



**Roll Call Number**

**Agenda Item Number**

18A

Date April 19, 2021

**RECEIVE AND FILE COMMUNICATION FROM THE PLAN AND ZONING COMMISSION REGARDING PRELIMINARY PLAT "GRAY'S LANDING PLAT 1" LOCATED AT 400 SW 11TH STREET**

WHEREAS, on April 1, 2021, the City of Des Moines Plan and Zoning Commission voted 13-0 for APPROVAL of a Preliminary Plat "Gray's Landing Plat 1", submitted by River Point West LLC (owner), represented by Will Anderson (officer), in form on file in the Development Services Department, for property located at 400 SW 11<sup>th</sup> Street, to allow for subdivision of a 4.10-acre lot for an 132-unit multiple-household building for independent senior living on the north half of the Slate at Gray's Landing PUD District, subject to compliance with all administrative review comments.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, that the attached communication from the City Plan and Zoning Commission is hereby received and filed.

MOVED by \_\_\_\_\_ to receive and file.

FORM APPROVED:

/s/ Glenna K. Frank  
Glenna K. Frank, Assistant City Attorney

(13-2021-1.29)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

**CERTIFICATE**

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

MOTION CARRIED APPROVED

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



April 13, 2021

Date April 19, 2021  
 Agenda Item 18A  
 Roll Call # \_\_\_\_\_

Honorable Mayor and City Council  
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their April 1, 2021 meeting, the following action was taken regarding a request from River Point West LLC (owner) represented by Will Anderson (officer) for review and approval of a Preliminary Plat "Gray's Landing Plat 1" for subdivision of a 4.10-acre lot for the senior housing project of a 132-unit independent living senior Household Living dwelling project proposed for 400 SW 11th Street.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

**APPROVAL** of the proposed preliminary plat subject to compliance with all administrative review comments. (13-2021-1.29)

**STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Staff recommends approval of the proposed preliminary plat subject to compliance with all administrative review comments.

## STAFF REPORT TO THE PLANNING COMMISSION

### I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to construct a 132-unit multiple-household building on the north half of the Slate at Gray's Landing "PUD" site. The development would operate as housing for independent senior living.
2. **Size of Site:** 178,719 square feet (4.1 acres).
3. **Existing Zoning (site):** Slate at Gray's Landing Legacy "PUD" Planned Unit Development District.
4. **Existing Land Use (site):** Undeveloped land.
5. **Adjacent Land Use and Zoning:**
  - North** – "PUD"; Use is multiple-household units.
  - South** – "DX2"; Use is undeveloped land.
  - East** – "DX2"; Use is multiple-household units.
  - West** – "PUD"; Uses are rowhouse and multiple-household units.
6. **General Neighborhood/Area Land Uses:** The subject property is in the southwest portion of the downtown in the Gray's Landing/Gray's Station neighborhood. The surrounding area consists of vacant land, commercial uses, multiple-household residential uses, light industrial uses, the Raccoon River, and Gray's Lake Park.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Downtown Des Moines Neighborhood. All neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda on March 12, 2021 and the Final Agenda on March 26, 2021. Additionally, separate notifications of the hearing for this specific item was mailed on March 22, 2021 (10 days prior to the hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the requested rezoning. The Downtown Des Moines Neighborhood Association mailings were sent to Sebastian Hamirani, 1400 Walnut Street, #413, Des Moines, IA 50309.
8. **Relevant Zoning History:** The Slate at Gray's Landing PUD rezoning and PUD Conceptual Plans were approved by the City Council on January 28, 2019 by Roll Call Numbers 19-0167, 19-0168 and 19-0169.
9. **PlanDSM Future Land Use Plan Designation:** Downtown Mixed Use.

**10. Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

## **II. ADDITIONAL APPLICABLE INFORMATION**

- 1. Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City's Stormwater Management requirements to the satisfaction of the City's Permit and Development Center. The development would utilize regional facilities designed to account for development in this area.
- 2. Access & Parking:** The proposed building would front Tuttle Street to the north and Southwest 11<sup>th</sup> Street to the east. A trail adjoins the site to the west. Multiple points of pedestrian access would be provided to the adjoining public sidewalks and the trail. Vehicular access would be limited to a single driveway from Southwest 11<sup>th</sup> Street. A surface parking lot would be located within the development. The building would contain basement-level parking accessed from the main driveway. A total of 160 parking spaces would be provided.
- 3. Urban Design:** The proposed building would be 4 stories tall and would include an attached 1-story clubhouse that would house an indoor pool, fitness center, community room, spa, and hobby room. The building would provide a mix of 1-bedroom; 1-bedroom plus den; and 2-bedroom units. The building would have a C-shape with frontage along Southwest 11th Street, Tuttle Street, and a trail to west constructed by Hubbell as a part of the Gray's Station development. Proposed materials consist of two types of fiber cement board (slate blue panel and a brown lap), light gray manufactured stone veneer, and gray rock face CMU. Windows, decks, and railing will utilize a dark bronze aluminum.

The proposal generally complies with the PUD Conceptual Plan. Section III of the report includes a few design related items that staff believe should be address. This includes the request that the applicant work with staff to look for ways to provide greater visual interest for the east façade of the clubhouse, particularly at the entrance. The appearance of this side of the clubhouse is somewhat monolithic as compared to the rest of the building. Adding variation or visual emphasis would help break up the façade, call attention to the entrance of the clubhouse, and possibly better tie this part of the clubhouse to the architectural character of the rest of the development.

## **SUMMARY OF DISCUSSION**

Dory Briles asked if any member of the public or the commission desired to speak on the item. No one requested to speak.

**COMMISSION ACTION:**

Emily Webb made a motion for **APPROVAL** of the proposed preliminary plat subject to compliance with all administrative review comments

Motion passed: 13-0

Respectfully submitted,



Jason Van Essen, AICP  
Planning & Urban Design Administrator

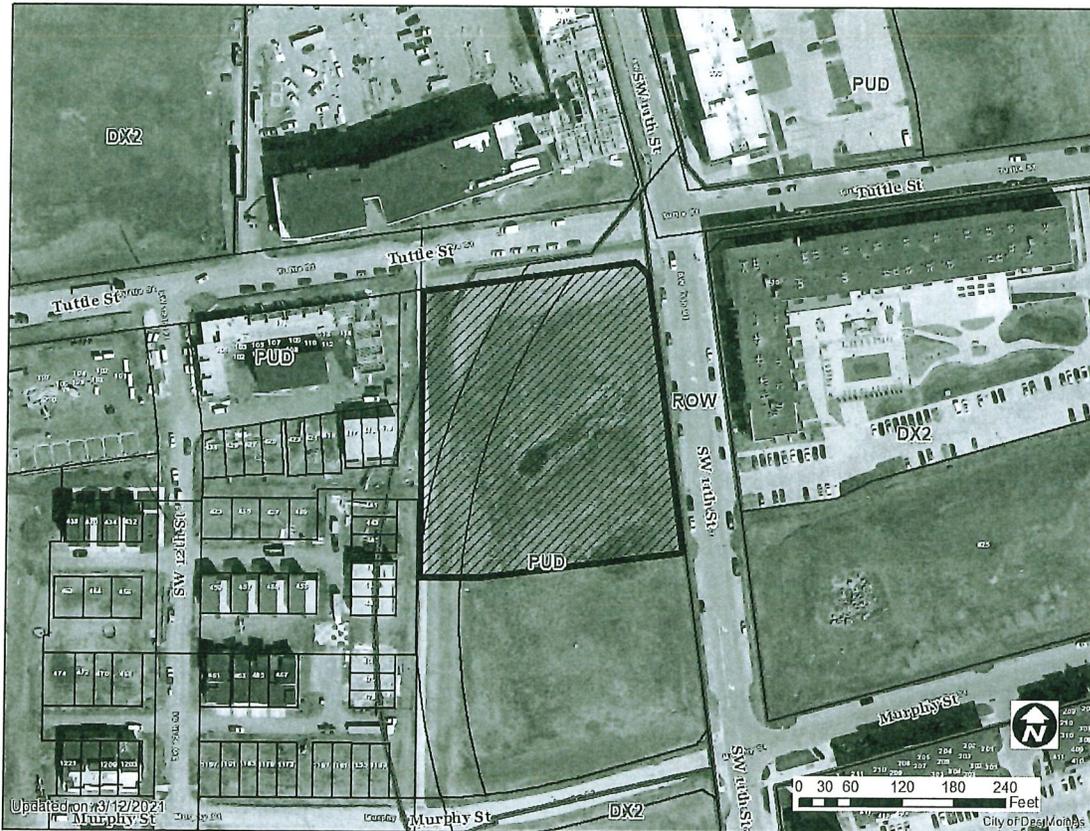
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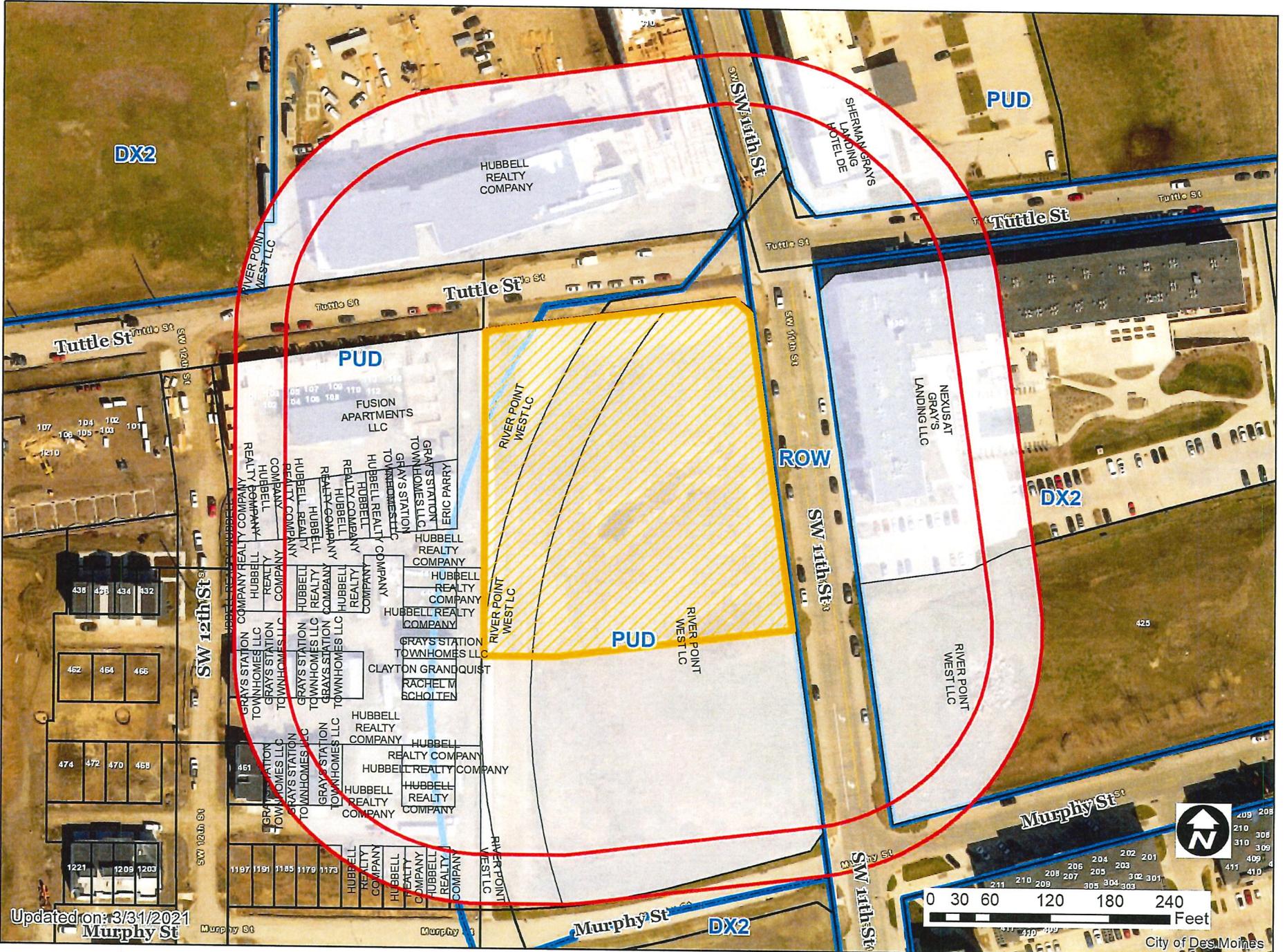
Request from River Point West LLC (owner) represented by Will Anderson (officer) for the property located at 400 SW 11th Street				File #	
				13-2021-1.29	
Description of Action	Review and approval of a Preliminary Plat "Gray's Landing Plat 1" for subdivision of a 4.10-acre lot for the senior housing project.				
PlanDSM Future Land Use	Current: Downtown Mixed Use. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No planned improvements.				
Current Zoning District	Slate at Gray's Landing Legacy "PUD" Planned Unit Development.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	0	0			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

River Point West LLC, 400 Southwest 11th Street

10-2021-7.60 & 13-2021-1.29



1 inch = 128 feet



Updated on: 3/31/2021  
Murphy St

1 inch = 128 feet

BSA



LEGEND

Table with 3 columns: Features, Existing, Proposed. Lists various utility and site features like Spot Elevation, Contour Elevation, Fence, Tree Line, etc.

BENCHMARKS

- DES MONES VERTICAL DATUM
ARTN DERIVED - US SURVEY FEET
BM5578 ELEV=28.89
BM2 ELEV=21.58
BM3 ELEV=26.32

CONTROL POINTS

- POLK COUNTY COORDINATE SYSTEM
NAD83/2011R/EPCH 2010.D00/ARTN DERIVED - US SURVEY FEET
CP1 N=80430.39 E=85294.70
CP2 N=59821.54 E=85420.18
CP3 N=59444.98 E=85425.61

CITY OF DES MOINES BENCHMARK DATUM

- 772 ELEVATION 28.84
SW CORNER OF W MARTIN LUTHER KING JR PARKWAY AND SW 11TH STREET, BRASS CAP IN NE CORNER OF TRAFFIC SIGNAL BASE.

GENERAL NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION.
B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORT PREPARED BY OTHERS.
C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)...

FLOOD ZONE:

FLOOD ZONE DESIGNATION - THE PROPERTY SHOWN IS DESIGNATED ZONE "X" (AREA PROTECTED FROM 100-YEAR FLOOD BY LEVEE, DIKE, OR OTHER STRUCTURES SUBJECT TO POSSIBLE FAILURE OR OVERTOPPING DURING LARGER FLOODS) AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 900227 0006 D, DATED SEPTEMBER 18, 1987.

ZONING (EXISTING AND PROPOSED)

GRAYS LANDING PUD CONCEPT PLAN 2020/18-02020

PROPERTY DESCRIPTION

LOT 1 GRAYS LANDING PLAT 1
PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.
PROPERTY AREA: 4.10 AC (FNAL PLAT)
178,719 SF

ADDRESS

400 SW 11TH STREET

PROPOSED USE

APARTMENTS
132 DWELLING UNITS

PARKING:

ZONING REQUIRES NO OFF STREET PARKING FOR ANY USE.

UNDERGROUND PARKING: 125 STALLS
EXTERIOR PARKING: 53 STALLS

ACCESSIBLE PARKING: UNDERGROUND PARKING: 4 STALLS
EXTERIOR PARKING: 50 STALLS
TOTAL: 94 STALLS

BIKE RACKS:

12 EXTERIOR BIKE PARKING LOCATIONS SHOWN.
58 INTERIOR BIKE STORAGE SPACES SHOWN.

DEVELOPMENT SCHEDULE

Table with 2 columns: ACTIVITY, SCHEDULE. Lists activities like EARTHWORK/FOUNDATIONS, UNDERGROUND UTILITIES, BUILDING SHELL, etc.

IMPERVIOUS SITE AREA

BUILDING: 46,521 SF
PARKING/DRIVEWAY: 31,927 SF
TOTAL SITE IMPERVIOUS AREA: 78,448 SF

SETBACKS/BULK REGULATIONS

FRONT YARD: 15' MAX.
REAR YARD: 0'
SIDE YARD: 0'
MAX BUILDING HT: 75'
MIN BUILDING HT: 35'

TRASH SERVICE

TRASH AND RECYCLING SERVICE WILL BE CONDUCTED IN THE UNDERGROUND PARKING GARAGE AREA. NO DUMPSTERS WILL BE PROVIDED OUTSIDE OF THE BUILDING, ELIMINATING THE NEED FOR A DUMPSTER ENCLOSURE.

CERTIFICATE OF OCCUPANCY

A CERTIFICATE OF OCCUPANCY ALLOWING THE BUILDING TO BE OCCUPIED BY RESIDENTS CANNOT BE ISSUED UNTIL THE ADDING SEGMENT OF TUTTLE STREET FROM BACK OF CURB TO PROPERTY LINE HAS BEEN COMPLETED.

BUILDING:

FOOTPRINT: 46,521 S.F.
BUILDING HEIGHT: 50' 0"

TAX ABATEMENT NOTES:

- ANY CROWN-MOUNTED OR WALL-MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
- ANY WALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
- ALL UTILITIES SHALL BE UNDERGROUND UNLESS OTHERWISE ALLOWED PER SITE PLAN.

FOUR SUSTAINABILITY CREDITS BEING MET BY THE PROJECT:

- 1. BIKE RACKS FOR PUBLIC USE (102).
2. PRIMARY ENTRY WITHIN 1/4 OF MILE OF A DART TRANSIT STOP (2.22 MILES).
3. REDEVELOPMENT OF A PREVIOUSLY DEVELOPED SITE.
4. PROVISION OF AN ELECTRIC CHARGING VEHICLE STATION ON-SITE.

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI/ ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (B) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOTECHNICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEY MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

UTILITY CONTACT INFORMATION

Table with 3 columns: Utility Type, Contact Information, City of Des Moines Traffic. Lists contacts for CI-COMMUNICATIONS, E-ELECTRIC, FC-FIBER OPTIC, SANITARY SEWER, WI-WATER, etc.

PLANNING AND ZONING MEETING DATES:

XXXX XX, XXXX

URBAN DESIGN REVIEW BOARD MEETING DATES:

FEBRUARY 23, 2021

Table with 4 columns: REVISION, DATE, BY, DATE. Lists revision history.

Table with 2 columns: ENGINEER, CHECKED BY. Lists EDC and TLW.

Table with 2 columns: PROJECT NO., SHEET NO. Lists 1180793 and 2 of 12.

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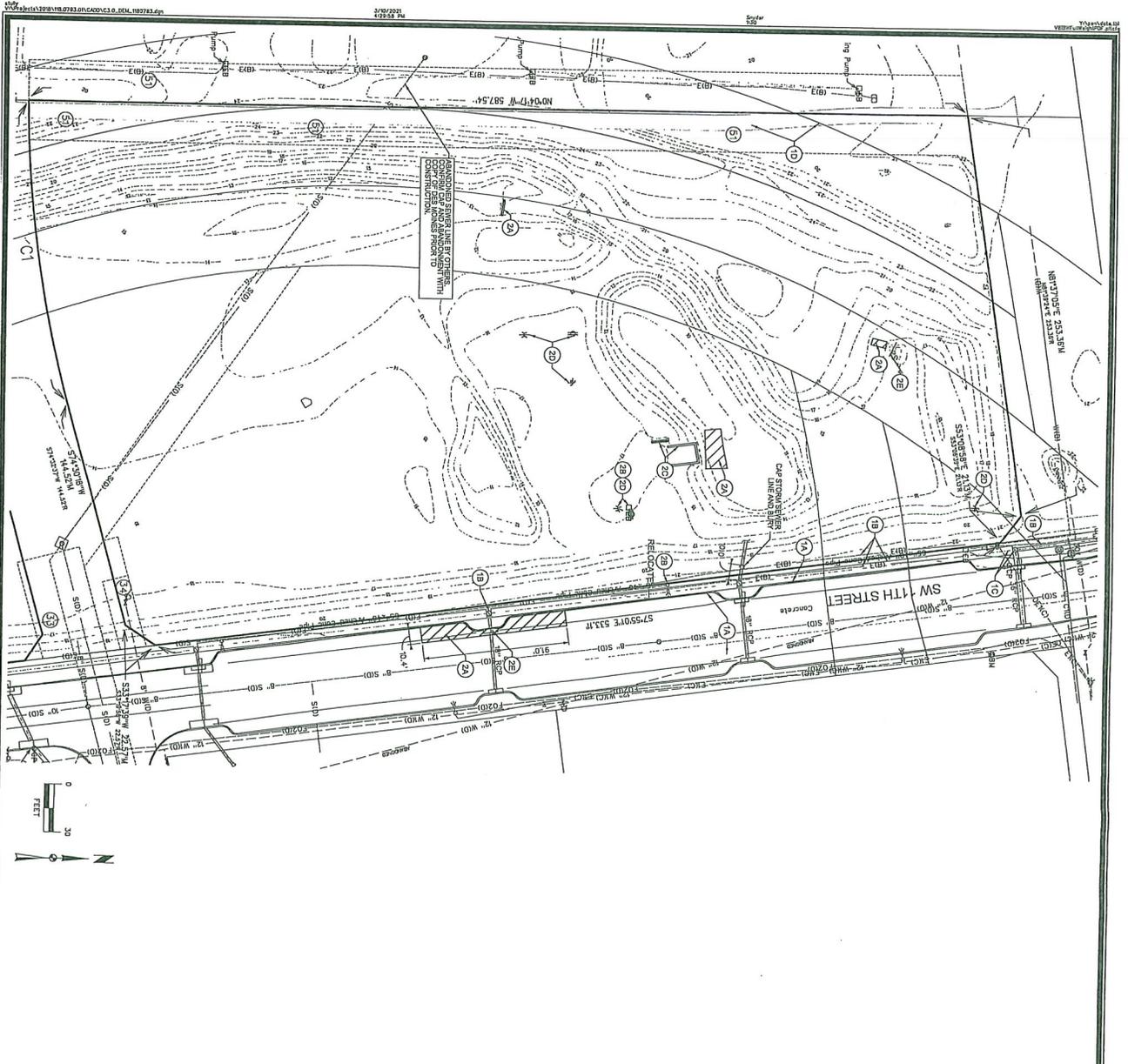
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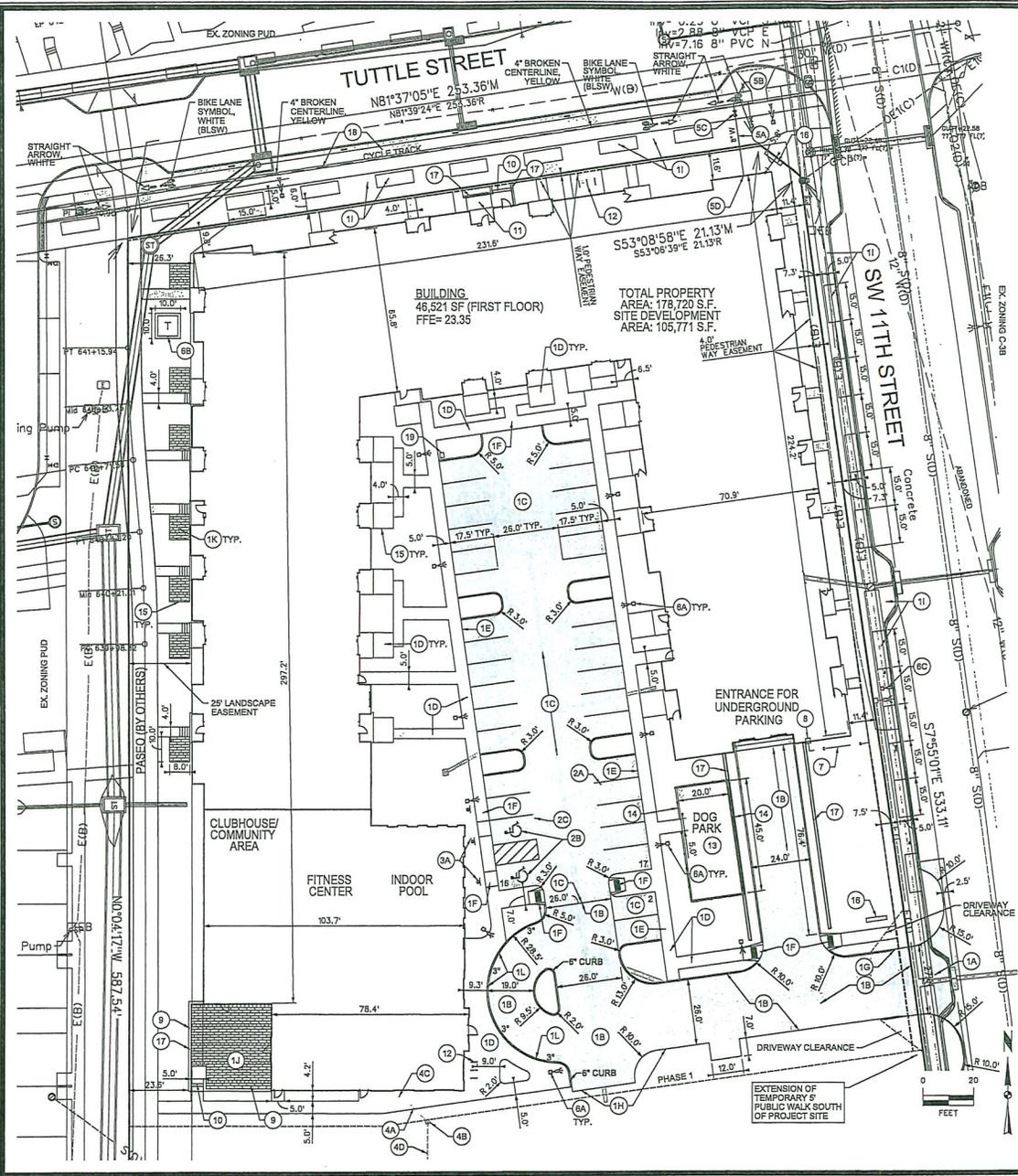
Project No: 1180793
Sheet 2 of 12



- DEMOLITION PLAN CONSTRUCTION NOTES**
1. PROJECT AT SITE FEATURES NOT SHOWN FOR DEMOLITION OR RECONSTRUCTION, ANY DAMAGES TO THIS NOT BE THE RESPONSIBILITY OF THE CONTRACTOR'S EXPENSE. PROTECT THE FOLLOWING FOR THE DEMOLITION OF CONSTRUCTION:
    - a. EXISTING UTILITIES AND/OR ADJACENT PROPERTY. ANY NECESSARY REPAIRS OR RECONSTRUCTION ADJUSTMENT OF A UTILITY MAINTENANCE OR REPAIR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
    - b. EXISTING SIDEWALKS, DRIVEWAYS, DRIVEWAYS AND STORM PIPES.
    - c. EXISTING SIDEWALKS AND STORM PIPES.
  2. REMOVE AND DISPOSE OF THE FOLLOWING EXISTING ITEMS:
    - a. EXISTING SIDEWALKS AND STORM PIPES TO DEMOLITION.
    - b. EXISTING SIDEWALKS AND STORM PIPES TO DEMOLITION.
    - c. EXISTING SIDEWALKS AND STORM PIPES TO DEMOLITION.
    - d. EXISTING SIDEWALKS AND STORM PIPES TO DEMOLITION.
  3. VERIFY EXISTING SITE CONDITIONS BEFORE BEING CONTRACTOR RESPONSE FOR REMOVAL AND DISPOSAL OF ALL ITEMS AS SHOWN WITHIN THE BUILDING AREA. REPORT ANY BELOW-GRADE UTILITIES, REMAINING OR UTILITIES TO THE OWNER AS DEMOLITION.

 <b>SNYDER &amp; ASSOCIATES</b> Project No: 1180793	<b>SLATE AT GRAY'S LANDING</b> <b>SITE BOUNDARY INFORMATION AND DEMOLITION PLAN</b> <b>DES MOINES, IOWA</b>	2727 S.W. SNYDER BLVD. ANKENY, IOWA 50023 515-964-2020   www.snyder-associates.com	Scale: 1"=30' Date: 12/17/20 Project No: 1180793
	<b>SNYDER &amp; ASSOCIATES, INC.</b>	Sheet 3 of 12	187

DES MOINES, IOWA  
 2777 S.W. SNYDER BLVD.  
 ANKENY, IOWA 50023  
 515-984-2282 | www.snyder-associates.com



**DIMENSION PLAN CONSTRUCTION NOTES**

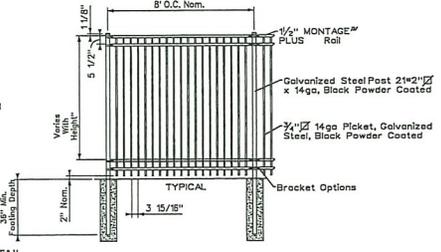
- PAVEMENTS, PROVIDE THE FOLLOWING:
  - A. 3" DEPTH PCC DRIVEWAY ENTRANCE AS PER CITY OF DES MOINES STANDARDS.
  - B. 7" DEPTH PCC WITH 6" CURB ON 4" DEPTH GRANULAR BASE.
  - C. 8" DEPTH PCC WITH 6" CURB ON 4" DEPTH GRANULAR BASE.
  - D. 8" DEPTH PCC SIDEWALK.
  - E. INTEGRAL WALK AND CURB.
  - F. PEDESTRIAN RAMP, 5% MAXIMUM SLOPE.
  - G. TAPER CURB IN 8'.
  - H. NO CURB.
  - I. CLASS "A" SIDEWALK, 5" DEPTH PCC WITH TREE PITS, ALONG SW 11' STREET AND TUTTLE STREET AS PER CITY OF DES MOINES STANDARDS.
  - J. 5" DEPTH COLORED STAMPED PCC COMMUNITY TERRACE.
  - K. 5" DEPTH COLORED STAMPED PCC PATIO.
  - L. 3" ROLL CURB.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
  - A. 4" WIDE PAINTED PARKING STALL LINES, YELLOW.
  - B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL, YELLOW.
  - C. ACCESSIBLE STRIP, 4.5 DEGREE STRIPING AT 3' ON CENTER SPACING, YELLOW.
  - D. 3" ROLL CURB.
- SIGNS, PROVIDE THE FOLLOWING:
  - A. VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS, MOUNTED TO A STEEL T POST WITH CONCRETE FOOTING.
  - B. ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS, MOUNTED TO A STEEL T POST WITH CONCRETE FOOTING.
- SANITARY SERVICE, PROVIDE THE FOLLOWING:
  - A. SANITARY SERVICE LINE, 8" SCH 40 PVC WITH INTEGRAL BELL AND SPIGOT JOINTS WITH ELASTOMERIC SEALS.
  - B. SANITARY SERVICE LINE, 8" SCH 40 PVC WITH INTEGRAL BELL AND SPIGOT JOINTS WITH ELASTOMERIC SEALS.
  - C. CONNECT TO BUILDING SANITARY SEWER SYSTEM, COORDINATE WITH PLUMBING PLANS.
  - D. CONNECT TO SANITARY SEWER SERVICE, CONTRACTOR TO CONFIRM EXACT DEPTH AND LOCATION OF SERVICE PRIOR TO CONSTRUCTION.
- WATER SERVICE, PROVIDE THE FOLLOWING:
  - A. 8" DUCTILE IRON PIPE WITH NITILE GASKETS WATER SERVICE LINE TO BUILDING.
  - B. PARKING LOT AND DRIVE ISLE OVERHEAD LIGHTING SHALL CONSIST OF POLE MOUNTED LIGHTING NOT TO EXCEED 20' HEIGHT.
  - C. LIGHT LOCATIONS SHOWN FOR COORDINATION PURPOSES, PLEASE REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
  - D. TRANSFORMER PAD, COORDINATE SIZE AND REQUIREMENTS WITH UTILITY PROVIDER, CONTRACTOR TO PROVIDE CONCRETE PAD, SLEEVES, CONDUITS AND GRAVEL MOUNT AS PER UTILITY PROVIDER'S REQUIREMENTS.
  - E. EXISTING STREET LIGHTS ON SW 11TH STREET SHALL BE REPLACED WITH BLACK LED AUTOBARN POLES AND FIXTURES.
- COORDINATE GAS SERVICE ROUTING AND CONNECTION WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
- GAS SERVICE BUILDING CONNECTION COORDINATE WITH MECHANICAL PLANS FOR METER LOCATION AND SERVICE REQUIREMENTS.
- CONCRETE RETAINING WALL WITH DECORATIVE FENCE.
- CONCRETE STEPS WITH HANDRAIL.
- PEDESTRIAN RAMP WITH HANDRAILS AS PER ADAAG REQUIREMENTS.
- BIKE RACK AREA, PROVIDE 8 BIKE RACKS IN AREAS SHOWN (CAPACITY FOR 12 BIKES) SURFACE-MOUNTED TO PAVEMENT.
- DOG PARK AREA SURFACING AS PER OWNER (SYNTHETIC TURF).
- 4" HT. DECORATIVE METAL FENCING FOR DOG PARK WITH 5' WIDE PEDESTRIAN GATES, 6" HT. FENCE ON TOP OF ADJACENT RETAINING WALL.
- 4" HT. DECORATIVE METAL FENCING WITH 3' WIDE PEDESTRIAN GATE.
- SLATE MONUMENT SIGN.
- RETAINING WALL SEE ARCHITECTURAL PLANS.
- THE PAVEMENT MARKINGS FOR THE CYCLE TRACK MUST BE COORDINATED WITH THE CITY TRAFFIC DEPARTMENT (515-283-4973) AND MUST MEET THE CITY OF DES MOINES SIGNING AND MARKING DESIGN STANDARDS AND POLICIES.
- CAR CHARGING STATION.

**DIMENSION LEGEND**



**NOTES:**

- INSTALL MONTAGE PLUS PLASTIC SERIES FENCE AS MANUFACTURED BY AMERICAN FENCE CO. 7410 W. HUNTER AVE. S.W. OKLAHOMA CITY, OK 73162. WWW.AMERICANFENCE.COM
- POST SIZE DEPENDS ON WIND LOAD, SEE WIND LOAD TABLE FOR POST SIZING FOR POST FOUNDATIONS FOR 3' FOURTH RAIL OPTIONAL.

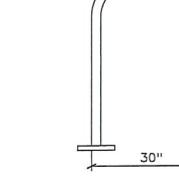


**1 FENCE DETAIL**

NO SCALE

**2 BIKE RACK DETAIL**

NO SCALE



**FINISH OPTIONS**

304 STAINLESS STEEL MATERIAL FINISHED IN A SATIN FINISH

**NOTES:**

- INSTALL DOWNTOWN SERIES BIKE RACK AS MANUFACTURED BY BERG BIKE RACK CO., 504 MALCOM AVENUE SE, SUITE 100, MINNEAPOLIS, MN 55404, (612)377-6729, FAX: (612)331-2733, WEBSITE WWW.BERG.CO
- 2" RS 40 CALV. PIPE (2 3/8" O.D.)
- 2.4 ANCHOR BOLTS PROVIDED FOR SURFACE MOUNT.
- FLANGE MOUNT 2 - 2.5" X 6" X 1/4" FOOT (4 ANCHORS)

**SLATE AT GRAY'S LANDING**  
**SITE LAYOUT PLAN**  
**SNYDER & ASSOCIATES, INC.**

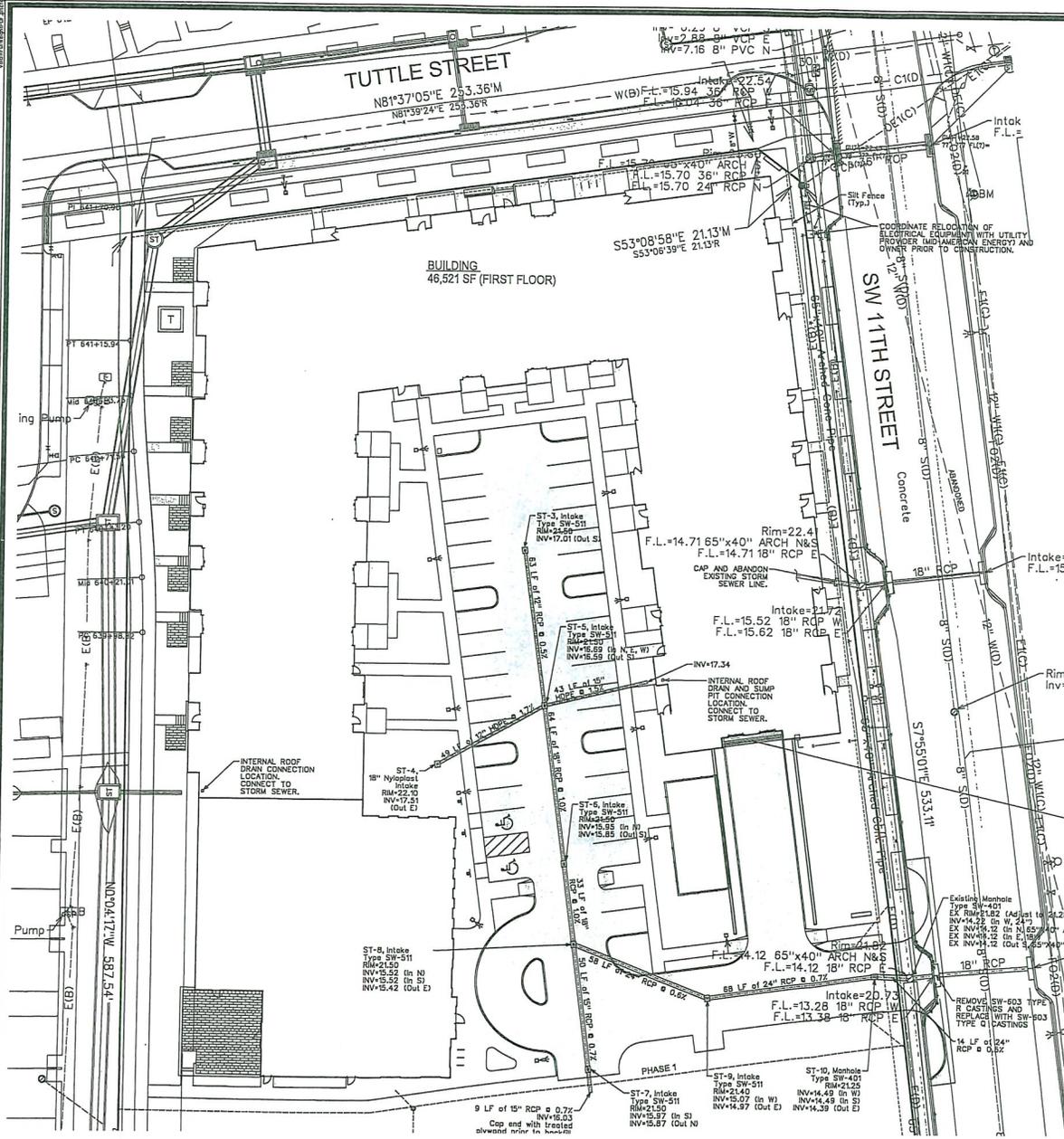
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 ANKENY, IOWA 50023  
 515-984-2282 | www.snyder-associates.com

Project No: 1180793  
 Sheet 4 of 12

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180793

180793



**CITY CODE SECTION 106-138(H) STORM WATER FACILITIES MAINTENANCE REQUIREMENTS**

A. THE STORMWATER MANAGEMENT FACILITIES, INCLUDING PIPES, INLETS AND OUTLETS SHALL BE ANNUALLY INSPECTED AND MAINTAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN.

B. LITTER, SILT, SEDIMENT AND DEBRIS SHALL BE PROMPTLY REMOVED FROM SUCH FACILITIES.

C. THE PLANTINGS AND VEGETATION WITHIN THE STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN. IF ANY VEGETATION DIES, IT SHALL BE REPLACED WITH VEGETATION IN CONFORMANCE WITH THE PLAN AS SOON AS THE WEATHER PERMITS.

D. NO GRASS CLIPPINGS, LEAVES OR OTHER YARD WASTES, SOIL, ROCKS, CONCRETE, OR SIMILAR MATERIALS SHALL BE PLACED WITHIN A SWALE, OR RETENTION OR DETENTION POND WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.

E. NO PORTION OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE ALTERED OR REMOVED WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.

F. RECORDS OF INSPECTION, MAINTENANCE AND REPAIR MUST BE MAINTAINED AND KEPT FOR AT LEAST FIVE YEARS AND MADE AVAILABLE UPON REQUEST TO THE CITY ENGINEER.

G. WRAP RCP STORM PIPE JOINTS WITH ENGINEERING FABRIC AND BACKFILL TRENCHES WITH DRAINABLE GRANULAR BACKFILL TO DRAIN GRANULAR PAVEMENT BASE.

**GENERAL NOTES**

1. 100 YEAR DETENTION IS PROVIDED OFF-SITE.
2. WATER QUALITY VOLUME TREATED OFF-SITE.
3. ROOF DRAINS TO CONNECT TO CLEANOUT AND/OR PVC LINE. VERIFY LOCATION AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.

**STORM WATER EROSION CONTROL DEVICES**

1. SILT FENCE 175 LF
2. PERMANENT SEEDING 0.5 AC
3. SLEET PROTECTION 8 EA

DATE	DESCRIPTION
12/17/20	REVISED AS PER CITY COMMENTS
12/17/20	EDC CHECKED BY: TLW
12/17/20	DESIGNED BY: JLR
12/17/20	DRAWN BY: JLR
12/17/20	CHECKED BY: JLR
12/17/20	PROJECT NO: 180793
12/17/20	SHEET NO: 5 of 12

DES MOINES, IOWA

2787 E. SNYDER BLVD.  
 ANKENY, IOWA 50021  
 515-964-2020 | www.snyder-associates.com

**SLATE AT GRAY'S LANDING**  
 UTILITY PLAN - NORTH  
**SNYDER & ASSOCIATES, INC.**



**SNYDER & ASSOCIATES**

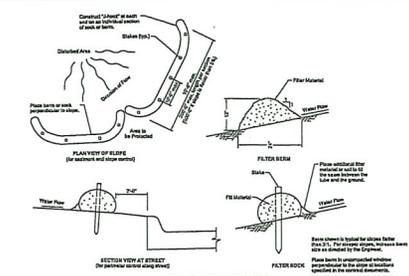
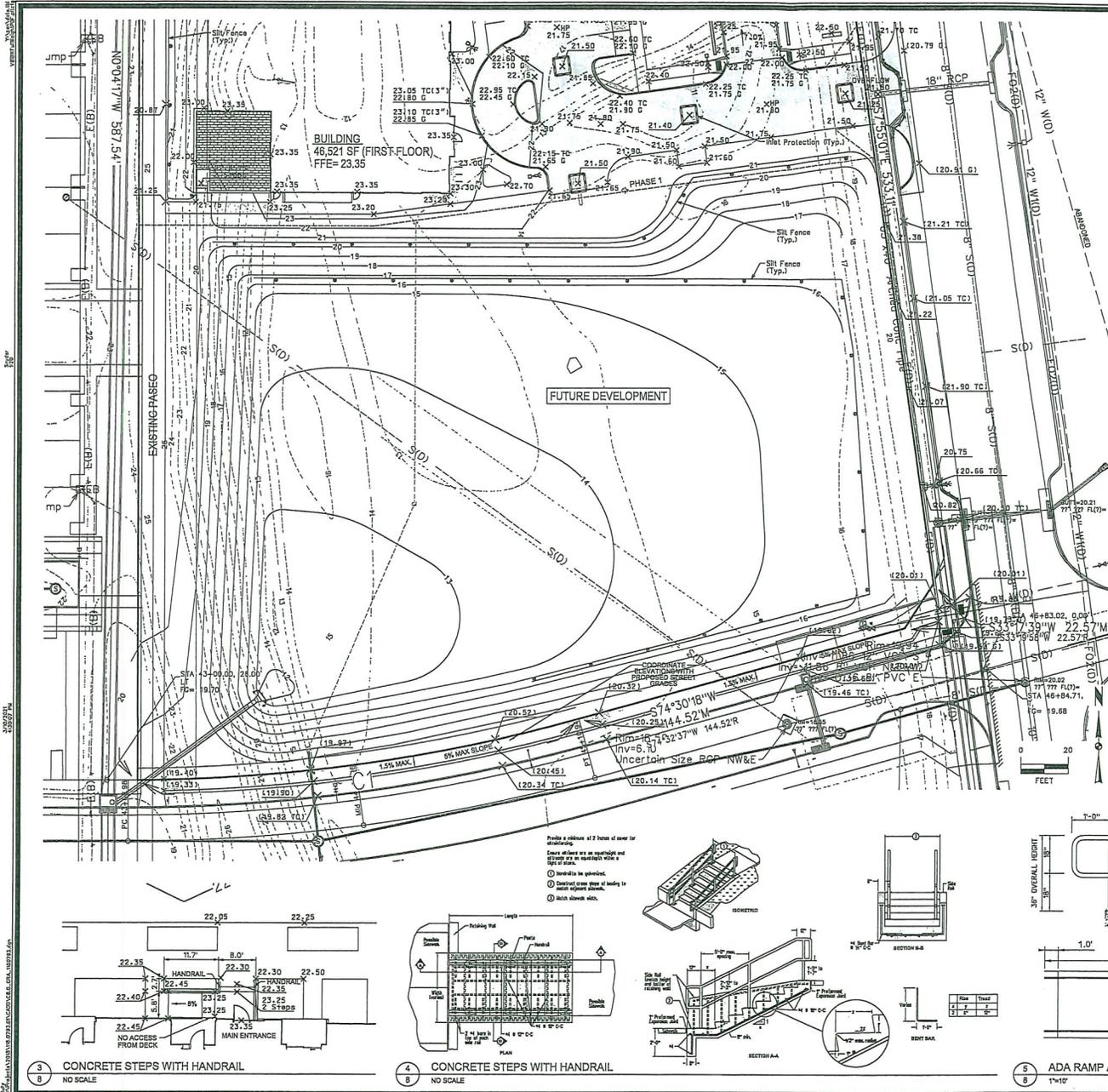
Project No: 180793



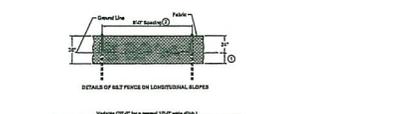




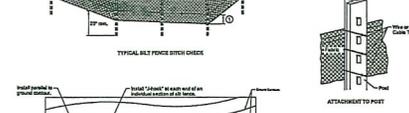




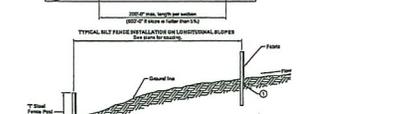
1 FILTER BERM AND FILTER SOCK  
NO SCALE



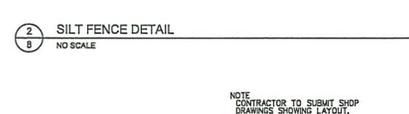
2 SILT FENCE DETAIL  
NO SCALE



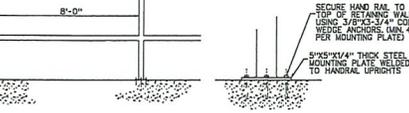
3 CONCRETE STEPS WITH HANDRAIL  
NO SCALE



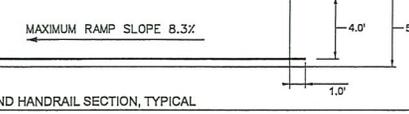
4 CONCRETE STEPS WITH HANDRAIL  
NO SCALE



5 ADA RAMP AND HANDRAIL SECTION, TYPICAL  
1"=10'



6 ADA RAMP AND HANDRAIL SECTION, TYPICAL  
1"=10'



7 ADA RAMP AND HANDRAIL SECTION, TYPICAL  
1"=10'



8 ADA RAMP AND HANDRAIL SECTION, TYPICAL  
1"=10'



9 ADA RAMP AND HANDRAIL SECTION, TYPICAL  
1"=10'

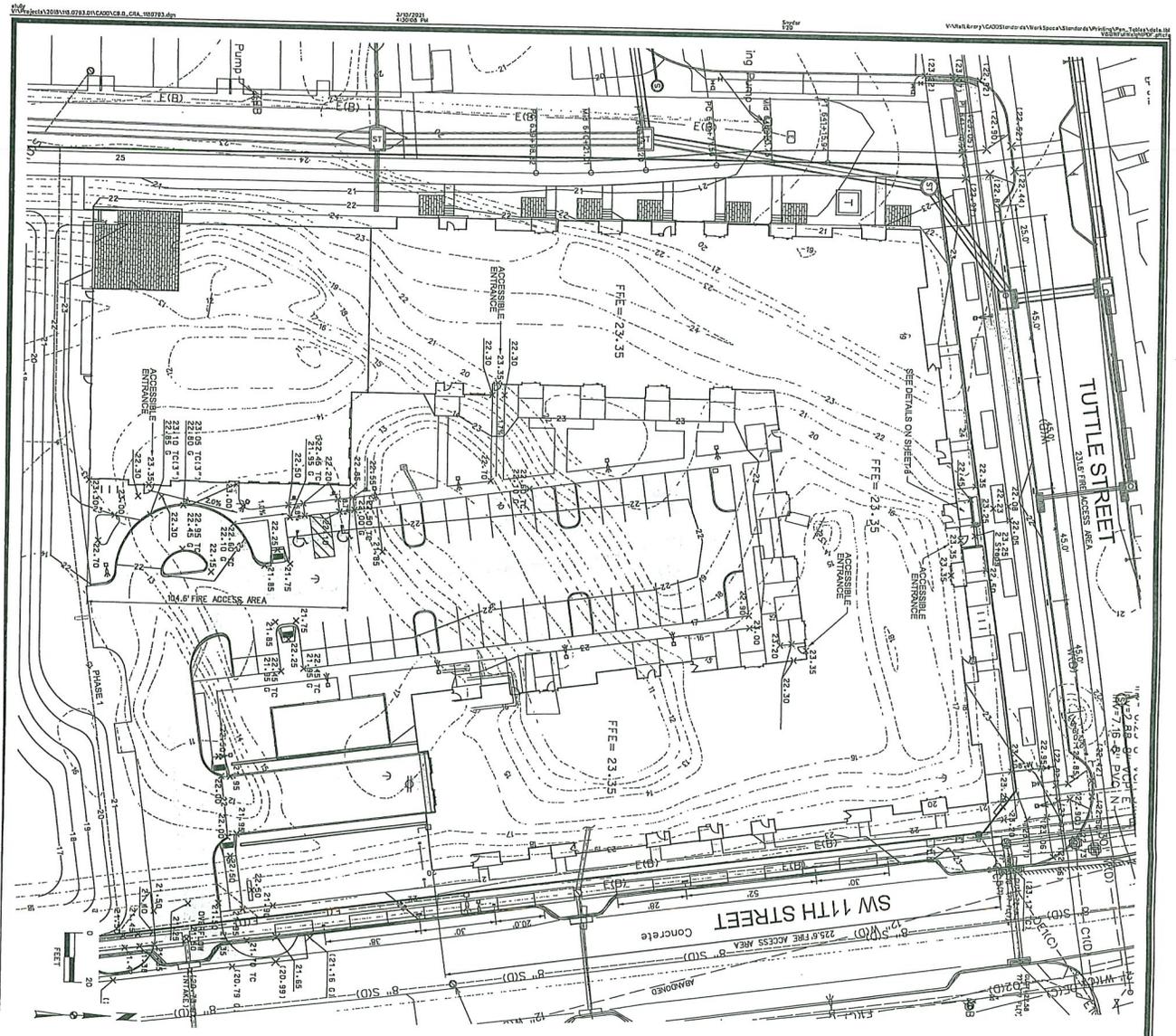
PROJECT NO.	1180793
DATE	12/17/20
SCALE	1"=20'
PROJECT NAME	DES MOINES, IOWA
ENGINEER	EDC ENGINEERS
DATE	12/17/20
PROJECT NO.	1180793
SHEET NO.	8 OF 12

**SNYDER & ASSOCIATES, INC.**  
2727 S.W. SNYDER BLVD.  
DES MOINES, IOWA 50323  
515-984-0200 | www.snyderandassociates.com

**SILTE AT GRAY'S LANDING**  
GRADING, POLLUTION PREVENTION, AND EROSION CONTROL PLAN - SOUTH



Project No: 1180793  
Sheet 8 of 12




  
**SNYDER & ASSOCIATES, INC.**

**SLATE AT GRAY'S LANDING**

**SITE ACCESSIBILITY PLAN**

**SNYDER & ASSOCIATES, INC.**

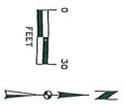
DES MOINES, IOWA

2727 S.W. SNYDER BLVD.  
 ANKENY, IOWA 50023  
 515-984-2020 | www.snyder-and-associates.com

NO.	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	03/10/21	STT
2	REVISED AS PER CITY COMMENTS	03/10/21	STT

Engineer: EDC    Checked By: TLW    Scale: 1" = 20'  
 Technician: STT    Date: 12/17/20    Plot Date: P/P

Project No: 1180793    Sheet 9 of 12



**TREE MITIGATION PLAN CALCULATIONS**

**PHASE 1**

ONE REPLACEMENT TREE PROVIDED FOR EACH 2000 S.F. OF  
 GRASSY AREA REMOVED FOR EXISTING AREA FROM 2007.  
 51,311 SF REMOVED = 25.66  
 4,020 MITIGATION TREES REQUIRED, 26 PROVIDED

**EXISTING DEVELOPMENT PHASE**

ONE REPLACEMENT TREE PROVIDED FOR EACH 2000 S.F. OF  
 GRASSY AREA REMOVED FOR EXISTING AREA FROM 2007.  
 BEFORE THE TREES WERE REMOVED.  
 20,437 SF REMOVED = 10.22  
 2,044 MITIGATION TREES REQUIRED, 11 WILL BE PROVIDED WITH  
 FUTURE DEVELOPMENT

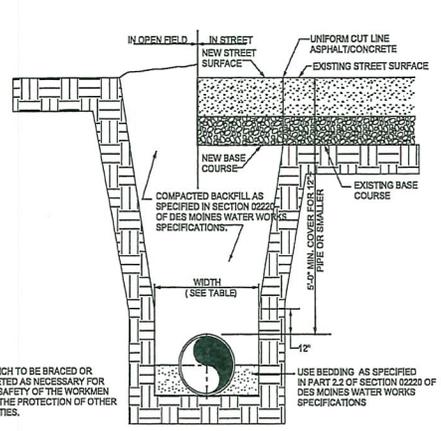
**Snyder & Associates, Inc.**  
 2727 S.W. SNYDER BLVD.  
 ANKENY, IOWA 50023  
 515-984-2020 | www.snyder-associates.com

**SLATE AT GRAY'S LANDING**  
**TREE MITIGATION PLAN**  
 DES MOINES, IOWA

**Snyder & Associates, Inc.**

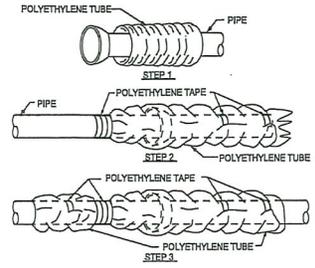
1	REVISED AS PER CITY COMMENTS	03/10/21	STT
MARK	REVISION	DATE	BY
Engineer: EDC	Checked By: TLW	Scale: 1"=30'	
Draftsman: STT	Date: 12/17/20	Field Bk:	Pg:
Project No:	1180793	Sheet 10 of 12	





PIPE DIAMETER	MINIMUM WIDTH	MAXIMUM WIDTH
4"	1'-4"	2'-4"
6"	1'-6"	2'-6"
8"	1'-8"	2'-8"
12"	2'-0"	3'-0"
16"	2'-4"	3'-4"
20"	2'-8"	3'-8"

TYPICAL TRENCH SECTION  
Not to Scale



FIELD INSTALLATION - POLYETHYLENE WRAP

- Step 1 - Place tube of polyethylene material on pipe prior to lowering it into the trench
- Step 2 - Pull the tube over the length of pipe. Tape tube to pipe at joints. Fold material around the adjacent spigot end and wrap with tape to hold the plastic tube in place
- Step 3 - Overlap first tube with adjacent tube and secure with plastic adhesive tape. The polyethylene tube covering the pipe shall be loose. Excess material shall be neatly drawn up around the pipe barrel, folded on top and taped in place.

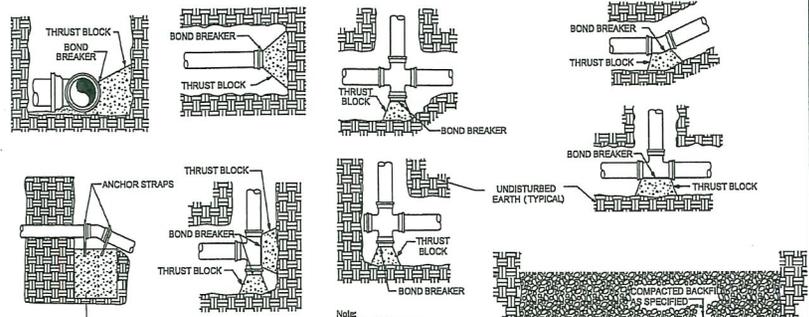
Note: Iron pipe fittings, including valves and hydrants shall be wrapped with two layers of polyethylene material. The wrapping shall extend at least 1' beyond the fitting joints onto the adjoining pipe and shall be fastened to the pipe with plastic tape. Tapes shall be used as needed to hold wrap in place. Either polyethylene sheets or silk tubing may be used.

POLYETHYLENE WRAP DETAIL  
Not to Scale

VOLUME IN CUBIC YARDS

SIZE OF PIPE	11 1/4"	22.5"	45"	90"
4"	0.18	0.43	0.9	1.35
6"	0.18	0.43	0.9	1.35
8"	0.3	0.76	1.57	2.33
12"	0.65	1.83	3.33	4.92
16"	1.18	2.85	5.8	8.55
20"	1.78	4.37	8.91	13.14
24"	2.47	6.17	12.63	18.64
30"	3.82	9.51	19.43	28.65

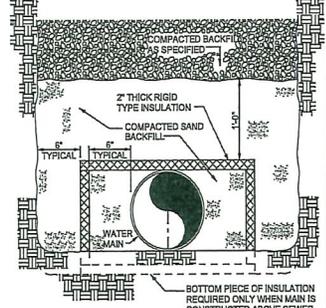
VOLUME OF GRAVITY BLOCK  
Not to Scale



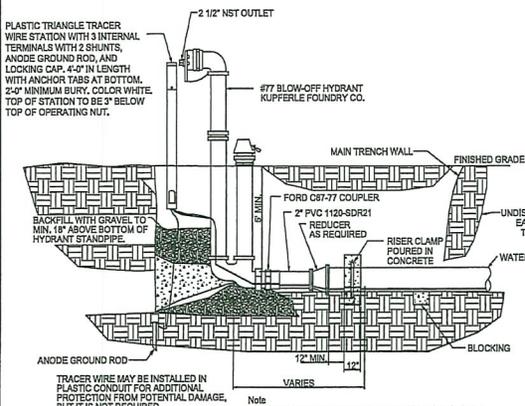
MINIMUM BEARING SURFACE (IN SQ. FT.)

SIZE OF PIPE	11 1/4"	22.5"	45"	90"
6"	1.00	1.25	2.25	4.50
8"	1.00	2.00	4.00	7.90
12"	2.00	4.25	8.25	18.00
16"	8.00	15.25	28.00	48.00
20"	8.50	16.50	32.00	57.00
24"	9.00	18.00	35.00	65.00

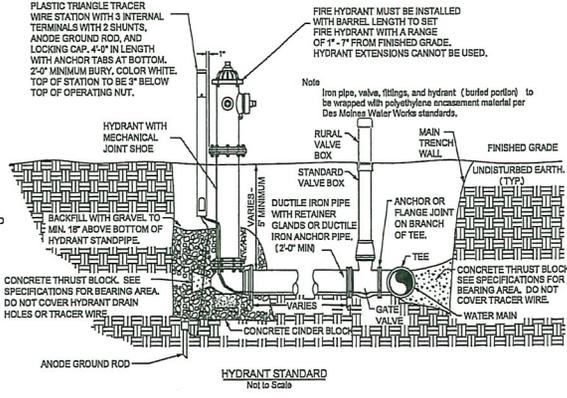
STANDARD CONCRETE THRUST BLOCKS  
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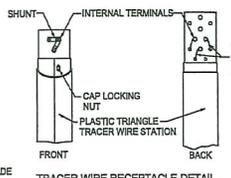
PIPE INSULATION DETAIL  
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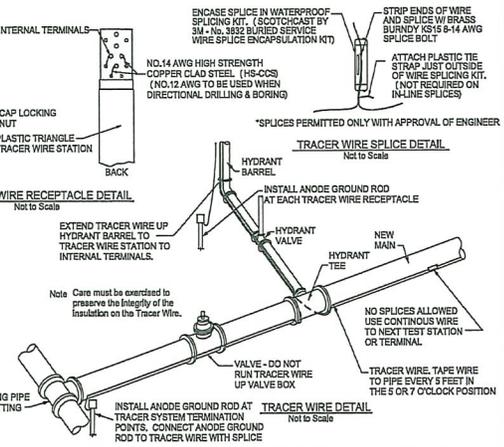
STANDARD BLOWOFF DETAIL  
Not to Scale



HYDRANT STANDARD  
Not to Scale



TRACER WIRE RECEPTACLE DETAIL  
Not to Scale



TRACER WIRE SPLICE DETAIL  
Not to Scale

TRACER WIRE DETAIL  
Not to Scale

DATE	APPROVED BY	CHECKED BY	DESIGNED BY	DRAWING NO.	DATE	REVISIONS

**Des Moines Water Works**  
Water You Can Trust for Life  
ENGINEERING DEPARTMENT  
Des Moines, Iowa

STANDARD DETAILS

FILE NUMBER
SHEET 1 OF 1

NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	12/17/20	TLW

DES MOINES, IOWA  
2727 S.W. SNYDER BLVD.  
50319-0200 | www.dmwpa-arcadine.com

SLATE AT GRAY'S LANDING  
DES MOINES WATER WORKS DETAILS  
SNYDER & ASSOCIATES, INC.

**SNYDER & ASSOCIATES**  
Project No: 1180793  
Sheet 12 of 12





1721 AMERICAN BLDG. E.  
SUITE 100  
MINNEAPOLIS, MN 55415  
TEL: (612) 879-4000  
WWW.KVVARCHITECTS.COM

OWNER  
Sherman Associates  
233 PARK AVENUE SOUTH  
SUITE 200  
MINNEAPOLIS, MN 55415  
TEL: (612) 879-4000  
WWW.SHERMANASSOCIATES.COM

PROJECT  
Slate at Gray's Landing

445 SW 16th Street  
Des Moines, Iowa

CONSULTANTS  
CIVIL ENGINEER  
DIVERSITY ASSOCIATES, INC.  
2727 SW ENDER BOULEVARD  
P. 888-564-3222

GENERAL CONTRACTOR  
BALL TEAM LLC  
16550 New York Ave #100,  
Urbandale, IA 50322  
P: 515-440-4544

Project Number: 18002  
Date: 3/6/2021  
Drawn By: PAC  
Checked By:

NOT FOR CONSTRUCTION

Rev. No.

Exterior Elevations  
As indicated  
**A500**

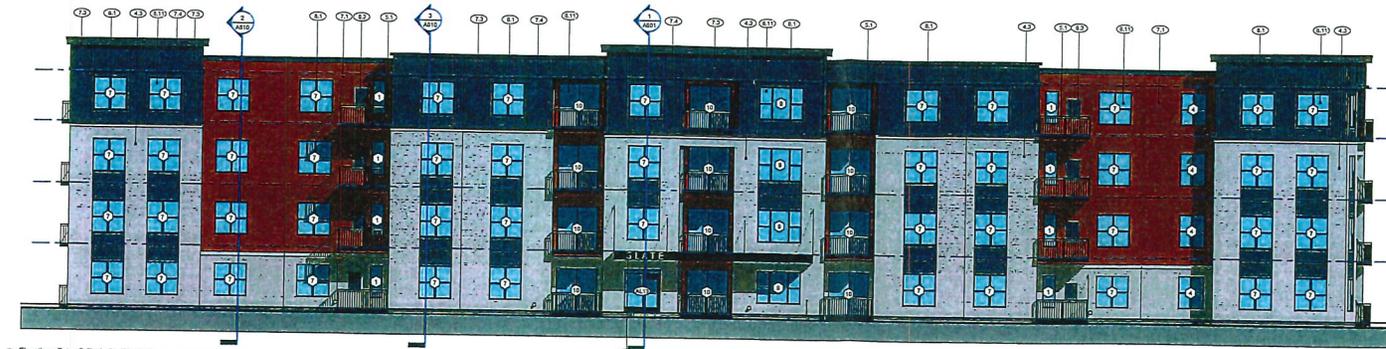
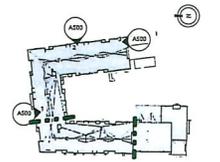
- EXTERIOR ELEVATION GENERAL NOTES:**
- SEE SHEET 1800 FOR OVERSIGHT WALL, JAMB AND SILL DETAIL.
  - SEE SHEET 1801 FOR UP HIGH WALL DETAIL.
  - SEE SHEET 1802 FOR EXTERIOR WALL TYPES.
  - SEE SHEET 1803 FOR RAMP DETAIL INCLUDING RAMPING REQUIREMENTS.
  - SEE SHEET 1804 FOR RAMP DETAIL INCLUDING RAMPING REQUIREMENTS.
  - SEE SHEET 1805 FOR CANOPY DETAIL.
  - PROVIDE CURB CUT JOINT ON ONE WALL TOP 20' FROM PERIMETER OF EXTERIOR WALL TYPE.
  - PROVIDE BACKER ROD LEAN-IN WITH EDGE OF PRECAST PANEL CONSTRUCTION. PROVIDE 1/2" TIE BARS WITH 6" OVER LAP.
  - PROVIDE METALLIC WATER REPELLANT AT EXTERIOR PRECAST PANEL JOINTS.
  - ALL EXTERIOR CORNERS AT LAP JOINTS SHALL RECEIVE VERTICAL CORNER BOARD, BOTH SIDES OF CORNER. SEE A500.
  - ALL HORIZONTAL TRIM BANDS AND/OR REVEALS THAT OCCUR ON THE FACE OF ANY SILL OR RETURN BACK TO THE MAIN BODY OF THE FINISHING.
  - FOR VERTICAL JOINTS OF 600 MM OR SMALLER, MATCHED JOINTS SHALL BE USED.
  - LEVELS OF ALL EXTERIOR WALLS SHALL BE FINISHED AND FILLER TO COLOR MATCHED TO COLOR.
  - ALL BALCONY TO BE ALUMINUM FINISH AT EXTERIOR. FINISH TO BE 1/2" W/ POLISHED, BULGE SPACER CANNOT PASS THROUGH ANY GRATING.
  - SEE DETAIL A500 FOR REPAIR TO RAMPING ELEVATION GENERAL.
  - PROVIDE APPROX. DIMENSIONAL BUILDING ELEVATION AS SHOWN ON ELEVATION.
  - IF ANY EXTERIOR WALL BONDERS THAT HAVE A WALKING SURFACE BELOW THIS SHALL HAVE NO PORTION OF THE BONDING LOCATED UNDER TRAFFIC. THE BONDING SHALL BE LOCATED UNDER TRAFFIC SURFACE PROJECTED OR LESS FROM THE WALL SURFACE.
  - ALL MEDIANAL COVERS SHALL BE FINISHED TO MATCH THE ADJACENT WALL COLOR. COVERS TO BE SELECTED BY ARCHITECT.
  - INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
  - ALL DOWNSPUTS TO CONNECT TO THE STORMWATER SYSTEM.
  - PROVIDE 1/4" CANTHUS BELOW ALL EXTERIOR PRECAST PANELS WITH 1/4" W/ POLISHED, BULGE SPACER CANNOT PASS THROUGH ANY GRATING. CHECKED FOR GRADING INFORMATION.
  - TERRAZZO FINISH IN ELEVATIONS FOR REPRESENTATIONAL PURPOSES ONLY. SEE OTHER SHEETS FOR GRADING INFORMATION.

**MATERIAL KEY**

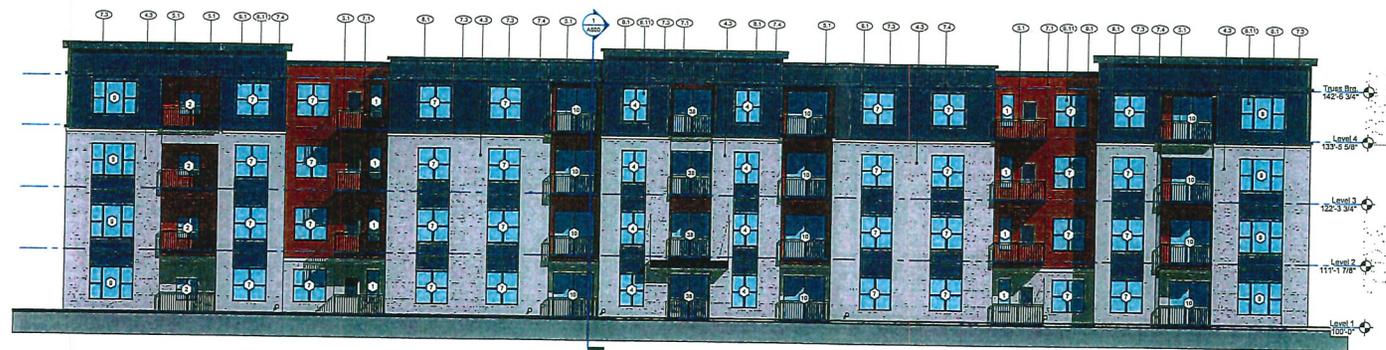
Material Mark	Description
4.1	ROCK FACE CHALK - COLOR: GRAY
4.2	MANUFACTURED STONE VENEER - COLOR: SEA-SALT
5.1	ALUMINUM BALCONY - COLOR: BRUSH
5.3	CONCRETE
7.1	CFB LAF - COLOR: 1
7.2	CFB TRIM - COLOR: 1
7.3	CFB PANEL SERVICE COLOR: 2
7.4	CFB TRIM - COLOR: 2
8.1	WINDOW - COLOR: BLACK
9.1	FRANC LOGGERS - COLOR: RED
2.11	GLAZING

**EXTERIOR MATERIAL LEGEND**

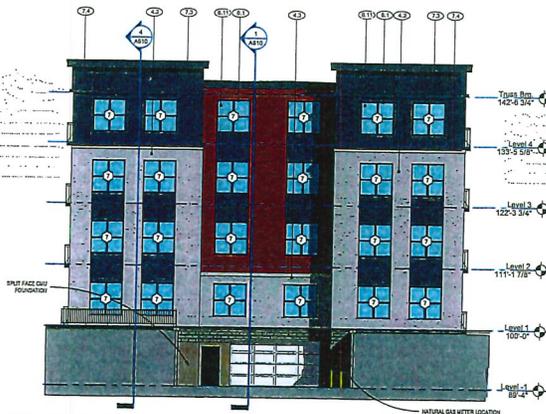
CONCRETE PANEL BOARD (CFB) PANEL - 1/2" W/ POLISHED, BULGE SPACER CANNOT PASS THROUGH ANY GRATING	
MANUFACTURED STONE VENEER	
ROCK FACE CHALK	
CFB LAF - CHALK OR WOODGRAIN FINISH (SEE LAF COLOR MATCH SHEET)	
WINDOW, DECK AND BALCONY COLOR MATCH FINISH	
ROCK FACE CHALK	



1 Elevation - Entry @ Tuttle St. (Phase 1)  
1/8" = 1'-0"



2 Elevation - SW 11th St. (Phase 1)  
1/8" = 1'-0"



3 Elevation - End Cap @ Garage  
1/8" = 1'-0"

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3/16/2021 08:27:27 AM  
C:\Users\kva\OneDrive\Documents\Sherman Associates\Gray's Landing\Bldg\_V01\_Arch\Ext



VIEW FROM CORNER OF 11TH ST. AND TUTTLE ST.



TUTTLE ST. ENTRANCE



PASSEO AT TUTTLE



11TH STREET FACADE AND SITE ENTRANCE



CLUBHOUSE AT PASSEO FROM SOUTH



CLUBHOUSE AT PASSEO FROM NORTH



1301 American Blvd. E.  
Suite 100  
Bloomington, MN 55425  
tel: (612) 879-8000  
fax: (612) 879-8066  
www.kvam.com

OWNER  
Sherman Associates  
233 PARK AVENUE SOUTH  
SUITE 201  
MINNEAPOLIS, MN 55415  
P: 612-332-3333

PROJECT  
Slate at Gray's Landing

400 SW 11th Street  
Des Moines, Iowa

CONSULTANTS  
CIVIL ENGINEER  
SNYDER & ASSOCIATES, INC.  
2727 SW SNYDER BOULEVARD  
ANSLEY, IA 50213  
P: 888-864-2020

GENERAL CONTRACTOR  
BALL TEAM LLC  
10000 New York Ave #100,  
Urbansville, IA 52222  
P: 515-440-4544

Project Number 16542  
Date 11/1/2021  
Drawn By PAC  
Checked By Chasler

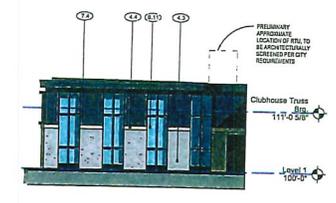
**NOT FOR CONSTRUCTION**

Date  
Revision  
Rev. No.

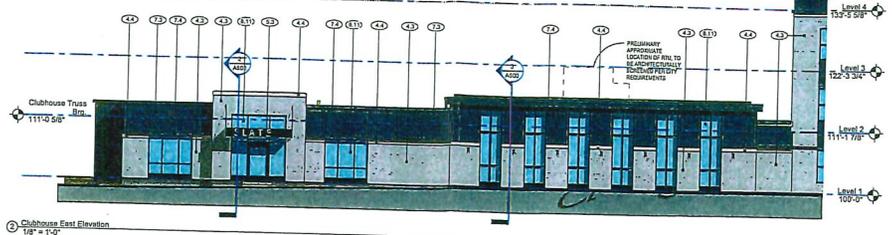
Conceptual Renderings  
1/2" = 1'-0"  
**A900**

C:\Users\peter@kva.com\Desktop\16542 - Sherman - One Block - Gray's Landing - Slate\_Visuals\Rendering\Rendering.rvt

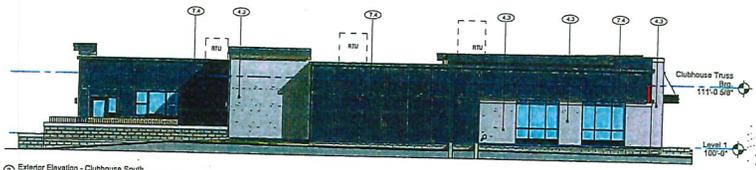
1/27/2021 1:33:29 PM  
Chris Wilson  
Architect



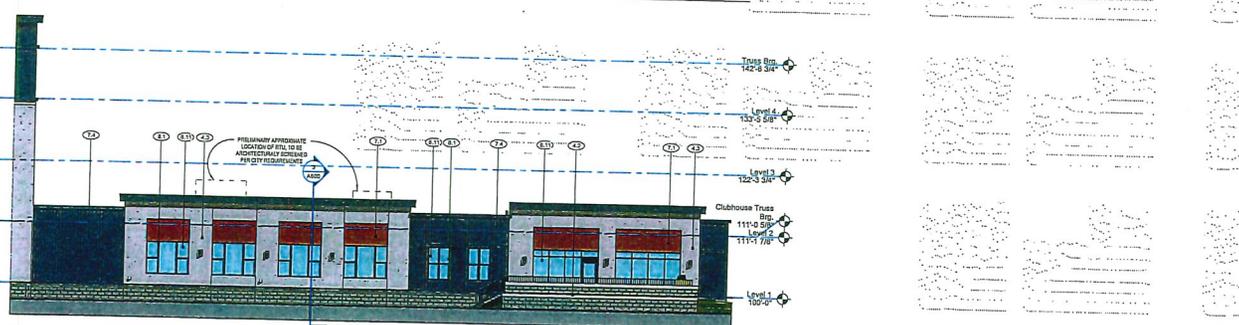
1 Exterior Elevation - Clubhouse North  
1/8" = 1'-0"



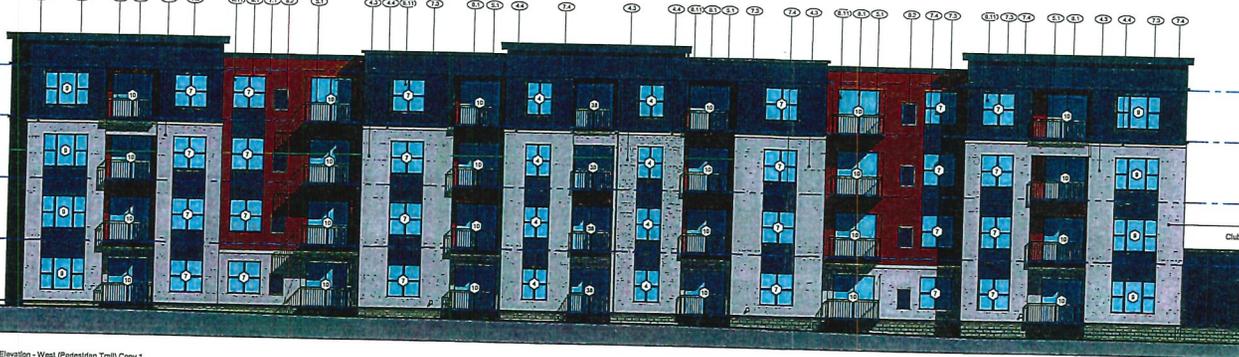
2 Clubhouse East Elevation  
1/8" = 1'-0"



3 Exterior Elevation - Clubhouse South  
1/8" = 1'-0"



4 Exterior Elevation - West (Peterson Trail)  
1/8" = 1'-0"

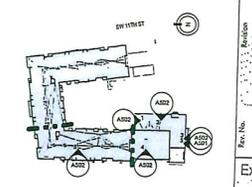
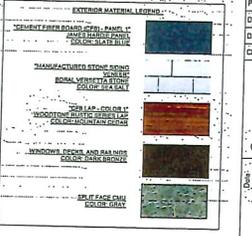


5 Elevation - West (Peterson Trail) Copy 1  
1/8" = 1'-0"

- EXTERIOR ELEVATION GENERAL NOTES**
1. SEE DRAWING SHEETS A511 FOR WINDOW TYPES AND WINDOW SIZES.
  2. SEE SHEETS A511 FOR EXTERIOR WALL DETAILS.
  3. SEE SHEETS A511 FOR EXTERIOR WALL TYPES.
  4. SEE SHEETS A511 FOR ROOF DETAILS, INCLUDING FLASHING REQUIREMENTS.
  5. SEE SHEETS A511 FOR WINDOW AND ALUMINUM STOREFRONT FLASHING AND DETAILS.
  6. SEE SHEETS A511 FOR CANOPY DETAILS.
  7. PROVIDE CURBS, SLOPES AND GROUND WALLS EVERY 2' ON MINIMUM TO MATCH EXTERIOR ELEVATION, OR NOT SHOWN OTHERWISE.
  8. PROVIDE GAZER BOSS & FLASHING WITH SLOPE OF GAZER BOSS TO MATCH EXTERIOR ELEVATION. VENT TUBES UNDER GURTS FLASHING.
  9. PROVIDE EXTERIOR GROUND WALLS TO MATCH EXTERIOR ELEVATION AS SHOWN.
  10. ALL EXTERIOR CORNERS & FURROWS SHALL BE FINISHED WITH ANGLE IRON CORNERS, BOTH SIDES OF CORNER. SEE A511.
  11. ALL HORIZONTAL SURFACES SHALL BE FINISHED WITH ANGLE IRON CORNERS THAT BOLT TO THE FACE OF ANY BOX TO RETURN BACK TO THE HORIZONTAL SCOPE OF THE BUILDING.
  12. FOR VERTICAL SURFACES OF BRICKS, MATERIALS VARY FROM ARCHITECT.
  13. JOINTS OF ALL BRICK STILES SHALL BE RAKED, AND RAKED JOINTS FINISHED AS SHOWN.
  14. ALL WINDOWS TO BE ALUMINUM FINISH AT 2" SPACING SHALL BE EACH 1/4" CHANGES. SPACING CHANGE FROM 1/4" TO 1/2" CHANGES.
  15. SEE SHEETS A511 FOR GROUNDWATER REMEDIATION DETAILS.
  16. PROVIDE EXTERIOR EXTERIOR LIGHTING AS SHOWN ON ELEVATION.
  17. IF ANY EXTERIOR WALL, ROOF OR FLOOR THAT HAVE A FINISH SURFACE BELOW FINISH SHALL HAVE A MINIMUM OF 1" OF FINISH LOCATED UNDER FINISH FOR ABOVE THE FINISH SURFACE. FINISH LOCATED 1" OR LESS FROM THE WALL SURFACE.
  18. ALL HORIZONTAL LIGHTING SHALL BE FINISHED TO MATCH THE EXTERIOR FINISH. LIGHTING TO BE SELECTED BY ARCHITECT.
  19. RETAIL ALL LIGHTING FOR EXTERIOR LIGHTING RECOMMENDATIONS.
  20. ALL DIMENSIONS TO CENTER TO THE CENTERLINE UNLESS OTHERWISE NOTED.
  21. PROVIDE 6" OF LIGHTING SLOPE WITH FINISHED SURFACE ON AT ALL EXTERIOR OUTLETS, LIGHT FIXTURES & WALL LIGHTS. (SEE SEE A511).
  22. TOPOGRAPHY SHOWN IN ELEVATIONS IS FOR REFERENCE ONLY. SURVEY DATA. SEE CIVIL DRAWINGS FOR GRADING INFORMATION.

**MATERIAL KEY**

Material Mark	Description
4.1	ROCK FACE CMU - COLOR: GRAY
4.2	MANUFACTURED STONE VENER - COLOR: SEA-SALT
4.3	ALUMINUM BALCONY - COLOR: BLACK
7.1	CFB 1/4" - COLOR 1
7.2	CFB 1/4" - COLOR 1
7.3	CFB PANEL SIGNING COLOR: 2
7.4	CFB TRIM - COLOR: 2
8.1	VINYLID - COLOR: BLACK
8.2	WALCOVER - COLOR: TRD-QUADRIC
8.3.1	WHITE PAINT CMU COLOR: GRAY



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**GENERAL CONTRACTOR**  
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Project Number: 18042  
Date: 3/9/2021  
Drawn By: Author  
Checked By: Checker

**NOT FOR CONSTRUCTION**

Exterior Elevation  
As indicated  
**A502**

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