

Date April 05, 2021

**RESOLUTION SETTING HEARING ON REQUEST FROM 7600 SW 22<sup>ND</sup> STREET, LLC (OWNER), FOR REVIEW AND APPROVAL OF PUD FINAL DEVELOPMENT PLAN FOR “AIRPORTS CROSSROADS CONDOS” FOR PROPERTY AT 7600 SOUTHWEST 22<sup>ND</sup> STREET**

**WHEREAS**, on March 18, 2021, the City Plan and Zoning Commission voted 10-0 to **APPROVE** a request from 7600 SW 22<sup>nd</sup> Street, LLC (owner), represented by David W. Welch (officer), to approve the PUD Final Development Site Plan for “Airports Crossroads Condos” for property located at 7600 Southwest 22<sup>nd</sup> Street (“Property”) to allow development of the property with three Warehouse buildings with a total of 23 flex-warehouse units, subject to compliance with all administrative review requirements and the following:

1. Provision of a public sidewalk SW 22<sup>nd</sup> Street;
2. Provision of masonry wainscot on the north, east, and south facades of all buildings;
3. Any metal siding and roofing shall comply with the following standards:
  - a. 22 gauge or thicker material,
  - b. Minimum 20-year product warranty,
  - c. Minimum 20-year paint warranty,
  - d. Exposed fasteners acceptable if color matched to underlying materials.
4. Review and approval of the design and materials for all fencing by the City’s Planning and Urban Design Administrator;
5. Provision of two (2) additional overstory trees along the west edge of the paved area;
6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator; and

**WHEREAS**, the Property is legally described as follows:

**LOT 14 OF AIRPORT CROSSROADS SUBDIVISION, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 2.52 ACRES (110,111 S.F.) MORE OR LESS.**

**NOW THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed PUD Final Development Plan for “Airport Crossroads Condos” is to be considered, and at which time the City Council will hear both those who oppose and those who favor the proposal, shall be held at 5:00 p.m. on April 19, 2021, by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community, without public access to the meeting location.

Date April 05, 2021

3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code. The City Clerk is instructed to provide this notice including information about participation in the electronic meeting as indicated above.

MOVED BY \_\_\_\_\_ TO ADOPT.

FORM APPROVED: Judy K. Parks-Kruse  
 Judy K. Parks-Kruse (10-2021-7.57)  
 Assistant City Attorney

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED	APPROVED			

**CERTIFICATE**

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

\_\_\_\_\_ Mayor

\_\_\_\_\_ City Clerk



March 30, 2021

Date April 5, 2021  
 Agenda Item 18  
 Roll Call # \_\_\_\_\_

Honorable Mayor and City Council  
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their March 18, 2021 meeting, the following action was taken regarding a request from 7600 SW 22<sup>nd</sup> Street, LLC (owner) represented by David W. Welch (officer) for review and approval of a PUD Final Development Plan “Airport Crossroads Condos” for property located at 7600 Southwest 22<sup>nd</sup> Street, to allow development of the property with three Warehouse buildings with a total of 23 flex-warehouse units.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 10-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard				X
Carolyn Jenison	X			
Greg Jones	X			
William Page				X
Rocky Sposato				X
Steve Wallace	X			
Greg Wattier				X
Emily Webb	X			

**APPROVAL** of the proposed PUD Final Development Plan subject to compliance with all administrative review requirements.

1. Provision of a public sidewalk along SW 22<sup>nd</sup> Street.
2. Provision of masonry wainscot on the north, east and south facades of all buildings.

3. Any metal siding and roofing shall comply with the following standards:
  - a. 22 gauge or thicker material,
  - b. minimum 20-year product warranty,
  - c. minimum 20-year paint warranty, and
  - d. any exposed fasteners allowed shall be color-keyed.
4. Review and approval of the design and materials for all fencing by the Planning and Urban Design Administrator.
5. Provision of two (2) additional overstory trees along the west edge of the paved area.
6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator.

(10-2021-7.57)

### **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Staff recommends approval of the proposed PUD Final Development Plan subject to compliance with all administrative review requirements.

1. Provision of a public sidewalk along SW 22<sup>nd</sup> Street.
2. Provision of masonry wainscot on the north, east and south facades of all buildings.
3. Any metal siding and roofing shall comply with the following standards:
  - a. 22 gauge or thicker material,
  - b. minimum 20-year product warranty,
  - c. minimum 20-year paint warranty, and
  - d. exposed fasteners are prohibited.
4. Review and approval of the design and materials for all fencing by the Planning and Urban Design Administrator.
5. Provision of two (2) additional overstory trees along the west edge of the paved area.
6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator.

## STAFF REPORT TO THE PLANNING COMMISSION

### I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to develop a multi-tenant warehouse complex containing three buildings served by a loop driveway within the Airport Crossroads PUD. The site is located on the west side of SW 22<sup>nd</sup> Street and north of the Crossroads Drive intersection.
2. **Size of Site:** 2.52 acres or 110,103 square feet.
3. **Existing Zoning (site):** Legacy “PUD” Planned Unit Development.
4. **Existing Land Use (site):** Undeveloped land.
5. **Adjacent Land Use and Zoning:**
  - North** – “PUD”; Use is an undeveloped parcel.
  - South** – “PUD”; Use is an undeveloped parcel.
  - East** – “PUD”; Use is an undeveloped parcel.
  - West** – “NM”; Use is a mobile home park.
6. **General Neighborhood/Area Land Uses:** The site is located within a business park that is generally bound by Fleur Drive to the east, County Line Road to the south and Gannett Avenue to the north.
7. **Applicable Recognized Neighborhood(s):** The subject property is not located within 250 feet of a recognized neighborhood. All recognized neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda on February 26, 2021 and the Final Agenda on March 12, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on March 8, 2021 (10 days prior to the original public hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.
8. **Relevant Zoning History:** The Airport Crossroads PUD was approved by the City Council on May 7, 2001 by Roll Call Number 01-1406.
9. **PlanDSM Future Land Use Plan Designation:** Business Park.
10. **Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

## II. ADDITIONAL APPLICABLE INFORMATION

- 1. Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City's Stormwater Management requirements to the satisfaction of the City's Permit and Development Center. Storm water detention basins are proposed between the buildings and the front property line.
- 2. Access & Parking:** The Development Plan includes a looped drive with two access points to SW 22<sup>nd</sup> Street and eight (8) parking spaces. A public sidewalk is not proposed along the street. The PUD requires sidewalks on both sides of SW 22<sup>nd</sup> Street unless a 10-wide trail is constructed on the east side of SW 22<sup>nd</sup> Street. The trail has been constructed. The Traffic and Transportation Division has requested a sidewalk be constructed in the adjoining right-of-way to comply with current development expectations.
- 3. Urban Design:** The proposed buildings would be arranged in a north-to-south row with the narrow end facing the street. The buildings would be served by a loop drive with overhead doors facing internally. The buildings would have a metal roof and metal siding. A manufactured stone wainscot is proposed on the street façade and any side façade that contains overhead doors. Staff believes that the wainscot should be provided on the north façade of the northern building and on the south façade of the southern building since these facades will be visible from the street. Product information was not provided for the metal siding and roofing. Metal siding and roofing should meet the minimum standards listed in Section III of this report to ensure a minimum level of quality and durability.

The site plan indicates that a chain-link fence would be used along the west edge of the buildings and that ornamental fence would be used along the east edge including gates at the driveways. Specifications for the fences were not provided. The PUD requires any chain-link fence to have a coating that is dark in color.

Staff recommends that additional overstory trees be provided along the west edge of the parking lot to provide shade that would typically be provided by trees in parking lot planter islands. Given the layout of the parking and driveway area, along with the overall operations for a use of this nature, staff believes this is a better solution than requiring planter islands within the paved area.

- 4. Tax Abatement Standards:** The applicant has expressed an interest in pursuing the industrial tax abatement program. The following standards would be applicable if they elect to utilize that program.

### Building Materials

- a. FOR INDUSTRIAL PROJECTS IN INDUSTRIAL ZONING DISTRICTS: A minimum of 50% of the surface area (exclusive of windows and doors) of facades fronting and perpendicular to a public street must be glass, brick, concrete panels, architectural concrete block, architectural metal panels or stone. Architectural or other use of metal panels shall be located at least 5 feet above finished grade along the facades of street-facing sides.

- b. All buildings shall have window and door openings comprising at least 20% of the surface area of each facade fronting public streets. However, those portions of such a facade adjoining areas of a building devoted to processing, manufacturing or storage uses associated with an industrial use of the building need only have window and door openings comprising at least 20% of the area of first floor such facade, up to a maximum elevation of 14 feet.
- c. No building elevation should have exterior insulation and finish system (EIFS) within 5' of the finished grade.
- d. As an alternative to conforming with the requirements set forth above in this paragraph 4, all facades fronting and perpendicular to a public street must be constructed of materials and with a design approved by the Community Development Director as being consistent with the overall intent and purpose of these Construction and Sustainability Design Standards, and providing an equivalent level of quality and durability.

#### Sustainability Standards

The development must provide a minimum of four (4) of the following sustainable features:

- a. Bike racks for public use that provide a minimum of 10% of the automobile parking provided.
- b. Permeable pavement for a minimum of 30% of the paved area.
- c. Green roof on 50% of the rooftop area.
- d. Rain garden(s) that absorb 25% of runoff from impervious surfaces during a 1 ¼ "rain event over 24 hours.
- e. Exceed applicable energy code by 15%.
- f. 50% increase in required landscaping.
- g. 90% of exterior building elevations constructed from renewable materials.
- h. Primary entry within ¼ mile of a DART transit stop.
- i. Redevelopment of a previously-developed site.
- j. Renovation of an existing building.
- k. Uses wind or solar electric generation systems reasonably estimated to annually provide at least 20% of the electric power consumed by the development.
- l. Ground source (geothermal) heat pumps used as primary source of heating and cooling.
- m. Provision of an electric vehicle charging station on site.

## **SUMMARY OF DISCUSSION**

Katherine Drahos presented staff report and recommendation.

Daniel Southwick 3501 104<sup>th</sup> Street, Urbandale, IA representing Bishop Engineering stated the PUD doesn't require public sidewalk and would ask for that to be waived as it would be a dead-end sidewalk.

## **CHAIRPERSON OPENED THE PUBLIC HEARING**

Carol Maher 701 Polk Blvd. stated it's great to hear of the 10-foot trail across the street, which would provide great bicycle access. She hopes they are accommodating bike parking at the location and show people they can ride their bike rather than showing up in a vehicle every time they visit the property.

Chris Davis 32145 Old Portland Rd representing Kingdom Development stated there were three items. 1) Where the plans do not show stone, they plan to do a black wainscot metal panel that would have a 40-year warranty on the paint, I'm not sure about the warranty on the panel. 2) They do plan to install a 6-foot black vinyl coated chain-link fence around the sides and rear, with black ornamental aluminum fencing and gates on the front. 3) They would like to use color matched exposed fasteners on the building, along with a 29-gauge steel. You could not tell, but the development to the south also used exposed metal fasteners, they were not visible because a color key was used. This project would also propose color-keyed exposed fasteners.

David Welch 6289 Sudbury Ct. Johnston, IA stated he would like to point out there is no sidewalk along the East side of the property. If they were to install the sidewalk, it would lead to nowhere.

Greg Jones asked if the dark metal for wainscoting would meet City Staff's requirements?

Erik Lundy stated Staff recommended stone or masonry to align with the City's current ordinance. The Commission could determine if that material meets the intent of the code.

Mike Ludwig stated the issues on not providing the masonry wainscoting on the bottom, would be compliance with Tax Abatement standards, unless that is determined to be a fully durable material. City Staff has tried to get stone on sides facing the street, he would ask if the applicant is proposing metal on all sides or just the ends where additional masonry was requested?

Katherine Drahos stated they are proposing it on the street facing side, which would be the East façade and front façade of each building.

Dory Briles asked if the fence described by the applicant would meet City requirements?

Erik Lundy stated staff would prefer ornamental around the entire property as you see with the store development to the South.

Johnny Alcivar asked how the commission's recommendation would affect the tax abatement standards?

Erik Lundy stated they would be putting themselves at risk of tax abatement if they do not supply the masonry material at the base, along with the thickness of the metal.

### **CHAIRPERSON CLOSED THE PUBLIC HEARING**

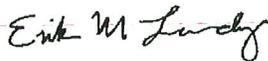
### **COMMISSION ACTION:**

Greg Jones made a motion for approval of the proposed PUD Final Development Plan subject to compliance with all administrative review requirements.

1. Provision of a public sidewalk along SW 22<sup>nd</sup> Street.
2. Provision of masonry wainscot on the north, east and south facades of all buildings.
3. Any metal siding and roofing shall comply with the following standards:
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4. Review and approval of the design and materials for all fencing by the Planning and Urban Design Administrator.
5. Provision of two (2) additional overstory trees along the west edge of the paved area.
6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator.

Motion passed: 10-0

Respectfully submitted,



Erik Lundy, AICP  
Senior City Planner

EML:tjh

**Van Essen, Jason M.**

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**From:** Mike Barnes <mike@barnesproperties.com>  
**Sent:** Thursday, March 11, 2021 9:39 AM  
**To:** Planning  
**Cc:** steven smith (steve2251@hotmail.com)  
**Subject:** 7600 SW 22nd hearing on 3.18.21

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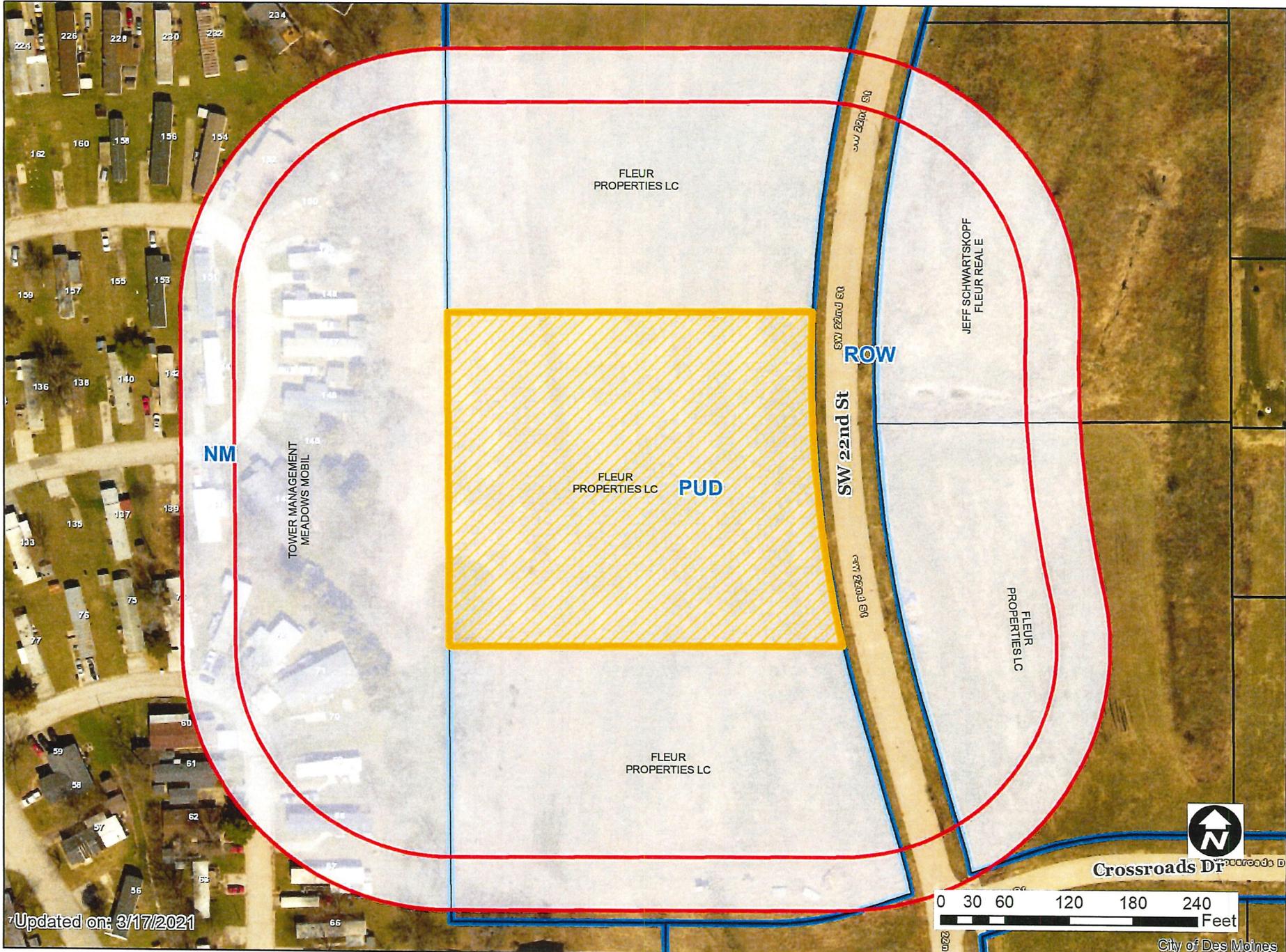
**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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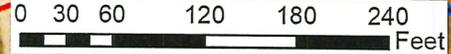
Don Briles as chair of the DM P&Z  
Honorable members of the DM P&Z  
Eric Lundy Senior Planner for the City of Des Moines

As co owners of Fleur Properties, developer of Airport Crossroads, we are in full support of the warehouse plans submitted by David Welch. His buildings will make a great addition to the area.

Fleur Properties LC  
Michael Barnes  
Steven Smith  
7300 Westown Pkwy, Suite 310  
West Des Moines, IA. 50266



Updated on: 3/17/2021



City of Des Moines

1 inch = 120 feet

PRELIMINARY - NOT FOR CONSTRUCTION

# AIRPORT CROSSROADS CONDOS SITE PLAN

- SHEET INDEX:**
- C0.1 COVER SHEET
  - C0.2 SITE SURVEY
  - C1.1 DEMO PLAN
  - C2.1 LAYOUT PLAN
  - C3.1 GRADING PLAN
  - C4.1 UTILITY PLAN
  - C5.1 LANDSCAPE PLAN
  - C6.1 DETAILS SHEET
  - C7.1 SWPPP

**PROPERTY DESCRIPTION:**  
BOOK 1103, PAGE 19-26  
LOT 14 OF AIRPORT CROSSROADS SUBDIVISION AN OFFICIAL PLAN, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 3.23 ACRES (151,111 S.F.) MORE OR LESS.

**PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD:**

**ADDRESS:**  
7620 SW 22ND STREET  
DES MOINES, IOWA

**OWNER:**  
7620 SW 22ND ST LLC  
7620 SW 22ND STREET  
DES MOINES, IOWA  
ATTN: CHRIS DAVIS  
PHONE: 515-271-7702

**PREPARED FOR:**  
CHRIS DAVIS  
KINDOM DEVELOPMENT  
3245 OLD PORTLAND ROAD  
ASLE, IOWA 50223

**USE:**  
WORKSHOP/WAREHOUSE, PERSONAL/BUSINESS STORAGE WITH A MAX OF 15% OFFICE SPACE.

**ZONING:**  
INFORMATION OBTAINED FROM CITY OF DES MOINES ZONING MAP  
PUD-AIRPORT CROSSROADS

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF DES MOINES AT 515-283-4209

**PARKING REQUIREMENTS:**  
WAREHOUSE REQUIREMENTS = 1 SPACE/10,000 SF  
OFFICE REQUIREMENTS = 31 SPACES/400 S.F.  
TOTAL BUILDING AREA = 34,200 S.F.  
MAX PROPOSED OFFICE = 15%

5,178 S.F. OFFICE/200 S.F. #13 SPACES  
29,282 S.F. WAREHOUSE/10,000 S.F. # 3 SPACES

TOTAL REQUIRED = 18 SPACES  
PARKING PROVIDED = 25 SPACES (INCL. 3 ADA)

**OPEN SPACE REQUIREMENTS:**  
SITE AREA = 2.23 ACRES (119,103 S.F.)  
PROPOSED OPEN SPACE = 42,303 S.F. (1.92)  
REQUIRED OPEN SPACE 27,232 S.F. (1.25)

**IMPERVIOUS SURFACE:**  
EXISTING IMPERVIOUS = 0 S.F.  
PROPOSED IMPERVIOUS = 14,240 S.F. (18.4%)

**BENCHMARK:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = CITY OF DES MOINES DATUM

**POINT #200**  
NORTHING = 551948.85  
EASTING = 160945.21  
ELEVATION = 129.03  
DESCRIPTION: SET 3/4" RION PIPE W/ RCP

**POINT #201**  
NORTHING = 552109.54  
EASTING = 160919.21  
ELEVATION = 129.03  
DESCRIPTION: CUT 70" ON CURB

**POINT #202**  
NORTHING = 551748.85  
EASTING = 160942.43  
ELEVATION = 129.18  
DESCRIPTION: CUT 70" ON CURB

**POINT #203**  
NORTHING = 552028.78  
EASTING = 160919.21  
ELEVATION = 129.27  
DESCRIPTION: CUT 70" ON CURB

**CITY BENCHMARK 3203**  
ELEVATION 143.00

### GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH IOWA STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAIL PLANS, THE DETAIL PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGES TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOW IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED FORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF DES MOINES.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION. AT THE END OF EACH WORK DAY, THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
15. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
16. ALL WORK IN THE RIGHT OF WAY REQUIRES A RIGHT-OF-WAY PERMIT.
17. A PLUMBING PERMIT IS REQUIRED FOR THE CORE DRILL CONNECTIONS TO THE EXISTING STORM MANHOLES.
18. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
19. ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
20. MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD, AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS AND MATERIALS.
21. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND BUILDING CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
22. LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
23. THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
24. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SOODING.

### PAVING NOTES:

1. THE PAVING GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDDED IN ACCORDANCE WITH CITY OF DES MOINES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SOIADS.
2. SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
3. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARDS.
5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A. CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

### UTILITY NOTES:

1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE AS-BUILT OF ALL UTILITIES, INCLUDING THE TYPE AND LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID DAVIS AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
5. ACTIVE EXISTING FIELD TILES ENCOUNTED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH R4-14 TYPE CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
7. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
8. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 1" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 1" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 1" OF THE CROSSING.
9. MANHOLE AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
10. WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
11. THURST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
12. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND COLORATED. THE FLANGING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF DES MOINES.
13. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
14. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) WHEN THE HYDRANT IS INSTALLED. THE CITY OF DES MOINES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
15. THE MINIMUM HYDRANT LOAD SHALL BE 5.5 FEET.
16. PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE(UPL) AND ALL CITY OF DES MOINES AMENDMENTS TO UPC. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.

### UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATIONS OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS ARE PRESENT, A REQUEST MUST BE MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

### UTILITY CONFLICT NOTES:

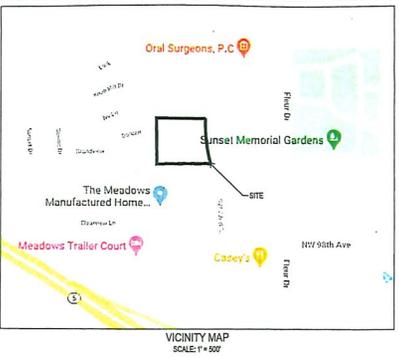
1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONFORMANCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

### WETLAND NOTES:

1. BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

### SURVEY NOTES:

1. SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 02/04/2020. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



- LEGEND:**
- SAN — SANITARY SEWER
  - ST — STORM SEWER
  - W — WATER LINE
  - G — GAS LINE
  - UE — UNDERGROUND ELECTRIC
  - OE — OVERHEAD ELECTRIC
  - TLE — TELEPHONE LINE
  - FO — FIBER OPTIC
  - CATV — CABLE TV
- ⊙ STORM MANHOLE
  - ⊙ CURB W/VALE
  - ⊙ SURFACE INTAKE
  - ⊙ FLARED END SECTION
  - ⊙ SANITARY MANHOLE
  - ⊙ CLEANOUT
  - ⊙ FIRE HYDRANT
  - ⊙ SPRINKLER
  - ⊙ IRRIGATION CONTROL VALVE
  - ⊙ WATER MANHOLE
  - ⊙ WELL
  - ⊙ WATER VALVE
  - ⊙ WATER SHUT OFF
  - ⊙ HYDRANT
  - ⊙ ELECTRIC MANHOLE
  - ⊙ ELECTRIC METER
  - ⊙ ELECTRIC RISER
  - ⊙ ELECTRIC W/ALT
  - ⊙ POWER POLE
  - ⊙ TRANSFORMER POLE
  - ⊙ LIGHT POLE
  - ⊙ ELECTRIC JUNCTION BOX
  - ⊙ ELECTRIC PANEL
  - ⊙ TRANSFORMER
  - ⊙ GROUND LIGHT
  - ⊙ GUY WIRE
  - ⊙ ELECTRIC HANDHOLE
  - ⊙ GAS METER
  - ⊙ GAS VALVE
  - ⊙ AIR CONDITIONING UNIT
  - ⊙ TELEPHONE RISER
  - ⊙ TELEPHONE VAULT
  - ⊙ TELEPHONE MANHOLE
  - ⊙ TRAFFIC SIGNAL MANHOLE
  - ⊙ FIBER OPTIC MANHOLE
  - ⊙ FIBER OPTIC RISER
  - ⊙ FIBER OPTIC FAULT
  - ⊙ CABLE TV RISER
  - SIGN
  - ⊙ BOLLARD
  - ⊙ DENOTES NUMBER OF PARKING STALLS
  - ⊙ PROPERTY CORNER - FOUND AS NOTED
  - ⊙ PROPERTY CORNER - PLACED AS NOTED
  - ⊙ SECTION CORNER - FOUND AS NOTED

### ABBREVIATIONS:

- AC ACRES
- ASF ASPHALT
- BK BOOK
- CCNC CONCRETE
- CD CEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- MS MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- PD PLATTER DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PREVIOUSLY FREEDOM AS PUBLIC UTILITY ESTABLISHMENT
- R/W RIGHT OF WAY
- RCP RED LOSTIC CAP
- RF SQUARE FEET
- SAN SANITARY
- TPC TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

**NO FIELD EVIDENCE OF UTILITIES**

APPROVED  APPROVED WITH CONDITIONS  NOT APPROVED

NO FIELD EVIDENCE OF UTILITIES WAS OBSERVED AT THE LOCATION OF THE PROPOSED STRUCTURE.

PLAN & ELEVATION COORDINATES SHALL BE: \_\_\_\_\_

DATE FIELD APPROVED: \_\_\_\_\_

ENGINEER SIGNATURE: \_\_\_\_\_



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

JOEL E. JACKSON, P.E. 18397

LICENSE RENEWAL DATE: DEC. 31, 2022

PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_

**Bishop Engineering**  
"Planning Your Successful Development"  
3901 104th Street  
Des Moines, Iowa 50323-3825  
Phone: 515-276-0467 Fax: 515-276-4377  
Civil Engineering & Land Surveying Established 1959

**AIRPORT CROSSROADS CONDOS  
DES MOINES, IA**

**COVER SHEET**

REFERENCE NUMBER	
DRAWN BY:	JME
CHECKED BY:	JEU
REVISION DATE:	12-23-20 2D SUBMITTA
	12-23-21 2ND SUBMITTA
PROJECT NUMBER:	200310
SHEET NUMBER:	C0.1

18

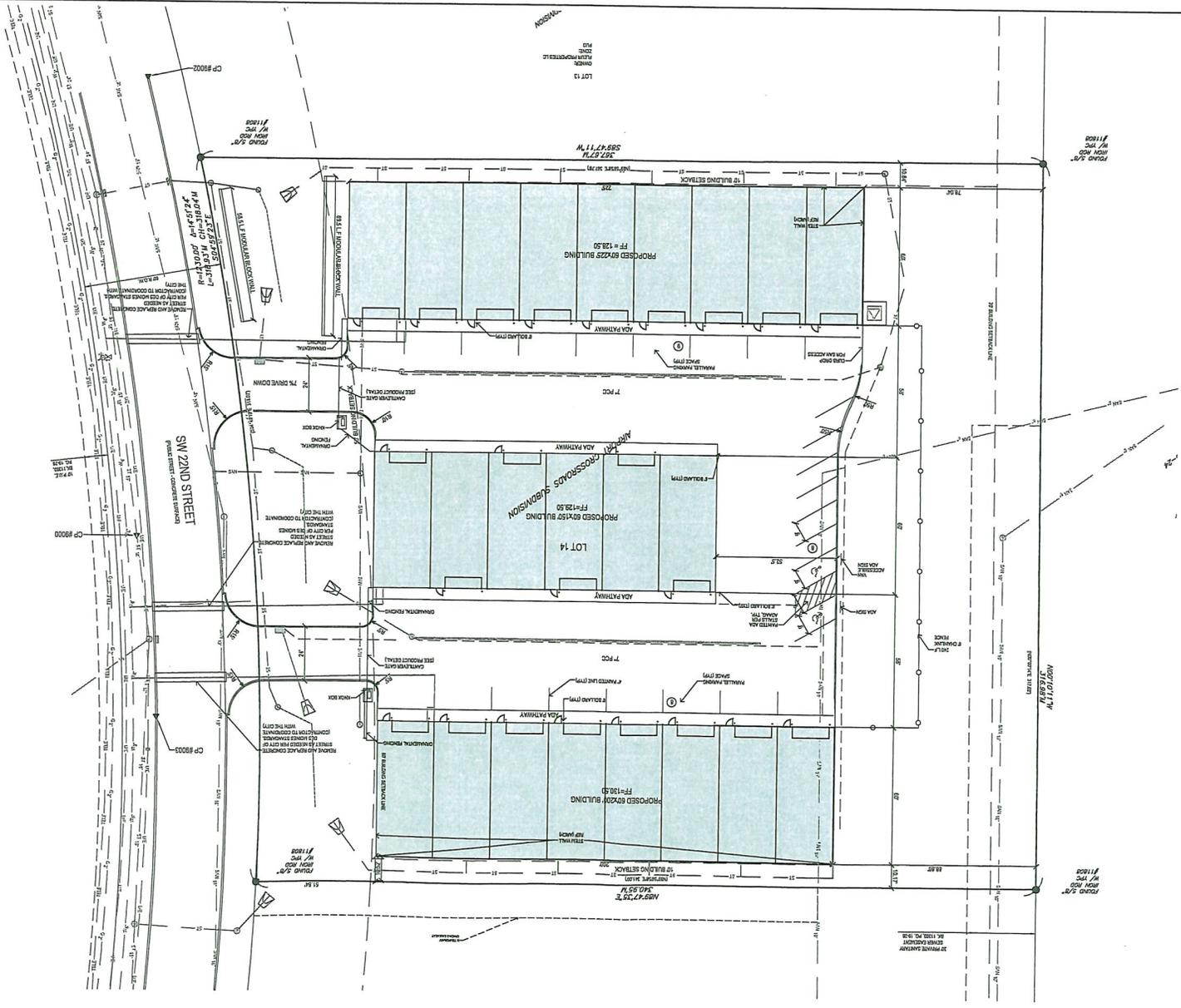


# PRELIMINARY- NOT FOR CONSTRUCTION

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NOTES:  
NO ALTERS WILL BE PERFORMED ON SITE WHICH WOULD REQUIRE THE NEED FOR DAMPEN EXPOSURE.



 <b>Bishop Engineering</b> "Training Your Successful Tomorrow" 3501 104th Street Des Moines, Iowa 50322-3805 Phone: 615796447 Fax: 615792407 Civil Engineering & Land Surveying      Established 1959	
<b>AIRPORT CROSSROADS CONDOS</b> <b>DES MOINES, IA</b> <b>LAYOUT PLAN</b>	
REFERENCE NUMBER:	SHEET NUMBER:
DRAWN BY:	PROJECT NUMBER:
CHECKED BY:	200310
REVISION DATE:	C2.1
12-23-21 AND SUBMITTY	

PRELIMINARY- NOT FOR CONSTRUCTION

**TOPSOIL NOTES:**

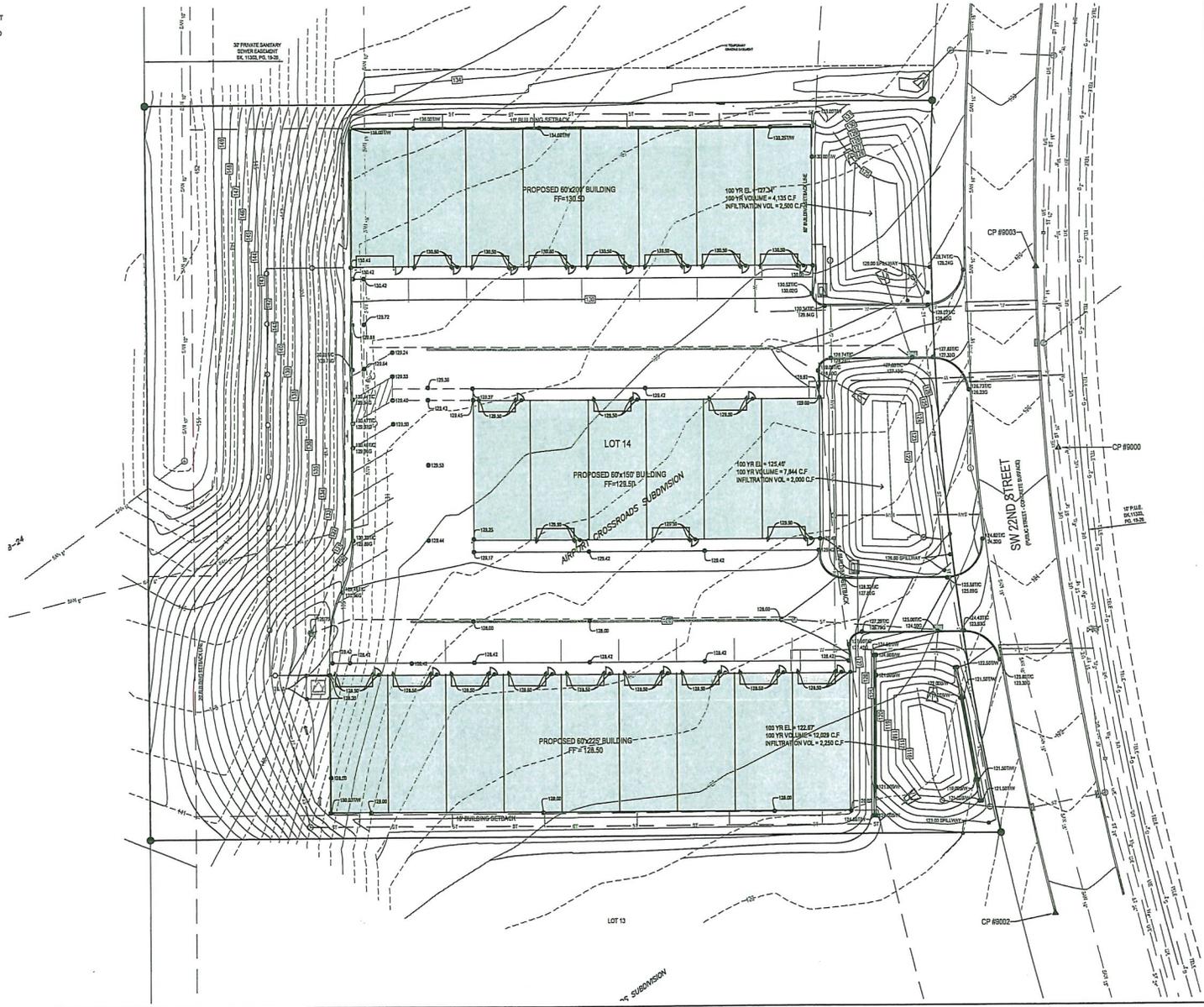
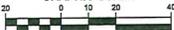
1. STRIP AND STOCKPILE THE TOP 4" OF SOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 4" ON ALL GREEN (NON PAVED) AREAS. REPLY TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 4".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS FERTILE, FRAMBLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4" IN DIAMETER, AND FOREIGN MATTER, ACIDITY RANGE (PH) OF 5.8 TO 7.2, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

**GRADING LEGEND:**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FINISHED GROUND ELEVATION
- TOP OF CURB ELEVATION
- GUTTER ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- EDGE OF WALK ELEVATION
- TOP OF STAIR ELEVATION
- BOTTOM OF STAIR ELEVATION

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

**GRAPHIC SCALE**



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**AIRPORT CROSSROADS CONDOS  
 DES MOINES, IA  
 GRADING PLAN**

REFERENCE NUMBER:	
DRAWN BY:	JMR
CHECKED BY:	JSJ
REVISION DATE:	12-23-20 1ST SUBMITTA 02-23-21 2ND SUBMITTA
PROJECT NUMBER:	200310
SHEET NUMBER:	C3.1

PRELIMINARY - NOT FOR CONSTRUCTION

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UTILITY NOTES:

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM 0.5% OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLANGED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS II RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS II RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

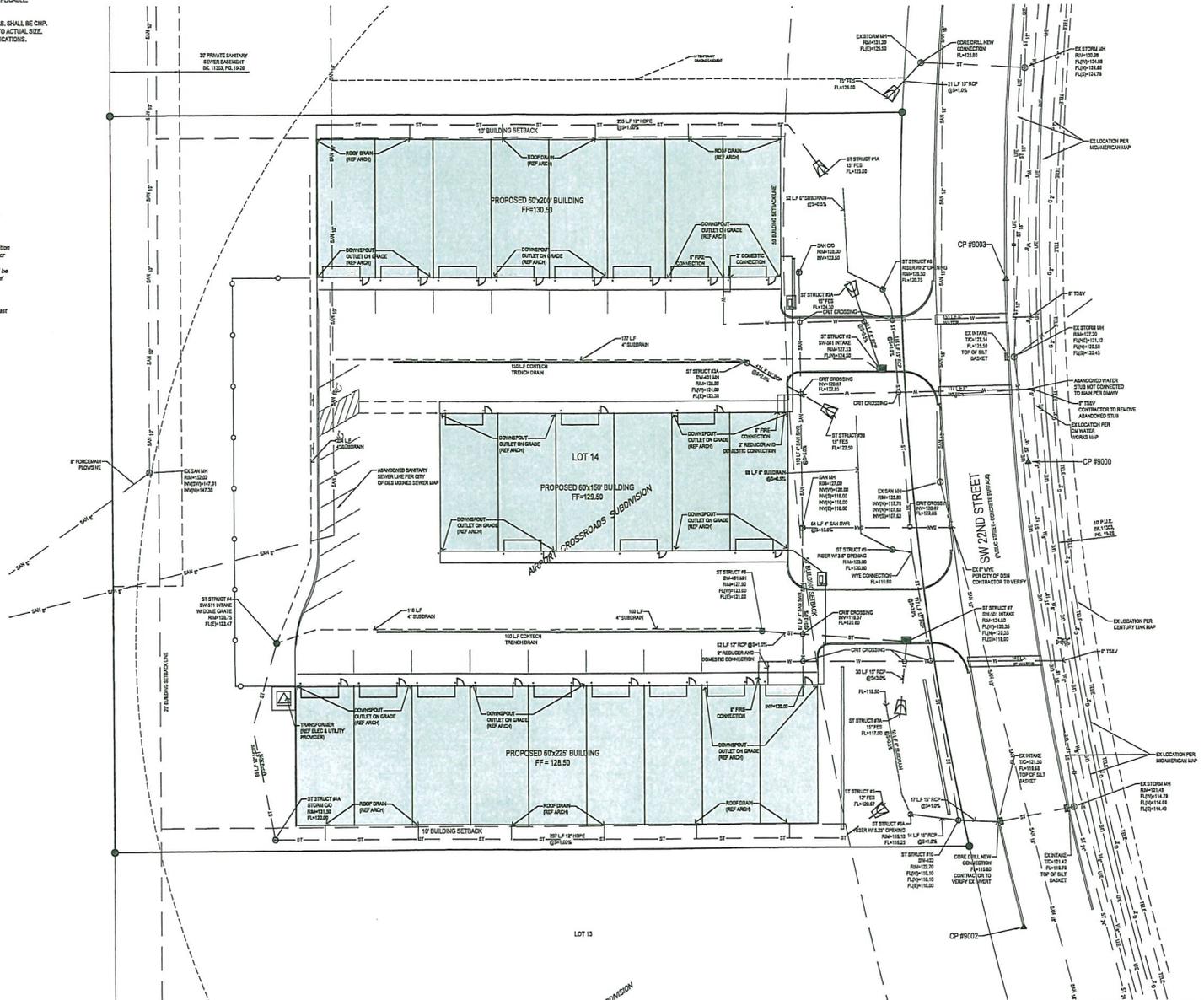
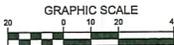
ALT BID:

1. SUBURBAN.
2. 1" PCC PAVEMENT III 6" RCP.

City Code Section 106-136(7) Land Owner/ Manager:

Stormwater Pollution Management Requirements

- A. Stormwater runoff control facilities (including pipes, inlets, and outlets) shall be annually inspected and maintained in substantial compliance with the approved Stormwater Management Plan.
- B. Litter, silt, sediment, and debris shall be promptly removed from such facilities.
- C. The planting and vegetation within the Stormwater Management Facilities shall be maintained in conformance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the vegetation permits.
- D. No grass droppings, leaves, yard waste, soil, rocks, concrete, or similar materials shall be placed within a drain, retention pond, or detention basin without the prior written consent of the City Engineer.
- E. No portion of the Stormwater Management Facilities shall be altered, removed, or regraded without the prior written consent of the City Engineer.
- F. Records of inspection, maintenance, and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.



**Bishop Engineering**  
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 Phone: 515-281-4247  
 Fax: 515-281-4247  
 Established 1959

**AIRPORT CROSSROADS CONDOS**  
 DES MOINES, IA

**UTILITY PLAN**

REFERENCE NUMBER:	
DRAWN BY:	JMR
CHECKED BY:	JEL
REVISION DATE:	12-23-20 1ST SUBMITTAL 02-23-21 2ND SUBMITTAL
PROJECT NUMBER:	200310
SHEET NUMBER:	C4.1

18

**LANDSCAPE NOTES:**

1. ALL SODDINGS LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SODDING DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SODD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN OPTIMUM TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
12. SPADE OUT EDGE AROUND ALL SHRUB PLANTING BEDS.
13. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
14. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL, BEFORE AND AFTER MULCH IS INSTALLED.

**GENERAL LANDSCAPE REQUIREMENTS**

TOTAL SQUARE FOOTAGE OF PROJECT AREA 110,111 SF  
 TOTAL REQUIRED OPEN SPACE (20%) 22,023 SF

REQUIRED LANDSCAPING (PER FUD)  
 REQUIRED TREES (2 PER 1,000 SF REQUIRED OPEN SPACE) 19  
 \*NOTE: ADDITIONAL 50% FOR TAX ABATEMENT 29 TOTAL  
 10% 2" - 3" CAL. 3  
 30% 40% 2" - 3" CAL. (STREET TREES - SEE BELOW)  
 BALANCE 6" - 18" ORNAMENTAL OR 1.5" CAL. 17  
 REQUIRED SHRUBS (2 PER 1,000 SF REQUIRED OPEN SPACE) 28  
 \*NOTE: ADDITIONAL 50% FOR TAX ABATEMENT 42 TOTAL

18" - 24" BALLE & BURLAP OR CONTAINER GROWN  
 TOTAL TREES PROVIDED 37  
 TOTAL SHRUBS PROVIDED 46

STREET TREE REQUIREMENTS  
 ONE TREE EVERY 30' - COUNTED TOWARDS REQUIRED LANDSCAPING 8

**PLANTING SCHEDULE**

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
<b>DECIDUOUS TREES</b>						
WO	2	WHITE OAK	QUERCUS ALBA	3" CAL	B&B	MATCHED SPECIMENS
YC	3	REDBUD COFFEE TREE	FRAXINUS OXYCARPA	2" CAL	B&B	MATCHED SPECIMENS
SH	5	SKYLINE HONKERLOCUST	GLEITSIA TRICANTRO INERENS SKYLINE	2" CAL	B&B	MATCHED SPECIMENS
RO	2	RED OAK	QUERCUS RUBRA	2" CAL	B&B	MATCHED SPECIMENS
<b>EVERGREEN TREES</b>						
WP	11	WHITE FINE	PAINUS STRIGOSUS	6"	B&B	FULL FORM - MATCHED
NS	8	NORWAY SPRUCE	PICEA ABIES	6"	B&B	FULL FORM TO GROUND
BH	6	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6"	B&B	FULL FORM TO GROUND
<b>SHRUBS</b>						
DK	6	DWARF KOREAN LILAC	SYRINGA MEYER PALABIN	#5	CONT	FULL FORM - MATCHED
LD	14	LITTLE DEVIL NINEBARK	PHYSCOCARPUS OPAULICUS LITTLE DEVIL	#6	CONT	FULL FORM - MATCHED
AC	14	ALPINE CURRYWING	RIBES ALPINEUM	#6	CONT	FULL FORM - MATCHED
AW	12	WINTERWIT EMBER SPREA	SPERULA ALBA WINTERWIT	#5	CONT	FULL FORM - MATCHED

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS WANTED INTO SUBSURFACE)

- NOTE:**
- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 515-263-1155.
  - ALL WIRE, TWINE, AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
  - NO STAKING OF STREET TREES IS ALLOWED.

**DIAGRAM: PROPER TREE PLANTING**

1. Remove sod entirely from site. Dig hole 2X's wider than root ball.
2. Peel back rope/burlap/cage and remove sufficient soil to expose root flare.
3. Measure from root flare to bottom of root ball.
4. Dig hole only to required depth to allow root flare to show at final grade.
5. Remove lower 1/3 of wire cage.
6. Set tree in planting hole. Support with some soil, then remove entire balance of wire cage and top 2/3 of burlap.
7. Backfill 2/3 of loose soil. Use water to settle soil. DO NOT tamp or step on soil.
8. Backfill balance and water a second time.
9. Excess soil may be used to create a berm/saucer outside of root ball.
10. add 2"-4" of wood mulch and do final watering.

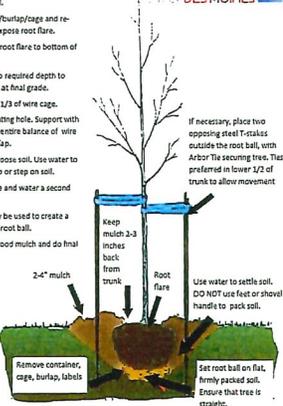
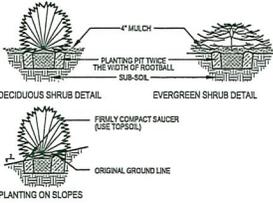
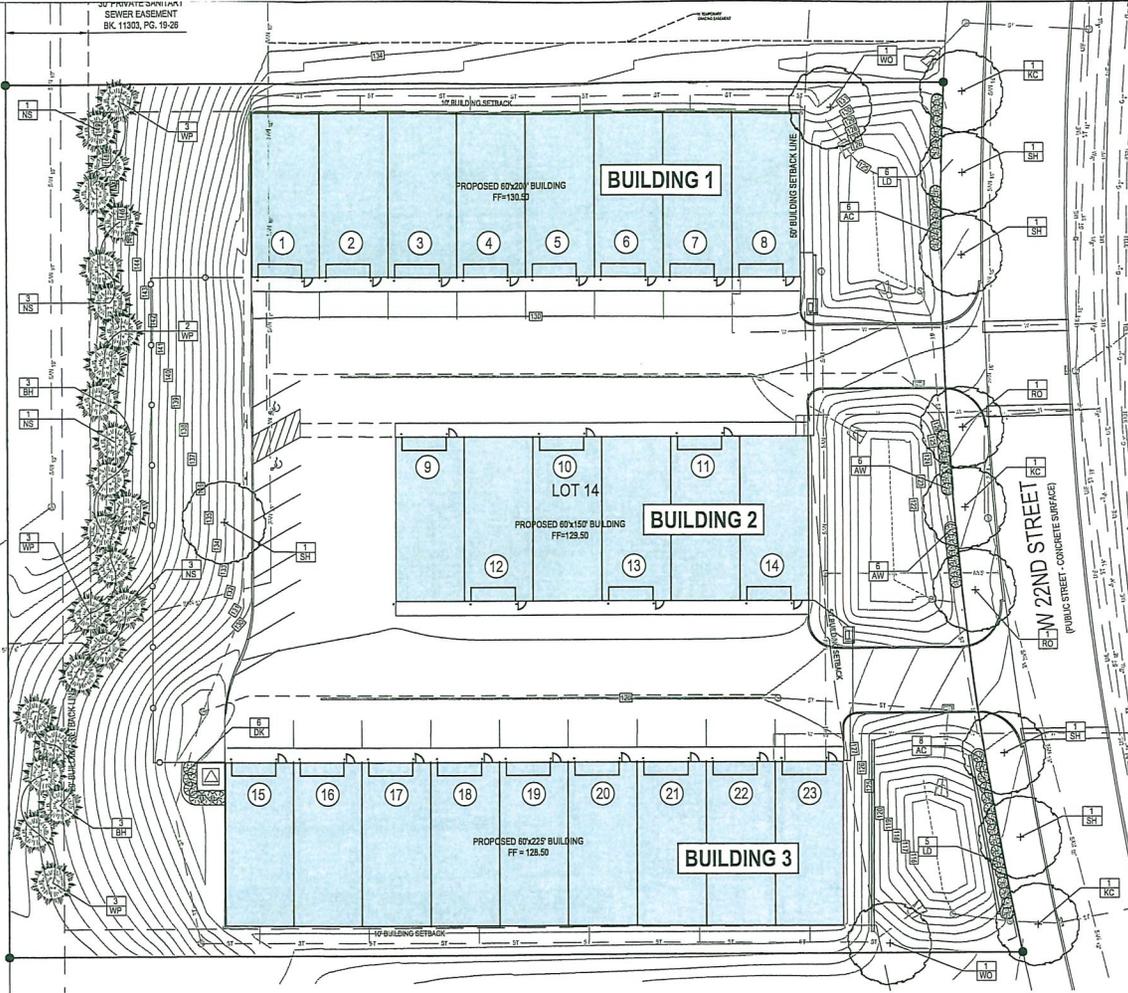
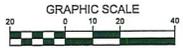


Image Courtesy of International Society of Arboriculture



SHRUB PLANTING (TYP)  
 SCALE: NOT TO SCALE

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. IOWA REGISTRATION NO. 445.  
 BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2022

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_



**Bishop Engineering**  
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 Civil Engineering & Land Surveying  
 Established 1959

AIRPORT CROSSROADS CONDOS  
 DES MOINES, IA  
 LANDSCAPE PLAN

REFERENCE NUMBER: \_\_\_\_\_

DRAWN BY: JMR

CHECKED BY: JEJ

REVISION DATE: 12-23-20 1ST SUBMITTA  
 02-23-21 2ND SUBMITTA

PROJECT NUMBER: 200310

SHEET NUMBER: C5.1







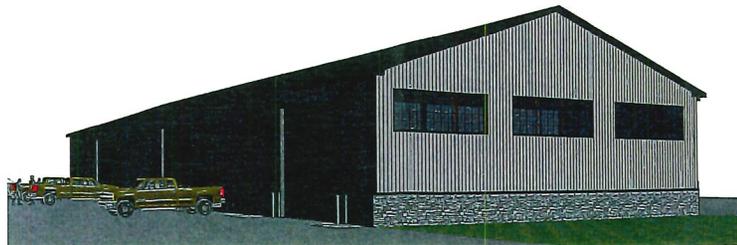
PLUM DESIGN SERVICES  
1100 SE ALICE'S ROAD, WAUKEE, IOWA 50263  
TELEPHONE 319 398 6260 FAX 319 398 6261

PLUM DESIGN SERVICE, INC. ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. WE ARE NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO VERIFY AND CHECK ALL NOTES, DETAILS, ELEVATIONS, SECTIONS, AND FLOOR PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR AND/OR OWNER SHALL NOTIFY PLUM DESIGN SERVICE, INC. IMMEDIATELY IF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION ARE IDENTIFIED PRIOR TO START OF CONSTRUCTION. NO WARRANTIES EXPRESS OR IMPLIED INCLUDING COMPLIANCE WITH THIS PLAN WITH APPLICABLE BUILDING CODES REQUIREMENTS ARE MADE.

MEMBER



AMERICAN INSTITUTE OF BUILDING DESIGN  
Creating where people live



# Airport Crossing Flex Warehouse

PROJECT ADDRESS  
7600 SW 22nd Street  
Des Moines, Iowa

PROJECT TEAM		SHEET INDEX																																	
<p><b>ARCHITECTURAL DRAFTING</b></p> <p>COMPANY NAME: PLUM BUILDING SYSTEMS COMPANY ADDRESS: 1100 SE ALICE'S ROAD, WAUKEE, IOWA 50263 PHONE: (319) 398-6260 FAX:</p>	<p><b>MECHANICAL CONTRACTOR</b></p> <p>COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -</p>	<p><b>STRUCTURAL DRAWING LIST</b></p> <p>FACE NO. PAGE NAME</p>	<p><b>DRAWING LIST</b></p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>AD</td><td>Cover Page</td></tr> <tr><td>AD.1</td><td>Building Code Review</td></tr> <tr><td>AD.2</td><td>Accessibility Standards</td></tr> <tr><td>AD.3</td><td>Code Review - Area &amp; Occupancy</td></tr> <tr><td>AD.6</td><td>Code Review - Separation</td></tr> <tr><td>AD.7</td><td>Code Review - Egress &amp; ADA Review</td></tr> <tr><td>AD.8</td><td>Wall Types</td></tr> <tr><td>AD.9</td><td>Door Schedule</td></tr> <tr><td>AD.1.1</td><td>Elevations</td></tr> <tr><td>AD.2</td><td>Elevations</td></tr> <tr><td>AD.3</td><td>Elevation Details</td></tr> <tr><td>AD.3.1</td><td>First Floor Overview</td></tr> <tr><td>AD</td><td>Site</td></tr> <tr><td>AD</td><td>Building Sections</td></tr> <tr><td>AD.1</td><td>Party Wall Details</td></tr> <tr><td>AD</td><td>ISO TEMPLATES</td></tr> </table>	AD	Cover Page	AD.1	Building Code Review	AD.2	Accessibility Standards	AD.3	Code Review - Area & Occupancy	AD.6	Code Review - Separation	AD.7	Code Review - Egress & ADA Review	AD.8	Wall Types	AD.9	Door Schedule	AD.1.1	Elevations	AD.2	Elevations	AD.3	Elevation Details	AD.3.1	First Floor Overview	AD	Site	AD	Building Sections	AD.1	Party Wall Details	AD	ISO TEMPLATES
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<p><b>STRUCTURAL</b></p> <p>COMPANY NAME: BAKER-RHOODES ENGINEERING, LLC COMPANY ADDRESS: 4075 GRAND AVENUE, DES MOINES, IOWA 50312 PHONE: - FAX: -</p>	<p><b>ELECTRICAL CONTRACTOR</b></p> <p>COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -</p>	<p><b>BUILDING INFORMATION</b></p> <p>OCCUPANCY TYPE: B (Business)</p> <p>CONSTRUCTION TYPE: Va - Heavy Metal/Permitted</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>ALLOWABLE HEIGHT: 30'-0"</td> <td>ACTUAL HEIGHT: 32'-0"</td> </tr> <tr> <td>ALLOWABLE BUILDING STOREYS: 3-0</td> <td>ACTUAL BUILDING STOREYS: 1</td> </tr> <tr> <td>ALLOWABLE BUILDING AREA: 9 + 38,000</td> <td>ACTUAL AREA: 14013</td> </tr> </table> <p>SEPARATION OF OCCUPANCIES: B - 1A - None</p> <p>SPRINKLER SYSTEM: NFPA 13 SPRINKLER SYSTEM</p>		ALLOWABLE HEIGHT: 30'-0"	ACTUAL HEIGHT: 32'-0"	ALLOWABLE BUILDING STOREYS: 3-0	ACTUAL BUILDING STOREYS: 1	ALLOWABLE BUILDING AREA: 9 + 38,000	ACTUAL AREA: 14013																										
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<p><b>CIVIL ENGINEER</b></p> <p>COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -</p>	<p><b>PLUMBING CONTRACTOR</b></p> <p>COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -</p>	<p><b>APPLICABLE CODES</b> CITY OF Des Moines, IOWA</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>1. BUILDING CODE</td><td>2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS</td></tr> <tr><td>2. FIRE CODE</td><td>2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS</td></tr> <tr><td>3. MECHANICAL CODE</td><td>2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS</td></tr> <tr><td>4. ELECTRICAL CODE</td><td>2017 NATIONAL ELECTRICAL CODE (NEC) WITH STATE AMENDMENTS</td></tr> <tr><td>5. PLUMBING CODE</td><td>2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS</td></tr> <tr><td>6. ENERGY CODE</td><td>2018 INTERNATIONAL ENERGY AND CONSERVATION CODE, WITH LOCAL AND STATE AMENDMENTS</td></tr> <tr><td>7. FUEL GAS CODE</td><td>2018 INTERNATIONAL FUEL CODE</td></tr> <tr><td>8. CONSULTATIVE 1001 (ADA STANDARDS)</td><td>2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</td></tr> </table> <p>FIRE ALARM AND SUPPRESSION PLANS TO BE SUBMITTED TO FIRE MARSHALL OFFICE FOR REVIEW AND APPROVAL.</p>		1. BUILDING CODE	2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS	2. FIRE CODE	2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS	3. MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS	4. ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC) WITH STATE AMENDMENTS	5. PLUMBING CODE	2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS	6. ENERGY CODE	2018 INTERNATIONAL ENERGY AND CONSERVATION CODE, WITH LOCAL AND STATE AMENDMENTS	7. FUEL GAS CODE	2018 INTERNATIONAL FUEL CODE	8. CONSULTATIVE 1001 (ADA STANDARDS)	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN																
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<p><b>HVAC/PLUMBING/ELECTRICAL/DESIGN/ENERGY REVIEW</b></p> <p>COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -</p>	<p><b>SPRINKLER SYSTEMS CONTRACTOR</b></p> <p>COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -</p>	<p><b>VICINITY LOCATION</b></p> <p style="text-align: center;">PROJECT LOCATION</p>																																	

6-BAY BUILDING  
Airport Crossing Flex Warehouse  
7600 SW 22nd Street  
Des Moines, Iowa

PROJECT ID:  
PDS 5053

ISSUE DATE:  
DATE: 11-18-20  
DATE: 02-22-20  
DATE:  
DATE:  
DATE:  
DATE:

Cover Page

THIS PAGE IS INTENDED TO BE PRINTED ON 24" X 36" PAPER TO BE TO SCALE

A0



**PLUM DESIGN SERVICES**  
 1100 E. AUSTIN ROAD, SUITE 200A, DES MOINES, IA 50319  
 TEL: 515.281.1100 FAX: 515.281.1101

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**6-BAY BUILDING**  
 Airport Crossing Flex Warehouse  
 7600 SW 22nd Street  
 Des Moines, Iowa

PROJECT ID:  
 PDS 5053

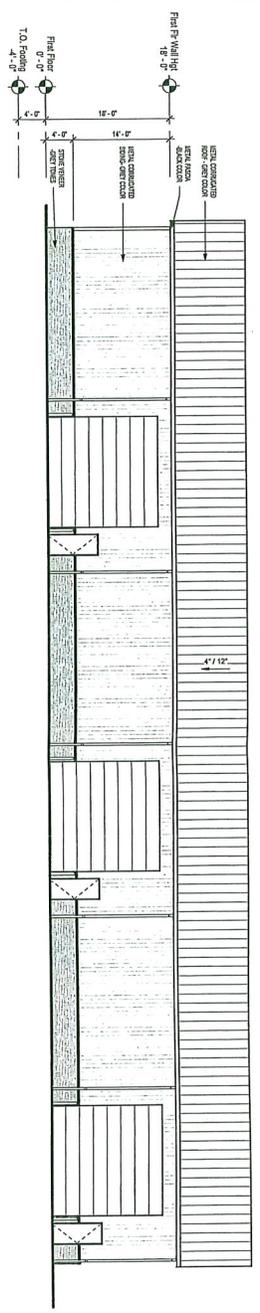
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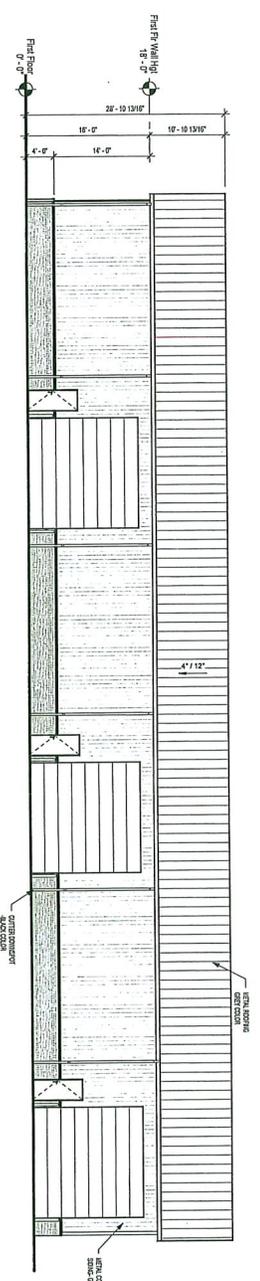
Elevations

1/8" = 1'-0"  
 THIS SCALE APPLIES TO ALL ELEVATIONS UNLESS OTHERWISE NOTED

**A1.1**



2 FRONT ELEVATION  
 Scale: 1/8" = 1'-0"



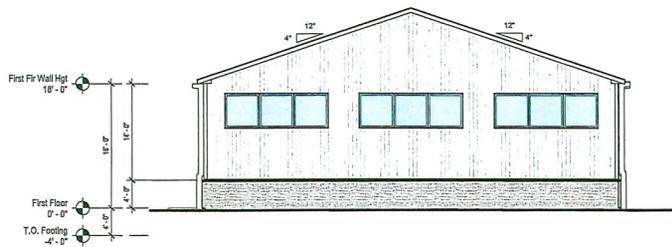
1 REAR ELEVATION  
 Scale: 1/8" = 1'-0"

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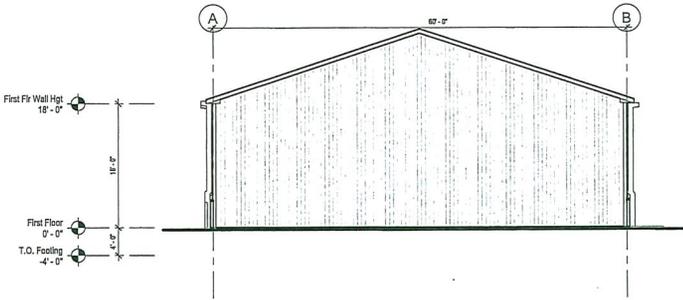


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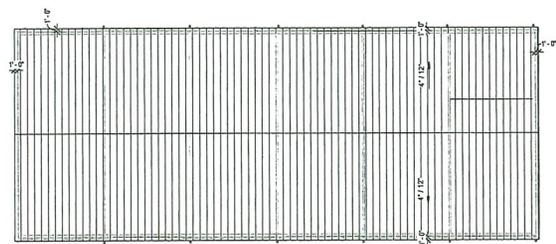


TRANSPARENT GLASS EQUIPMENT (10%) STREET FACING  
1571 SQUARE FEET STREET FACING WALL  
1231' 10" GLASS FIBER + 2085 SQUARE FEET OF GLASS FIBER, TOTAL  
(1) 15 X 10 WINDOW + 73 SQUARE FEET  
(2) TOTAL WINDOW + 225 SQUARE FEET (2085 SQ FT NET)

1 RIGHT ELEVATION- STREET SIDE  
Scale: 1/8" = 1'-0"



2 LEFT ELEVATION  
Scale: 1/8" = 1'-0"



3 ROOF PLAN  
Scale: 1/8" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	6940 SF

6-BAY BUILDING  
Airport Crossing Flex Warehouse  
7600 SW 22nd Street  
Des Moines, Iowa

PROJECT ID:  
PDS 5053

ISSUE DATE:  
DATE: 11-18-20  
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Elevations

As indicated  
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A1.2

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**6-BAY BUILDING**  
 Airport Crossing Flex Warehouse  
 7600 SW 22nd Street  
 Des Moines, Iowa

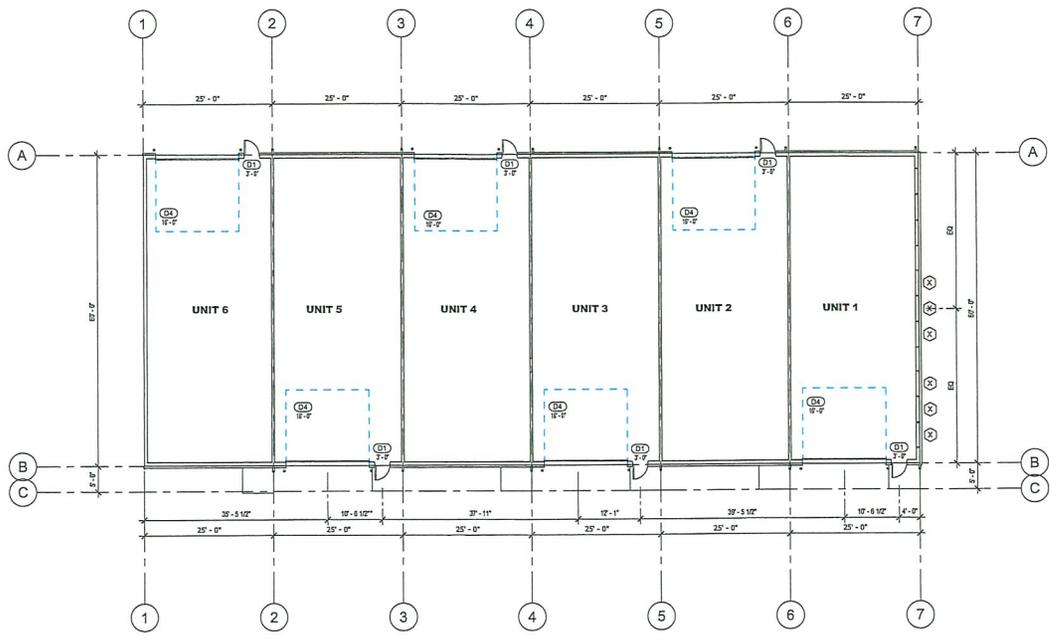
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First Floor Overview

3/32" = 1'-0"  
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**A3.1**



1 First Floor  
 Scale: 3/32" = 1'-0"



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 Airport Crossing Flex Warehouse  
 7600 SW 22nd Street  
 Des Moines, Iowa

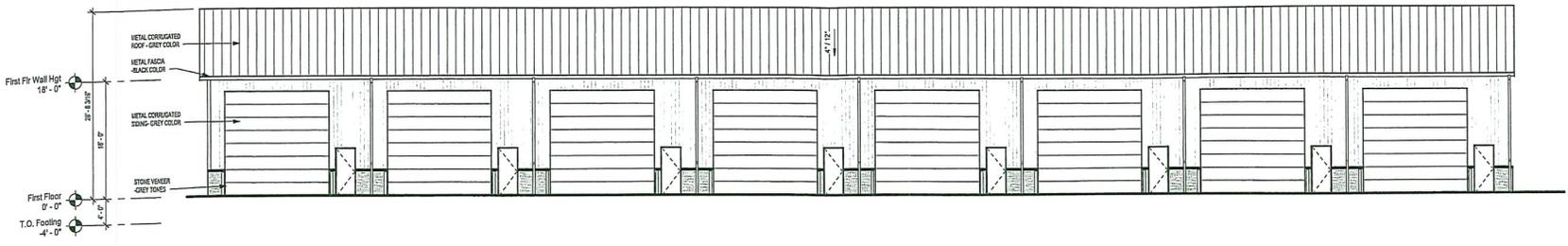
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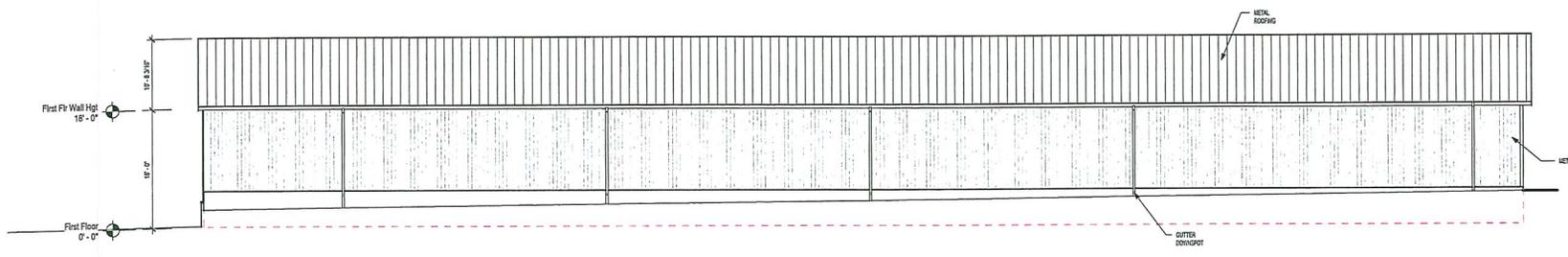
Elevations

1/8" = 1'-0"  
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A1.1



2 FRONT ELEVATION  
 Scale: 1/8" = 1'-0"



1 REAR ELEVATION  
 Scale: 1/8" = 1'-0"



PLUM DESIGN SERVICES  
1100 SE ALLEN ROAD, WAUKEG, IOWA 50583  
TELEPHONE: 515 978 6260 FAX: 515 978 6261

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Airport Crossing Flex Warehouse  
7600 SW 22nd Street  
Des Moines, Iowa

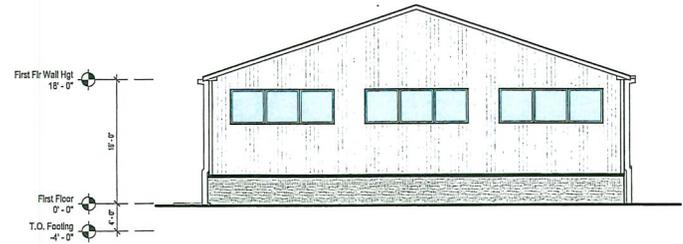
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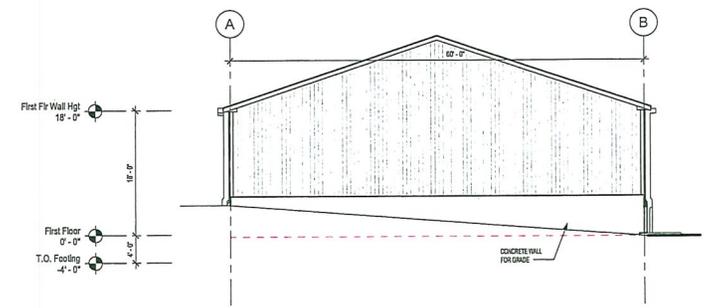
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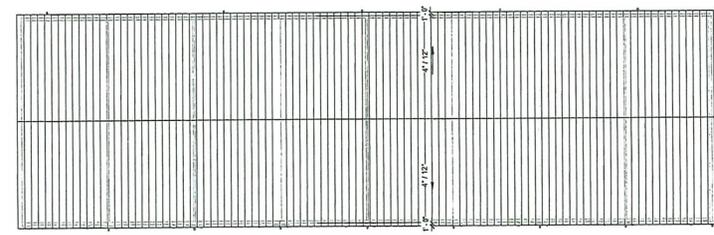


1 RIGHT ELEVATION  
Scale: 1/8" = 1'-0"

TRANSPARENT GLASS REQUIREMENT (OO) STREET FACING  
1801 SQUARE FEET STREET FACING WALL  
1701" TGA GLASS REQ = 20185 SQUARE FEET OF GLASS REQD. TOTAL  
(1) 124 WINDOW = 715 SQUARE FEET  
(2) TOTAL WINDOWS = 225 SQUARE FEET (20185 SQ FT REQD)



2 LEFT ELEVATION  
Scale: 1/8" = 1'-0"



3 ROOF PLAN  
Scale: 1/8" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	12297 SF



PLUM DESIGN SERVICES  
BUILDING SYSTEMS, LLC

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Airport Crossing Flex Warehouse  
7600 SW 22nd Street  
Des Moines, Iowa

PROJECT ID:  
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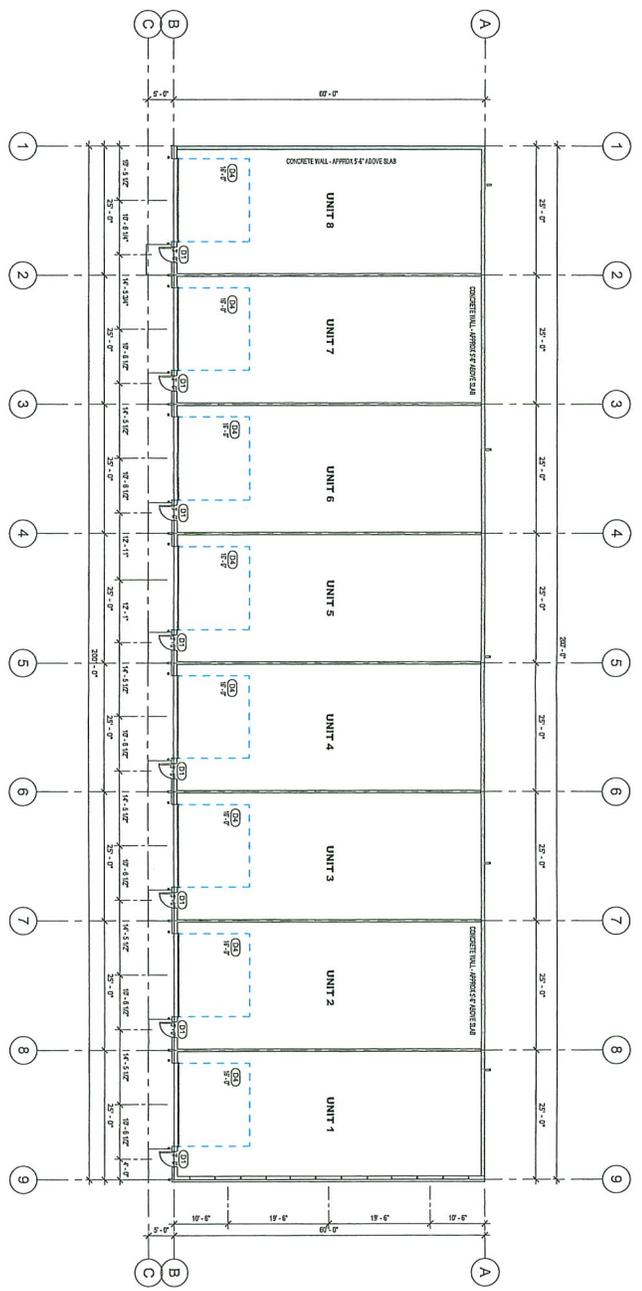
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DATE:	02-22-21
DATE:	

First Floor Overview

3/32" = 1'-0"  
THESE MEMBERSHIP NUMBERS  
APPLY TO ALL PLANS FOR THIS PROJECT

A3.1



1 First Floor  
Scale: 3/32" = 1'-0"



PLUM DESIGN SERVICES  
1100 SE ALICE ROAD, WARREN, IOWA 50565  
TELEPHONE 515 878 6260 FAX 515 878 6261

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7600 SW 22nd Street  
Des Moines, Iowa

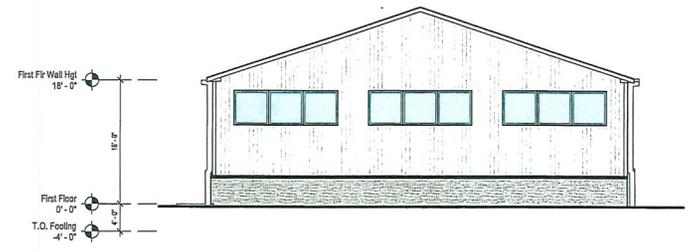
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Elevations

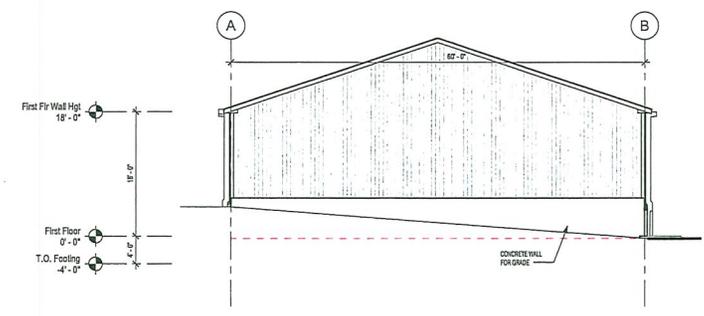
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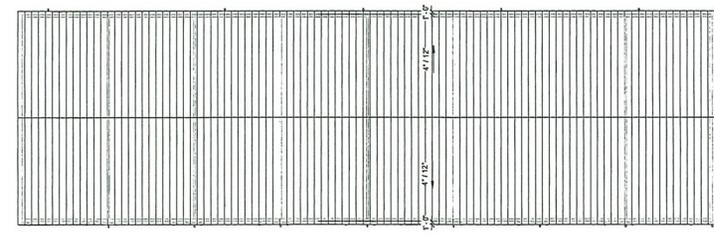


1 RIGHT ELEVATION  
Scale: 1/8" = 1'-0"

TRANSPARENT GLASS REQUIREMENT (W/STREET FACING)  
100 SQUARE FEET STREET FACING WALL  
100' x 10% GLASS REQ. = 100 SQ FEET OF GLASS REQD. TOTAL  
(1) 10 x 8 WINDOW = 75 SQUARE FEET  
(2) TOTAL WINDOWS = 125 SQUARE FEET (20 x 8 SQ FT REQD.)



2 LEFT ELEVATION  
Scale: 1/8" = 1'-0"



3 ROOF PLAN  
Scale: 1/16" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	13207 SF



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9 BAY BUILDING  
 Airport Crossing Flex Warehouse  
 7600 SW 22nd Street  
 Des Moines, Iowa

PROJECT ID:  
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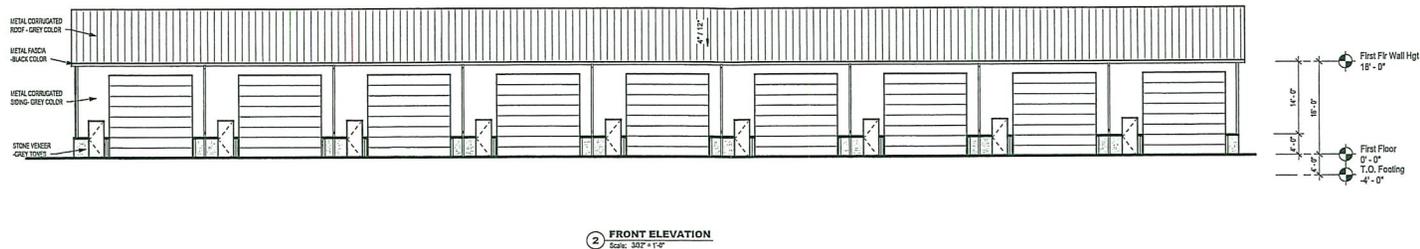
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Elevations

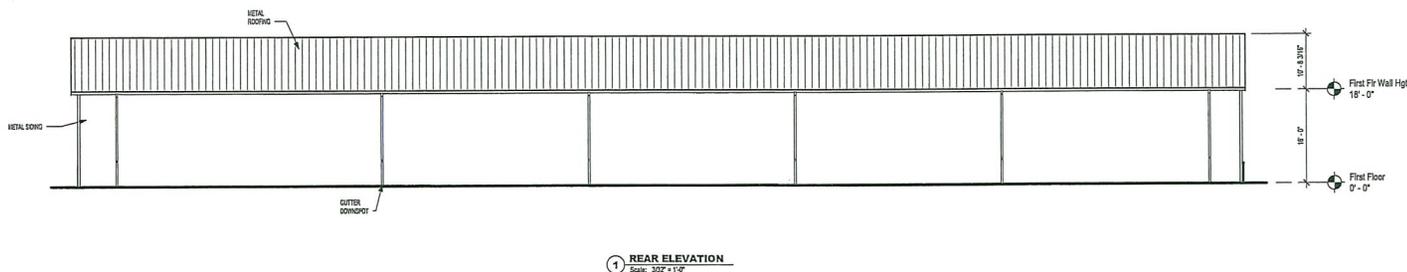
3/32" = 1'-0"

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A1.1



2 FRONT ELEVATION  
 Scale: 3/32" = 1'-0"

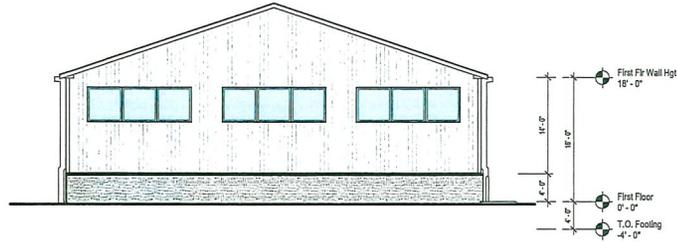


1 REAR ELEVATION  
 Scale: 3/32" = 1'-0"

PLUM DESIGN SERVICES  
 1100 SE ALICE ROAD, WARREN, IOWA 50599  
 TELEPHONE: 515.878.6260 FAX: 515.878.6381

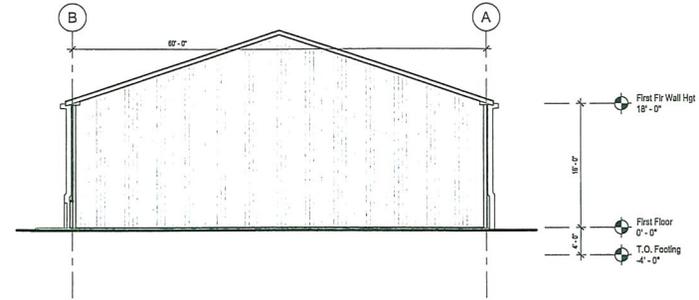
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MEMBER  
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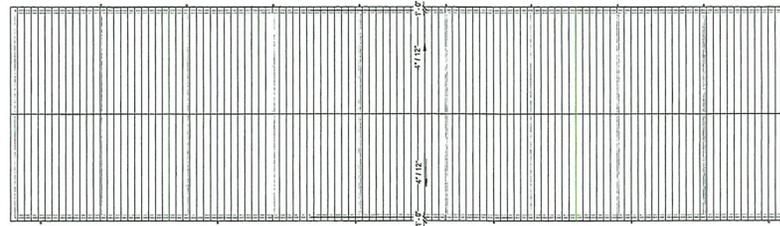


1 RIGHT ELEVATION  
 Scale: 1/8" = 1'-0"

TRANSPARENT GLASS REQUIREMENT (USA) STREET FACING  
 1201 SQUARE FEET STREET FACING TOTAL  
 1201 1/8" GLASS REQ. = 23816 SQUARE FEET OF GLASS REQD. TOTAL  
 (1) 10.5 X 70 WINDOW = 735 SQUARE FEET  
 (2) TOTAL WINDOW = 1470 SQUARE FEET (2014 IBC 703.5)



2 LEFT ELEVATION  
 Scale: 1/8" = 1'-0"



3 ROOF PLAN  
 Scale: 1/16" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	14841 SF

9 BAY BUILDING  
 Airport Crossing Flex Warehouse  
 7600 SW 22nd Street  
 Des Moines, Iowa

PROJECT ID:  
 PDS 5053

ISSUE DATE:  
 DATE: 11-18-20  
 DATE: 02-19-20  
 DATE:  
 DATE:  
 DATE:  
 DATE:  
 DATE:

Elevations

As indicated  
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A1.2

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9 BAY BUILDING  
Airport Crossing Flex Warehouse  
7600 SW 22nd Street  
Des Moines, Iowa

PROJECT ID:  
PDS 5053

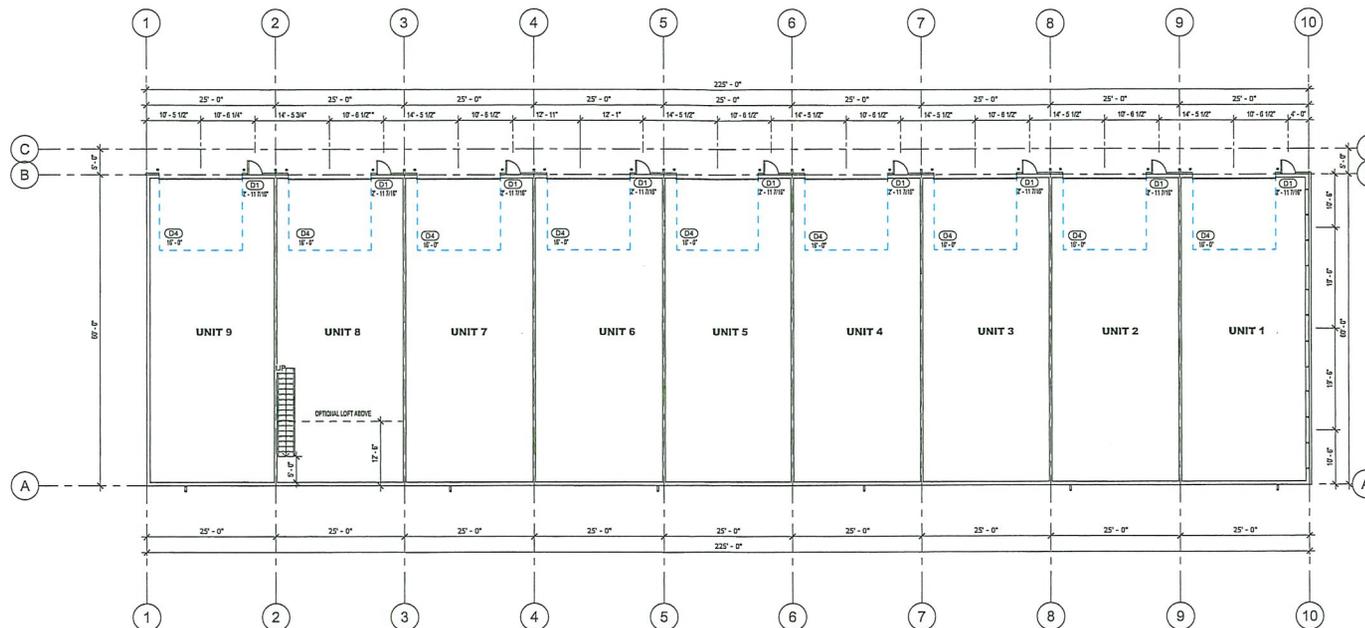
ISSUE DATE:  
DATE: 11-18-20  
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DATE:  
DATE:  
DATE:  
DATE:  
DATE:

First Floor Overview

3/32" = 1'-0"

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A3.1



1 First Floor  
Scale: 3/32" = 1'-0"