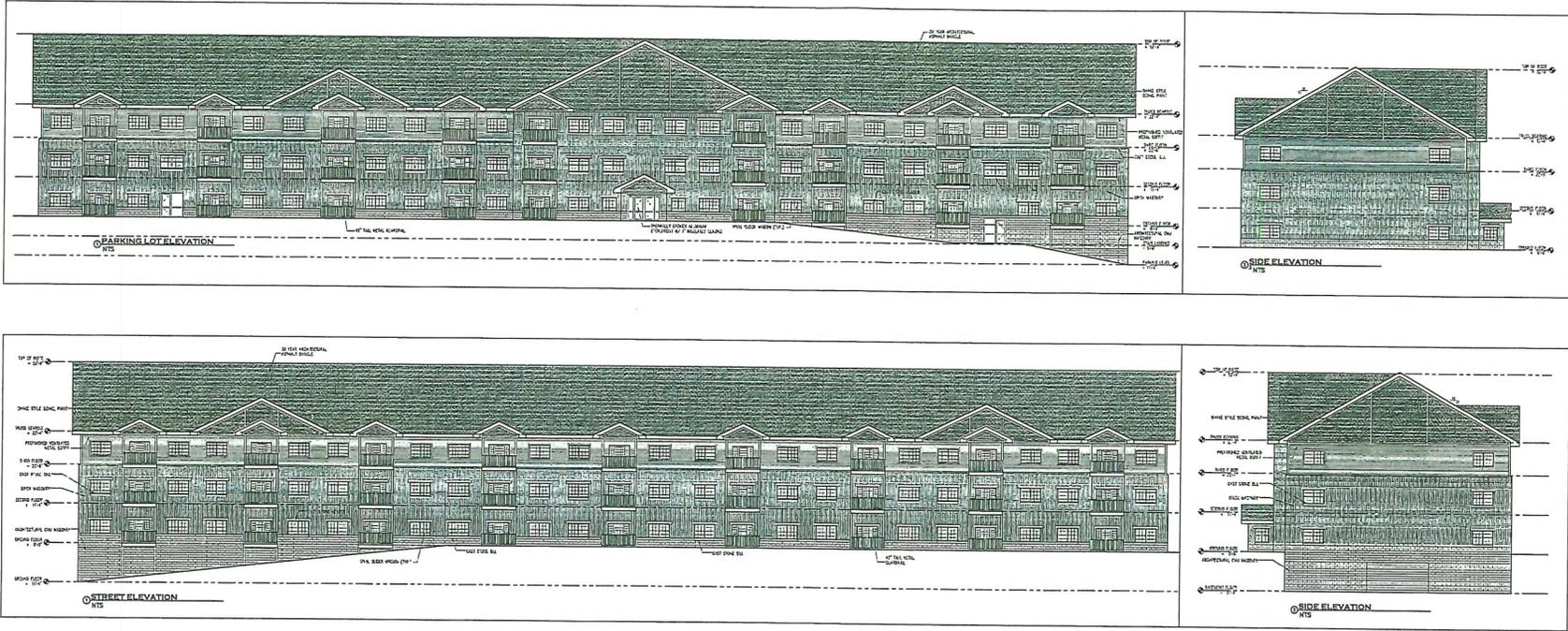
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# CONCEPTUAL PLAN FOR HILLTOP APARTMENTS

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
SHEET 7 OF 10 AMENDMENT #1



EXISTING SENIOR BUILDING

- | GENERAL EXT. ELEVATION NOTES   | ELEVATION MATERIALS KEYNOTES   |
|--|--|
| <ol style="list-style-type: none"> <li>1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DRAWINGS AND OTHER EXISTENCE DOCUMENTS.</li> <li>2. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLUSHED CONTINUALLY FROM SIDING UPPER MATERIAL, AND EXTEND OVER TO EXISTING FACE OF LOWER MATERIAL.</li> <li>3. ANY RETAINING OR BRACE ELEVATIONS NOT SHOWN SHALL BE SHOWN IN BOLDLINE, AND VARIOUS TO EXISTING CONDITIONS BY OTHER DRAWING CONDITIONS.</li> <li>4. GASKET &amp; SEAL ALL TRANSITION-CORNER-CORNER AT ALL EXTERIOR MATERIALS.</li> <li>5. BRACKET AND SEAL TO EXISTING MATERIAL AND MAINTAINANCE NUMBER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND SPRAWLER PVC PENETRATION.</li> <li>6. ADDRESS SHALL BE PROVIDED ON STREET SIDE OF BUILDING AND ON WOODWORTH SIDE. PROVIDE A MINIMUM 3" HIGH CONTRASTING COLOR RIBBING WITH MINIMUM 1/2" STRIKE.</li> </ol> <p><b>PUD CONCEPTUAL PLAN NOTES</b></p> <ol style="list-style-type: none"> <li>1. IN ACCORDANCE WITH FC 205.15, IN PART A PORTION OF THE FACILITY OR BUILDING SHALL BE CONSIDERED AS NOTED THIS OR WITHIN THE JURISDICTION OF MORE THAN 400 FEET FROM A PRESENT OR A FUTURE AIRPORT ACCESS ROAD, OR EXISTING OR FUTURE AIRPORT ACCESS ROAD, THE CENTER OF THE FACILITY SHALL BE LOCATED WITHIN THE AIRPORT ACCESS ROAD.</li> <li>2. WITH STAIRS IS NOT AN INDICATED EXTERIOR MATERIAL.</li> <li>3. ALL BUILDINGS AND BUILDINGS SHALL BE PRIMARILY FABRICATED FROM METAL.</li> </ol> | <ol style="list-style-type: none"> <li>1. MODULAR BRICK (SEWER OVER AIR SPACE) - COLOR #1</li> <li>2. WOODEN ARCHITECTURAL CLAD - COLOR #2</li> <li>3. FINE CHERRY LAM SHEIN, 4" EXPOSURE - COLOR #3</li> <li>4. FINE CHERRY TRIM BOARD - COLOR #4</li> <li>5. PREFINISHED METAL, OUTER AND DOWNSPOUT TO MATCH COLOR #2</li> <li>6. PREFINISHED COATED METAL EXTERIOR PANEL</li> <li>7. 30 YEAR ARCHITECTURAL ASPHALT SHINGLE</li> <li>8. SIDING 1"-1/4" 4" VINYL INSULATED BROWN LINE</li> <li>9. SHINGED INSULATING 6"-1/2" 8" PAINT DOOR</li> <li>10. ALUMINUM SLOPEFRONT ENTRY SYSTEM WITH 1" INSULATING GLASS</li> <li>11. CAST STONE SLIPED SILL</li> <li>12. CAST STONE WINDOW HEADERS</li> <li>13. PREFINISHED 4" 1/2" METAL CORNERHEAD</li> </ol> |

## HILLTOP APARTMENTS - CONCEPTUAL PLAN

NO.	REVISION	DATE	BY	FOR	LOCATION	DESIGNED BY	DRAWN BY	DATE	FILE NO.
						DUS	DUS	07/29/2021	21-005
						SHEET 7	OF 10		

**FRG**  
 Engineering Resources Group, Inc.  
 2415 GRAND AVENUE  
 DES MOINES, IOWA 50302  
 (515) 288-4823

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# CONCEPTUAL PLAN FOR HILLTOP APARTMENTS

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
SHEET 8 OF 10 AMENDMENT #1



① FRONT ELEVATION  
NTS



① REAR ELEVATION  
NTS



① SIDE ELEVATION  
NTS



① SIDE ELEVATION  
NTS

EXISTING CLUBHOUSE

CP-3.4

## HILLTOP APARTMENTS - CONCEPTUAL PLAN

**FRG**  
Englehardt Resource Group, Inc.  
Engineers and Surveyors  
DES MOINES, IOWA 50312  
(515) 288-4823

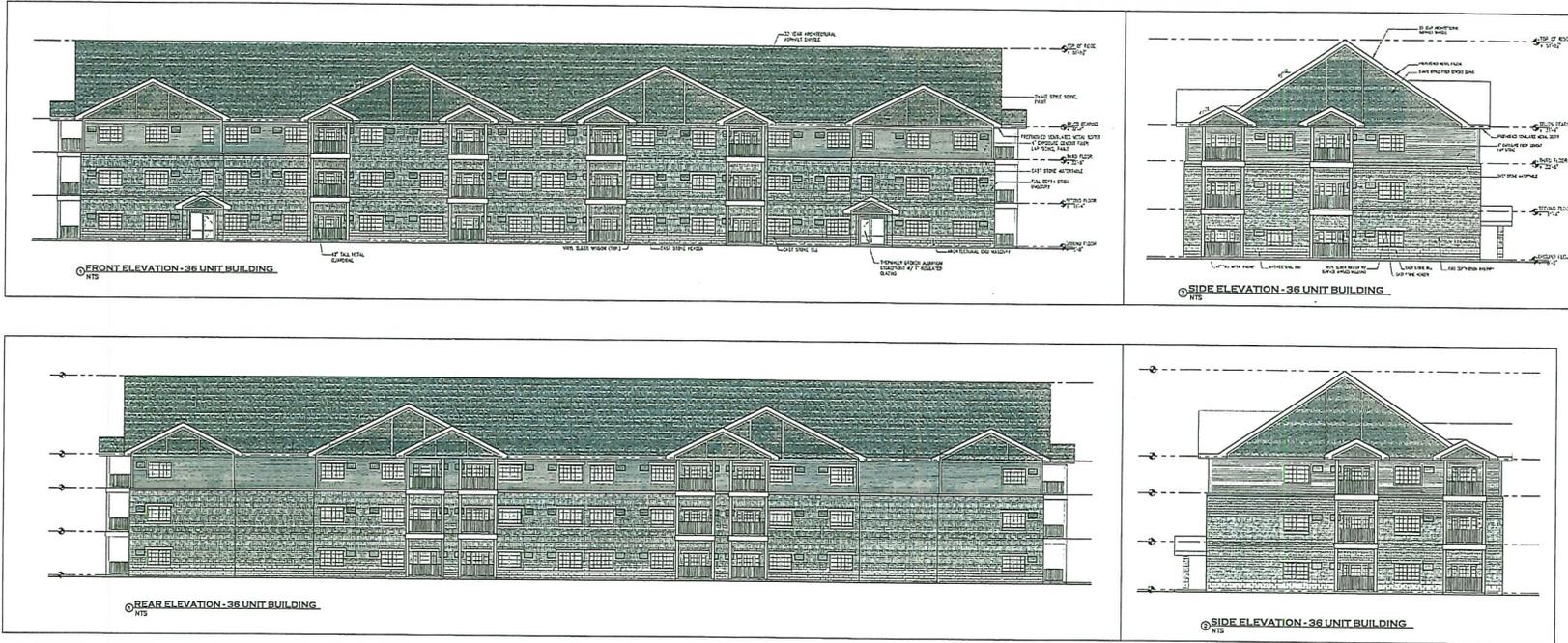
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						1" = 30'	DWG: 21-005-CP-BLDG-4.dwg		8	10	01/19/2021	PJH	21-005

21-005

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# CONCEPTUAL PLAN FOR HILLTOP APARTMENTS

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
SHEET 9 OF 10 AMENDMENT #1



EXISTING MULTI-FAMILY (PHASE I)

- GENERAL EXT. ELEVATION NOTES**
- REFER TO ADDITIONAL NOTES AND REQUIREMENTS IN ALL OTHER DOCUMENTS AND OTHER DISCIPLINE DOCUMENTS.
  - ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FINISHED CONTINUALLY FROM BUILDING UPON MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF UNDER MATERIAL.
  - ANY RETIERS OF BUILD ELEVATIONS NOT SHOWN SHALL BE SHOWN BY MATERIAL AND HANGUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
  - CALK & SEAL ALL TRANSITION CORNER, EXPANSION AT ALL EXTERIOR MATERIALS.
  - INSULATE AND SEAL TO EXISTING MATERIALS AN INSULATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND AIR PENETRATION PRESENT.
  - ADGRESS SHALL BE PROVIDED ON STREET SIDE OF BUILDING AND ON ADJACENT SIDE. RAISED A MINIMUM 3" HIGH CONTRASTING COLOR MARKERS WITH MINIMUM 1/2" STRIKE.
- PLUD CONCEPTUAL PLAN NOTES**
- IN ACCORDANCE WITH IFC 502.1.5, WHERE A PORTION OF THE FACILITY OR BUILDING REQUIRES CONSTRUCTION OR IMPROVEMENTS ON WITHIN THE JURISDICTION IS MORE THAN AND LEFT FROM A PERMIT ON A FEE APPROPRIATE ACCESS ROAD, AS REQUIRED BY AN APPROVED POINT, AROUND THE PERIMETER OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED.
  - WHERE SOME OR ALL ARE FINISHED EXTERIOR MATERIALS.
  - ALL BUILDINGS AND MARKERS SHALL BE FINISHED WITH METAL.
- ELEVATION MATERIALS KEYNOTES**
- FULL BODY BRICK VENEER OVER AIR SPACE - COLOR #1
  - ARCHITECTURAL CLAY - COLOR #2
  - RED GLAZED LIP STONE, 4" THICKNESS - COLOR #3
  - RED GLAZED TRIM BOARD - COLOR #4
  - PREFINISHED METAL GUTTER AND DOWNSPOUT TO MATCH COLOR #4
  - PREFINISHED WHITE METAL SENTRY PANEL
  - 33 YEAR ARCHITECTURAL ASPHALT SHINGLE
  - SLIDING 2'-0" x 4'-0" VINYL INSULATED WINDOW UNIT
  - SAVED 2'-0" x 4'-0" VINYL INSULATED PATIO DOOR
  - ALUMINUM STOREFRONT ENTRY SYSTEM WITH 1" INSULATING GLASS
  - CAST STONE SLOPED INTERFERENCE
  - CAST STONE WINDOW HEADER
  - CAST STONE WINDOW SILL
  - PREFINISHED 4" TALL METAL GUARDRAIL

**HILLTOP APARTMENTS - CONCEPTUAL PLAN**

NO.	REVISION	DATE	BY	FOR	LOCATION

DRAWN BY: J.W.P.  
CHECKED BY: D.S.  
DESIGNED BY: D.S.  
DATE: 07/2021  
FIELD BOOK: 21-003-CP-BLDG-5-4th-CHECKED BY: D.S.  
SHEET 9 OF 10 FILE NO.: 21-005

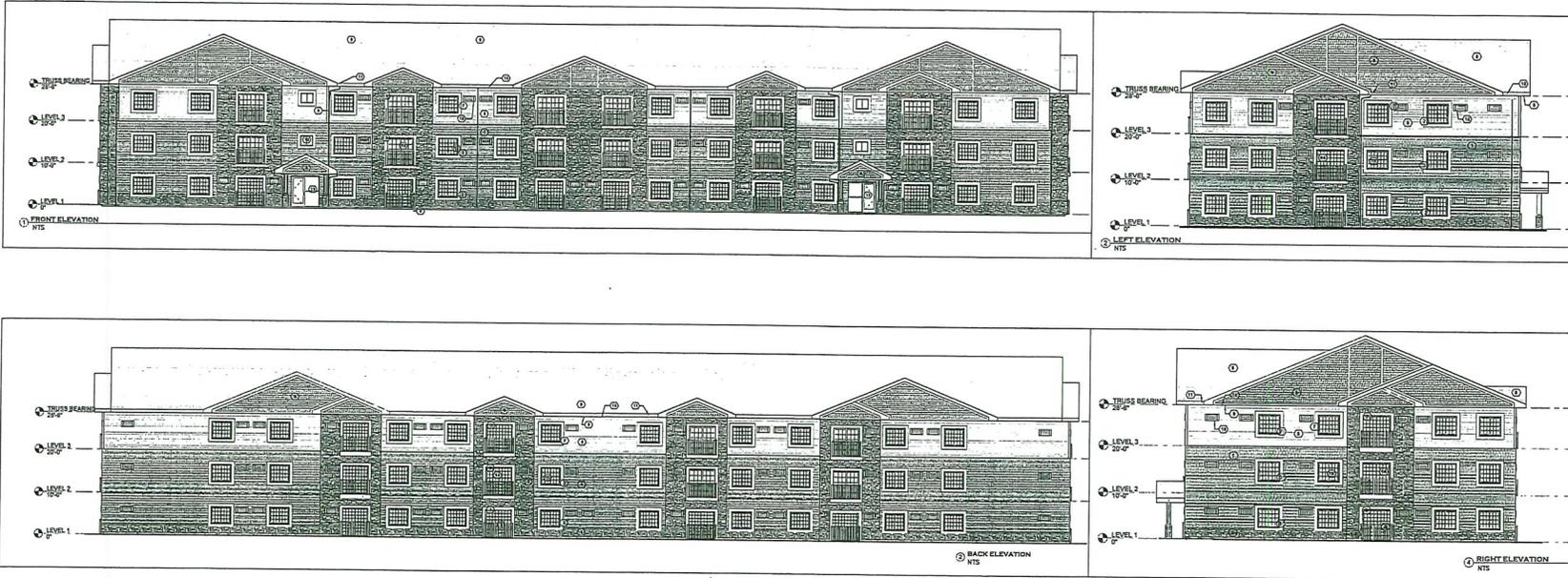
**ERG**  
Engineering Resource Group, Inc.  
1415 GRAND AVENUE  
DES MOINES, IOWA 50312  
(515) 281-8855

20207 Project: 2020DESIGN/PLUD-AMENDMENT#1-005-CP-BLDG-5-4th-CP-BLDG.PLA, IGH

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# CONCEPTUAL PLAN FOR HILLTOP APARTMENTS

A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
SHEET 10 OF 10 AMENDMENT #1



- ELEVATION KEY NOTES**
1. 4" DEPTH BRICK VENEER OVER AIR SPACE
  2. 4" DEPTH STONE VENEER OVER AIR SPACE
  3. 4" DEPTH CAST STONE SURROUNDS OVER AIR SPACE
  4. PRE-FINISHED METAL DECORATIVE RAILINGS
  5. PRE-FINISHED FIBER CEMENT LAP SIDING
  6. PRE-FINISHED FIBER CEMENT TRIM BOARD
  7. PRE-FINISHED FIBER CEMENT TRIM BOARD
  8. ARCHITECTURAL ASPHALT SHINGLE
  9. PRE-FINISHED METAL VENTED SOFFIT
  10. PRE-FINISHED METAL FASCIA TRIM
  11. PRE-FINISHED METAL GUTTERS & DOWNSPOUTS
  12. PRE-FINISHED MECHANICAL LOUVERS & COVERS (NOT SHOWN)
  13. ALUMINUM STOREFRONT ENTRY SYSTEM WITH INSULATED GLASS
  14. SLIDING VINYL PATIO DOOR WITH INSULATED GLASS
  15. SLIDING VINYL WINDOW UNIT WITH INSULATED GLASS
  16. THRU-WALL AIR CONDITIONING UNITS

- IFA EXTERIOR ELEVATION NOTES**
- 2018 IBC SCORING CRITERIA - BUILDING CHARACTERISTICS per section 6.3  
6.3.4 CONSTRUCTION UNIT CHARACTERISTICS
- A. Minimum of sixty percent (60%) of the gross exterior (including window and door areas), shall be 4" nominal brick & 4" nominal stone. The remaining 40% shall be constructed of 100% fiber cement board Soffits shall be vented.
- 2018 IBC MINIMUM DEVELOPMENT CONSTRUCTION CHARACTERISTICS per Appendix 1  
Section D. MINIMUM DEVELOPMENT CHARACTERISTICS
1. Exterior construction shall have air filtration barrier building wrap required on all new siding installations.
  2. Roof shingles shall be a minimum of 30-year shingles with a synthetic felt with characteristics superior to two layers of 30 pound felt.
  3. Exterior entry doors to common areas shall be thermo-pane glass full lite doors with metal thermal break type frame.
  10. All caulks and sealants shall comply with Regulation 8, Rule 51 of the Bay Area Air Quality Management District.
- GEN. EXT. ELEV. NOTES**
1. Refer to additional notes and requirements on all other documents and other discipline documents.
  2. All horizontal transitions between different materials shall be flashed continuous from up behind/under upper material and extend over to exterior face of lower material.
  3. Any returns or blind elevations not shown shall be similar in material and makeup to adjacent conditions or other similar conditions.
  4. Caulk & seal all transition-control-expansion at all exterior materials.
  5. Insulate and seal to ensure adequate air infiltration barrier around all exterior penetrations to prevent water and sprinkler pipe freezing.
  6. Sealant and barrier rod at window perimeter. Verify system weeps are cleared, free of sealant and debris.
  7. Provide positive drainage of surface water away from building without ponding of water adjacent to building or on pavements.

EXISTING MULTI-FAMILY (PHASE 2)

<b>HILLTOP APARTMENTS - CONCEPTUAL PLAN</b>		NO.	DATE	BY	FOR	LOCATION	
		REVISION					
<b>FRG</b> Engineering, Research Group, Inc. Engineers and Surveyors DES MOINES, IOWA 50312 (515) 281-4621		SCALE:	AS NOTED	DESIGNED BY:	DJS	DRAWN BY:	PJW
		FIELD BOOK:	BL-002-CP-BLDG-6.04	CHECKED BY:	DJS	DATE:	07/19/2021
		SHEET:	10	OF	10	FILE NO.:	21-005

CP-3.6

21-005