



Date April 19, 2021

**RESOLUTION HOLDING HEARING ON REQUEST FROM 7600 SW 22ND STREET, LLC
(OWNER), FOR REVIEW AND APPROVAL OF PUD FINAL DEVELOPMENT
PLAN FOR “AIRPORTS CROSSROADS CONDOS” FOR
PROPERTY AT 7600 SOUTHWEST 22ND STREET**

WHEREAS, on April 5, 2021, by Roll Call No. 21-0541, the City Council received a communication from the City Plan and Zoning Commission advising that the Commission voted 10-0 to **APPROVE** a request from 7600 SW 22nd Street, LLC (owner), represented by David W. Welch (officer), to approve the PUD Final Development Site Plan for “Airports Crossroads Condos” for property located at 7600 Southwest 22nd Street (“Property”) to allow development of the property with three Warehouse buildings with a total of 23 flex-warehouse units, subject to compliance with all administrative review requirements and the following:

1. Provision of a public sidewalk SW 22nd Street;
2. Provision of masonry wainscot on the north, east, and south facades of all buildings;
3. Any metal siding and roofing shall comply with the following standards:
 - a. 22 gauge or thicker material,
 - b. Minimum 20-year product warranty,
 - c. Minimum 20-year paint warranty,
 - d. Exposed fasteners acceptable if color matched to underlying materials.
4. Review and approval of the design and materials for all fencing by the City’s Planning and Urban Design Administrator;
5. Provision of two (2) additional overstory trees along the west edge of the paved area;
6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator; and

WHEREAS, the Property is legally described as follows:

LOT 14 OF AIRPORT CROSSROADS SUBDIVISION, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 2.52 ACRES (110,111 S.F.) MORE OR LESS.

WHEREAS, on April 5, 2021, by Roll Call No. 21-0541, it was duly resolved by the City Council that the request for approval of the Amendment to the PUD Conceptual Plan be set down for hearing on April 19, 2021, at 5:00 p.m., by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community, without public access to the meeting location; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place for hearing on said proposed PUD Conceptual Plan Amendment; and



Roll Call Number

Agenda Item Number

39

Date April 19, 2021

WHEREAS, in accordance with said notice, those interested in said proposed PUD Final Development Plan, both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed "Airport Crossroads Condo" PUD Final Development Plan are hereby overruled, and the hearing is closed.
2. The proposed Amendment to the "Airport Crossroads Condo" PUD Final Plan, as on file in the Community Development Department, is hereby found to be in conformance with PlanDSM: Creating Our Tomorrow Plan and is hereby approved as stated above.

MOVED BY _____ TO ADOPT

FORM APPROVED:

Judy K. Parks-Kruse
Judy K. Parks-Kruse
Assistant City Attorney

(10-2021-7.57)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED

APPROVED

Mayor

CERTIFICATE

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk

March 30, 2021

Date April 19, 2021
Agenda Item 39
Roll Call # _____

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their March 18, 2021 meeting, the following action was taken regarding a request from 7600 SW 22nd Street, LLC (owner) represented by David W. Welch (officer) for review and approval of a PUD Final Development Plan "Airport Crossroads Condos" for property located at 7600 Southwest 22nd Street, to allow development of the property with three Warehouse buildings with a total of 23 flex-warehouse units.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 10-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard				X
Carolyn Jenison	X			
Greg Jones	X			
William Page				X
Rocky Sposato				X
Steve Wallace	X			
Greg Wattier				X
Emily Webb	X			

APPROVAL of the proposed PUD Final Development Plan subject to compliance with all administrative review requirements.

1. Provision of a public sidewalk along SW 22nd Street.
2. Provision of masonry wainscot on the north, east and south facades of all buildings.

3. Any metal siding and roofing shall comply with the following standards:
 - a. 22 gauge or thicker material,
 - b. minimum 20-year product warranty,
 - c. minimum 20-year paint warranty, and
 - d. any exposed fasteners allowed shall be color-keyed.
 4. Review and approval of the design and materials for all fencing by the Planning and Urban Design Administrator.
 5. Provision of two (2) additional overstory trees along the west edge of the paved area.
 6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator.
- (10-2021-7.57)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed PUD Final Development Plan subject to compliance with all administrative review requirements.

1. Provision of a public sidewalk along SW 22nd Street.
2. Provision of masonry wainscot on the north, east and south facades of all buildings.
3. Any metal siding and roofing shall comply with the following standards:
 - a. 22 gauge or thicker material,
 - b. minimum 20-year product warranty,
 - c. minimum 20-year paint warranty, and
 - d. exposed fasteners are prohibited.
4. Review and approval of the design and materials for all fencing by the Planning and Urban Design Administrator.
5. Provision of two (2) additional overstory trees along the west edge of the paved area.
6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to develop a multi-tenant warehouse complex containing three buildings served by a loop driveway within the Airport Crossroads PUD. The site is located on the west side of SW 22nd Street and north of the Crossroads Drive intersection.
2. **Size of Site:** 2.52 acres or 110,103 square feet.
3. **Existing Zoning (site):** Legacy “PUD” Planned Unit Development.
4. **Existing Land Use (site):** Undeveloped land.
5. **Adjacent Land Use and Zoning:**
 - North** – “PUD”; Use is an undeveloped parcel.
 - South** – “PUD”; Use is an undeveloped parcel.
 - East** – “PUD”; Use is an undeveloped parcel.
 - West** – “NM”; Use is a mobile home park.
6. **General Neighborhood/Area Land Uses:** The site is located within a business park that is generally bound by Fleur Drive to the east, County Line Road to the south and Gannett Avenue to the north.
7. **Applicable Recognized Neighborhood(s):** The subject property is not located within 250 feet of a recognized neighborhood. All recognized neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda on February 26, 2021 and the Final Agenda on March 12, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on March 8, 2021 (10 days prior to the original public hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.
8. **Relevant Zoning History:** The Airport Crossroads PUD was approved by the City Council on May 7, 2001 by Roll Call Number 01-1406.
9. **PlanDSM Future Land Use Plan Designation:** Business Park.
10. **Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City's Stormwater Management requirements to the satisfaction of the City's Permit and Development Center. Storm water detention basins are proposed between the buildings and the front property line.
2. **Access & Parking:** The Development Plan includes a looped drive with two access points to SW 22nd Street and eight (8) parking spaces. A public sidewalk is not proposed along the street. The PUD requires sidewalks on both sides of SW 22nd Street unless a 10-wide trail is constructed on the east side of SW 22nd Street. The trail has been constructed. The Traffic and Transportation Division has requested a sidewalk be constructed in the adjoining right-of-way to comply with current development expectations.
3. **Urban Design:** The proposed buildings would be arranged in a north-to-south row with the narrow end facing the street. The buildings would be served by a loop drive with overhead doors facing internally. The buildings would have a metal roof and metal siding. A manufactured stone wainscot is proposed on the street façade and any side façade that contains overhead doors. Staff believes that the wainscot should be provided on the north façade of the northern building and on the south façade of the southern building since these facades will be visible from the street. Product information was not provided for the metal siding and roofing. Metal siding and roofing should meet the minimum standards listed in Section III of this report to ensure a minimum level of quality and durability.

The site plan indicates that a chain-link fence would be used along the west edge of the buildings and that ornamental fence would be used along the east edge including gates at the driveways. Specifications for the fences were not provided. The PUD requires any chain-link fence to have a coating that is dark in color.

Staff recommends that additional overstory trees be provided along the west edge of the parking lot to provide shade that would typically be provided by trees in parking lot planter islands. Given the layout of the parking and driveway area, along with the overall operations for a use of this nature, staff believes this is a better solution than requiring planter islands within the paved area.

4. **Tax Abatement Standards:** The applicant has expressed an interest in pursuing the industrial tax abatement program. The following standards would be applicable if they elect to utilize that program.

Building Materials

- a. **FOR INDUSTRIAL PROJECTS IN INDUSTRIAL ZONING DISTRICTS:** A minimum of 50% of the surface area (exclusive of windows and doors) of facades fronting and perpendicular to a public street must be glass, brick, concrete panels, architectural concrete block, architectural metal panels or stone. Architectural or other use of metal panels shall be located at least 5 feet above finished grade along the facades of street-facing sides.

- b. All buildings shall have window and door openings comprising at least 20% of the surface area of each facade fronting public streets. However, those portions of such a facade adjoining areas of a building devoted to processing, manufacturing or storage uses associated with an industrial use of the building need only have window and door openings comprising at least 20% of the area of first floor such facade, up to a maximum elevation of 14 feet.
- c. No building elevation should have exterior insulation and finish system (EIFS) within 5' of the finished grade.
- d. As an alternative to conforming with the requirements set forth above in this paragraph 4, all facades fronting and perpendicular to a public street must be constructed of materials and with a design approved by the Community Development Director as being consistent with the overall intent and purpose of these Construction and Sustainability Design Standards, and providing an equivalent level of quality and durability.

Sustainability Standards

The development must provide a minimum of four (4) of the following sustainable features:

- a. Bike racks for public use that provide a minimum of 10% of the automobile parking provided.
- b. Permeable pavement for a minimum of 30% of the paved area.
- c. Green roof on 50% of the rooftop area.
- d. Rain garden(s) that absorb 25% of runoff from impervious surfaces during a 1 ¼ "rain event over 24 hours.
- e. Exceed applicable energy code by 15%.
- f. 50% increase in required landscaping.
- g. 90% of exterior building elevations constructed from renewable materials.
- h. Primary entry within ¼ mile of a DART transit stop.
- i. Redevelopment of a previously-developed site.
- j. Renovation of an existing building.
- k. Uses wind or solar electric generation systems reasonably estimated to annually provide at least 20% of the electric power consumed by the development.
- l. Ground source (geothermal) heat pumps used as primary source of heating and cooling.
- m. Provision of an electric vehicle charging station on site.

SUMMARY OF DISCUSSION

Katherine Drahos presented staff report and recommendation.

Daniel Southwick 3501 104th Street, Urbandale, IA representing Bishop Engineering stated the PUD doesn't require public sidewalk and would ask for that to be waived as it would be a dead-end sidewalk.

CHAIRPERSON OPENED THE PUBLIC HEARING

Carol Maher 701 Polk Blvd. stated it's great to hear of the 10-foot trail across the street, which would provide great bicycle access. She hopes they are accommodating bike parking at the location and show people they can ride their bike rather than showing up in a vehicle every time they visit the property.

Chris Davis 32145 Old Portland Rd representing Kingdom Development stated there were three items. 1) Where the plans do not show stone, they plan to do a black wainscot metal panel that would have a 40-year warranty on the paint, I'm not sure about the warranty on the panel. 2) They do plan to install a 6-foot black vinyl coated chain-link fence around the sides and rear, with black ornamental aluminum fencing and gates on the front. 3) They would like to use color matched exposed fasteners on the building, along with a 29-gauge steel. You could not tell, but the development to the south also used exposed metal fasteners, they were not visible because a color key was used. This project would also propose color-keyed exposed fasteners.

David Welch 6289 Sudbury Ct. Johnston, IA stated he would like to point out there is no sidewalk along the East side of the property. If they were to install the sidewalk, it would lead to nowhere.

Greg Jones asked if the dark metal for wainscoting would meet City Staff's requirements?

Erik Lundy stated Staff recommended stone or masonry to align with the City's current ordinance. The Commission could determine if that material meets the intent of the code.

Mike Ludwig stated the issues on not providing the masonry wainscoting on the bottom, would be compliance with Tax Abatement standards, unless that is determined to be a fully durable material. City Staff has tried to get stone on sides facing the street, he would ask if the applicant is proposing metal on all sides or just the ends where additional masonry was requested?

Katherine Drahos stated they are proposing it on the street facing side, which would be the East façade and front façade of each building.

Dory Briles asked if the fence described by the applicant would meet City requirements?

Erik Lundy stated staff would prefer ornamental around the entire property as you see with the store development to the South.

Johnny Alcivar asked how the commission's recommendation would affect the tax abatement standards?

Erik Lundy stated they would be putting themselves at risk of tax abatement if they do not supply the masonry material at the base, along with the thickness of the metal.

CHAIRPERSON CLOSED THE PUBLIC HEARING

COMMISSION ACTION:

Greg Jones made a motion for approval of the proposed PUD Final Development Plan subject to compliance with all administrative review requirements.

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2. Provision of masonry wainscot on the north, east and south facades of all buildings.
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5. Provision of two (2) additional overstory trees along the west edge of the paved area.
6. Compliance with all administrative review requirements to the satisfaction of the Planning and Urban Design Administrator.

Motion passed: 10-0

Respectfully submitted,



Erik Lundy, AICP
Senior City Planner

EML:tjh

Van Essen, Jason M.

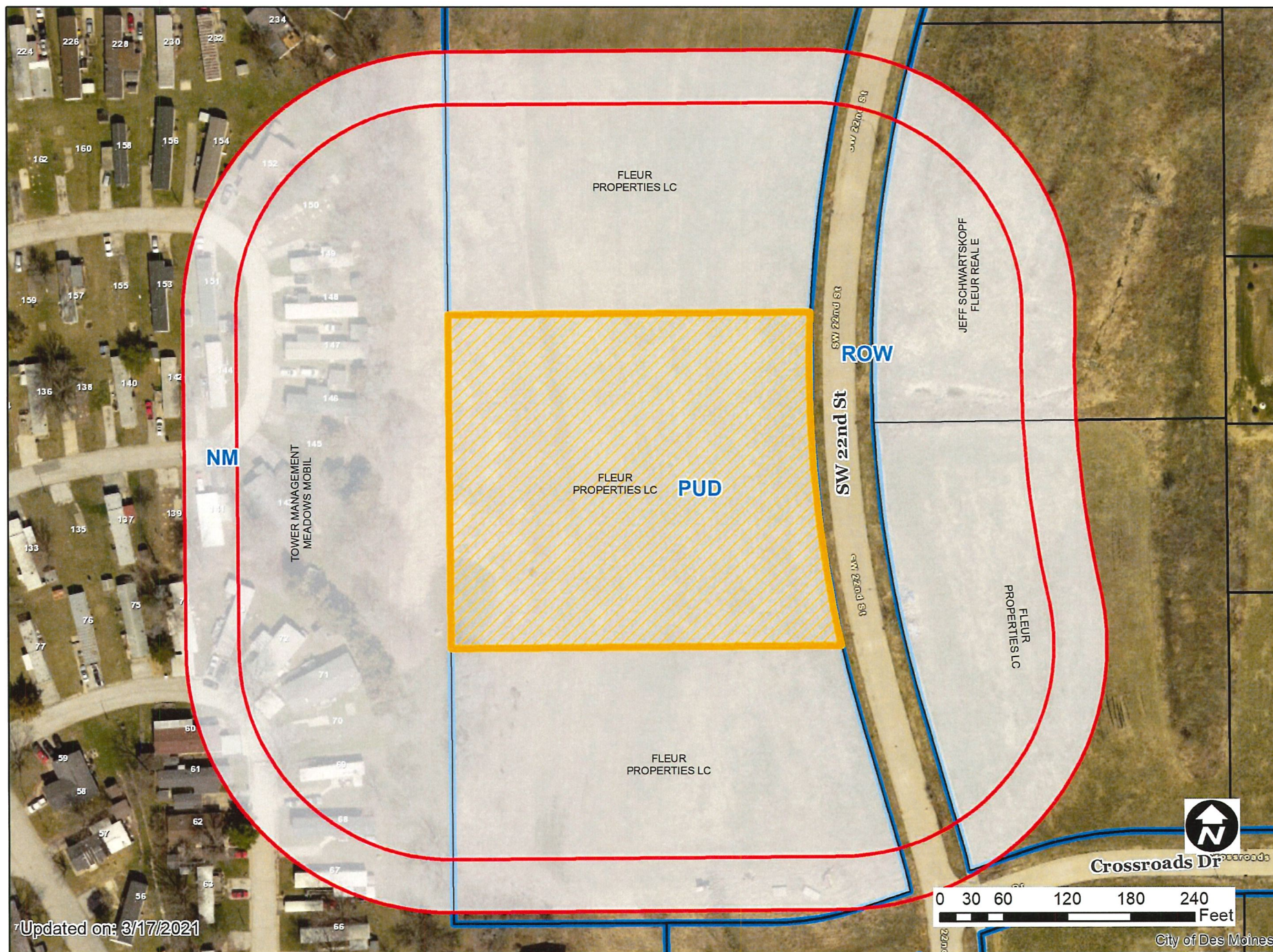
From: Mike Barnes <mike@barnesproperties.com>
Sent: Thursday, March 11, 2021 9:39 AM
To: Planning
Cc: steven smith (steve2251@hotmail.com)
Subject: 7600 SW 22nd hearing on 3.18.21

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Don Briles as chair of the DM P&Z
Honorable members of the DM P&Z
Eric Lundy Senior Planner for the City of Des Moines

As co owners of Fleur Properties, developer of Airport Crossroads, we are in full support of the warehouse plans submitted by David Welch. His buildings will make a great addition to the area.

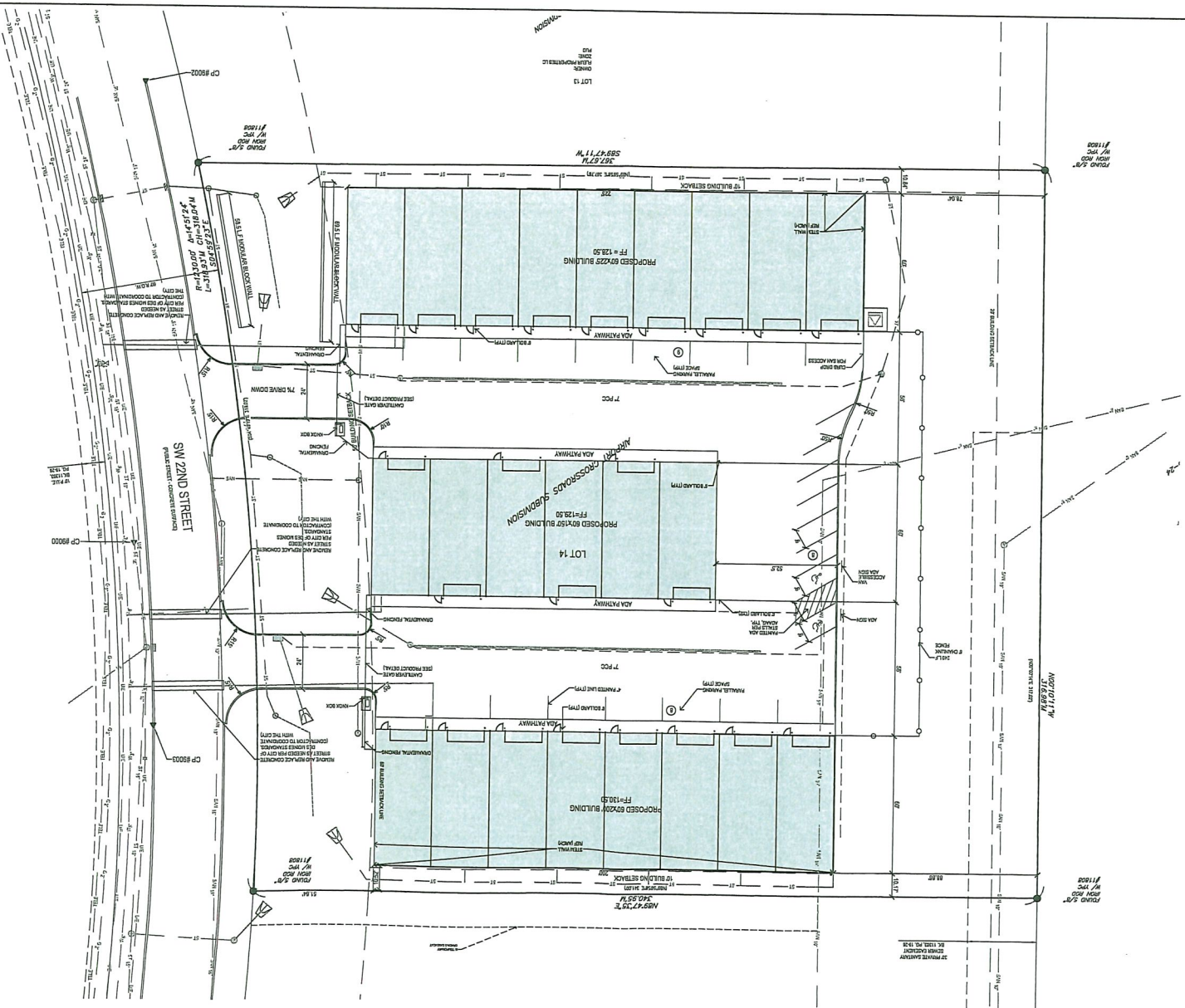
Fleur Properties LC
Michael Barnes
Steven Smith
7300 Westown Pkwy, Suite 310
West Des Moines, IA. 50266



2/7/2021 3:52:02 PM L:\LAND PROJECTS 2020\200310\DWG\C2 LAYOUT.DWG



NOTES:
NO DUMPSTER WILL BE PROVIDED ON SITE WHICH WOULD REQUIRE THE NEED FOR A DUMPSTER ENCLOSURE



AIRPORT CROSSROADS CONDOS DES MOINES, IA

LAYOUT PLAN

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3825
Telephone: (515) 277-0472 Fax: (515) 277-0717

Civil Engineering & Land Surveying Established 1959
205 ROUTE 10, BOX 50322-3825
Phone: (515)226-0467 Fax: (515)226-0217

12-23-20 1ST SUBMITTAL	PROJECT NUMBER	200310	SHEET NUMBER	C2.1
12-23-21 2ND SUBMITTAL				

12-23-20 1ST SUBMITTAL	PROJECT NUMBER	200310	SHEET NUMBER	C2.1
12-23-21 2ND SUBMITTAL				

1. ALL SECONDARY LANDSCAPE PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOILS DISTURBED AREAS WITHIN THE CONTRACT LIMITS SHALL NOTED OTHERWISE. SOIL LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SHALL BE ON ALL SLOPES 1:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONTRACT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORUS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE PLANTING MATERIALS IN THE CONTRACT LIMITS UNTIL AFTER ACCEPTANCE BY OWNER.
9. CONTRACTOR SHALL PLACE SHREDS/DRAWN MULCH AROUND ALL TREES AND SHRUBS AND GROUND COVER BEGINS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
10. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
11. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
12. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
13. SPADE CUT EDGE AROUND ALL SHRUBS PLANTING BEDS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AN APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
15. ALL TREES TO RECEIVE GRANULAN PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

TOTAL SQUARE FOOTAGE OF PROJECT AREA	110,111 SF
TOTAL REQUIRED OPEN SPACE (25%)	27,528 SF

REQUIRED LANDSCAPING (PER PUD)	
REQUIRED TREES (2 PER 3,000 SF REQUIRED OPEN SPACE)	19
- NOTE: ADDITIONAL 50% FOR TAX ABATEMENT	29 TOTAL
10%: 3" - 3.5" CAL	3
30% - 40%: 2" - 2.5" CAL (STREET TREES - SEE BELOW)	9
BALANCE: 8" - 10" ORNAMENTAL OR 1.5" CAL	17
REQUIRED SHRUBS (3 PER 3,000 SF REQUIRED OPEN SPACE)	28
- NOTE: ADDITIONAL 50% FOR TAX ABATEMENT	42 TOTAL

18" - 24" BALLED & BURLAP OR CONTAINER GROWN	
TOTAL TREES PROVIDED	37
TOTAL SHRUBS PROVIDED	40

STREET TREE REQUIREMENTS
ONE TREE EVERY 30' - COUNTED TOWARDS REQUIRED LANDSCAPING

ID	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
VERGORESTY DECIDUOUS TREES						
WD	2	WHITE FERN	QUEBRACA RUBRA	3 1/2' GAL	88%	MATCHED SPECIMENS
KH	3	KENTUCKY COFFEE TREE	SYMPLOCARUS DORNICIFOLIA	3 1/2' GAL	88%	MATCHED SPECIMENS
SC	3	SKUNK HONEYLOCUST	GLEHNERIA FRAGRANTIS AERUGIOSA 'SKUNK'	2 1/2' GAL	88%	MATCHED SPECIMENS
NO	2	RED OAK	QUERCUS RUBRA	2 1/2' GAL	88%	MATCHED SPECIMENS
EVERGREEN TREES						
WP	1	WHITE FERN	PINUS STROBUS	6"	88%	FULL FORM TO GROUND
WH	1	WINTER SPRUCE	PICEA MARIA	6"	88%	FULL FORM TO GROUND
SH	6	SHAW'S HEMLOCK	PICEA GLAUCA DENGATA	6"	88%	FULL FORM TO GROUND
SHRUBS						
CK	6	CLIFF SWALLOW PLANT	SYRINGA VERTICILLATA	6"	88%	FULL FORM - MATCH CHED
LD	14	LITTLE LEAF DODGE NINEBARK	OPULIS PRUPALPUSUS 'LITTLE DODGE'	6"	88%	FULL FORM - MATCH CHED
SC	14	SKUNK HONEYLOCUST	ROBES ALGUM	6"	88%	FULL FORM - MATCH CHED
NO	2	RED OAK	ROBES ALGUM	6"	88%	FULL FORM - MATCH CHED

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

- **CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 515-283-4105.**
- **ALL WIRE, TWINE, AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.**
- **NO STAKING OF STREET TREES IS ALLOWED.**

- Step 1— Remove soil entirely from site. Dig hole 2K's wider than root ball.
- Step 2— Feel back roots/turfup/cage and remove sufficient soil to expose root flare.
- Step 3— Measure from root flare to bottom of root ball.
- Step 4— Dig hole only required depth to allow root flare to show at final grade.
- Step 5— Remove lower 1/3 of wire cage.
- Step 6— Set tree in planting hole. Support with some soil, but remove entire balance of wire cage and top 2/3 of turfup.
- Step 7— Backfill 2/3 of loose soil. Use water to settle soil. DO NOT tamp or step on soil.
- Step 8— Backfill balance and water a second time.
- Step 9— Excess soil may be used to create a berm/saucer outside of root ball.
- Step 10— Add 2-4" of wood mulch and do hnal w/101420.

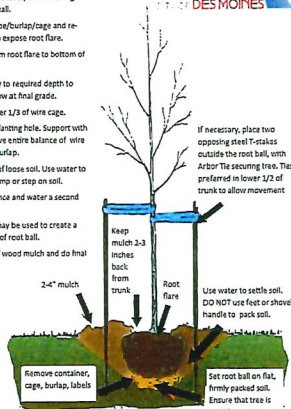
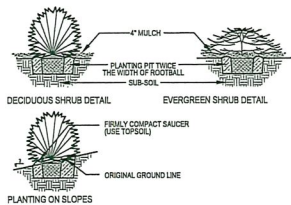
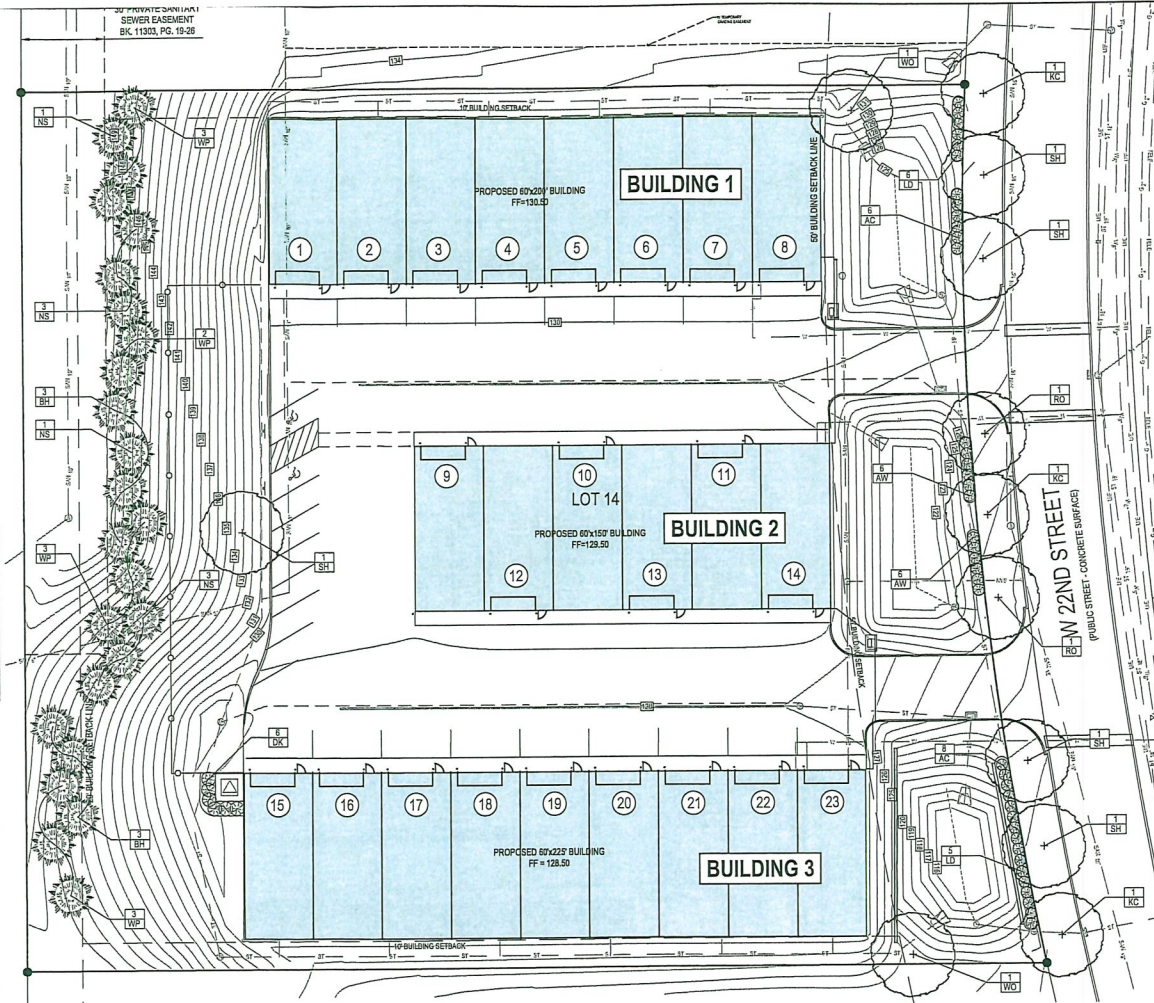


Image Courtesy of International Society of Arboriculture



SHRUB PLANTING (TYP)
SCALE: NOT TO SCALE



I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. IOWA REGISTRATION NO. 449.

BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2022

SIGNED: _____ DATE: _____

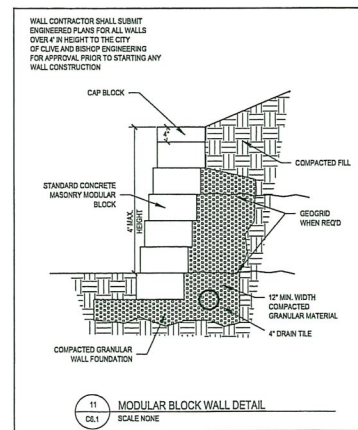
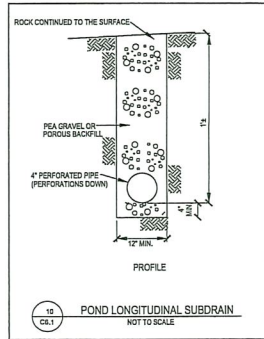
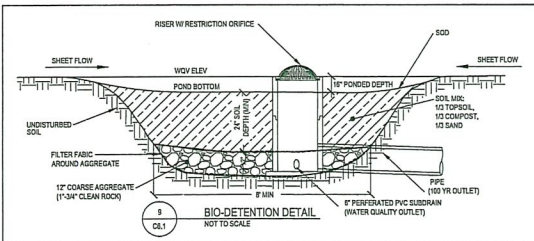
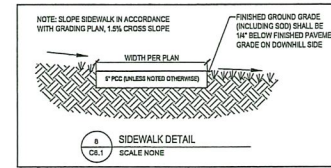
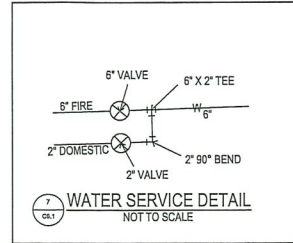
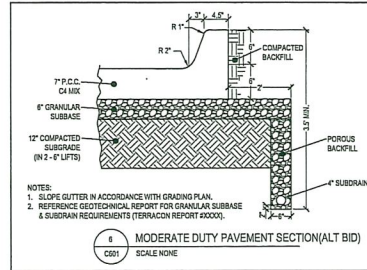
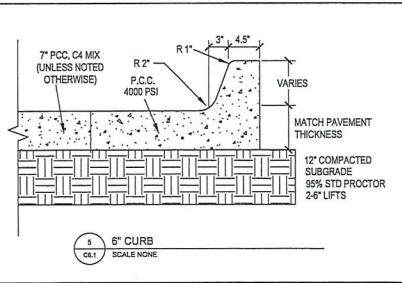
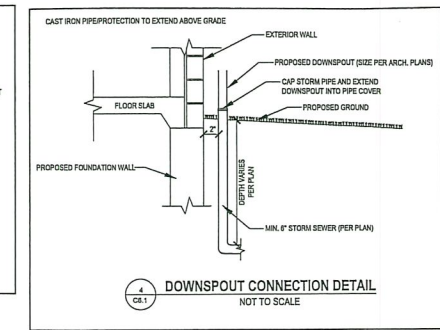
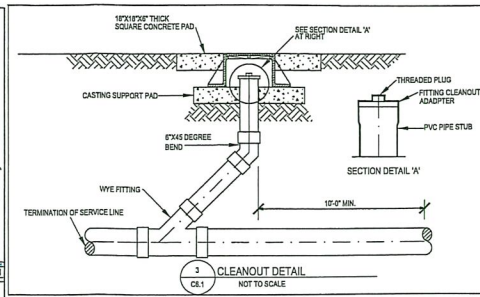
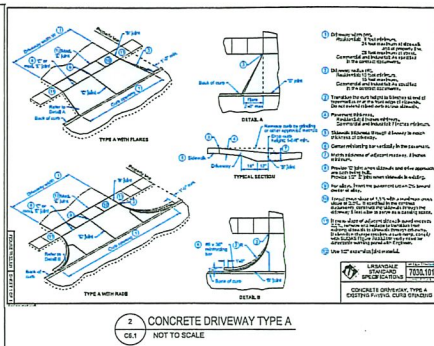
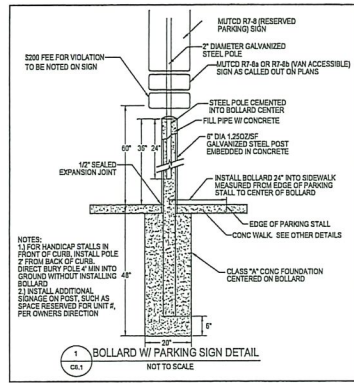


AIRPORT CROSSROADS CONDOS
DES MOINES, IA

LANDSCAPE PLAN

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0167 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1955



STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:
(BOOK 1302, PAGE 19-26)
LOT 14 OF AIRPORT CROSSROADS SUBDIVISION
OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A
PART OF THE CITY OF DES MOINES, POLK COUNTY,
IOWA, CONTAINING 2.52 ACRES (176,111 S.F.) MORE
OR LESS.

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS
OF RECORD.

ADDRESS:
720 SW 22ND STREET
DES MOINES, IOWA 50308

OWNER:
FLEUR PROPERTIES LLC
720 WESTON PKWY SITE 310
WEST DES MOINES, IOWA 50308

SITE AREA:
SITE AREA = 2.52 ACRES
DISTURBED AREA = 1.32 ACRES

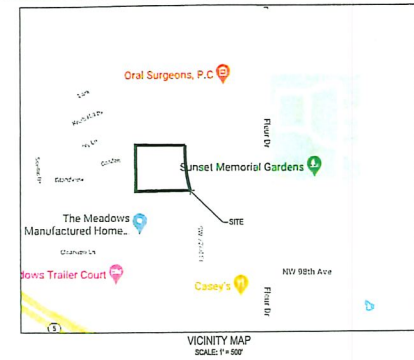
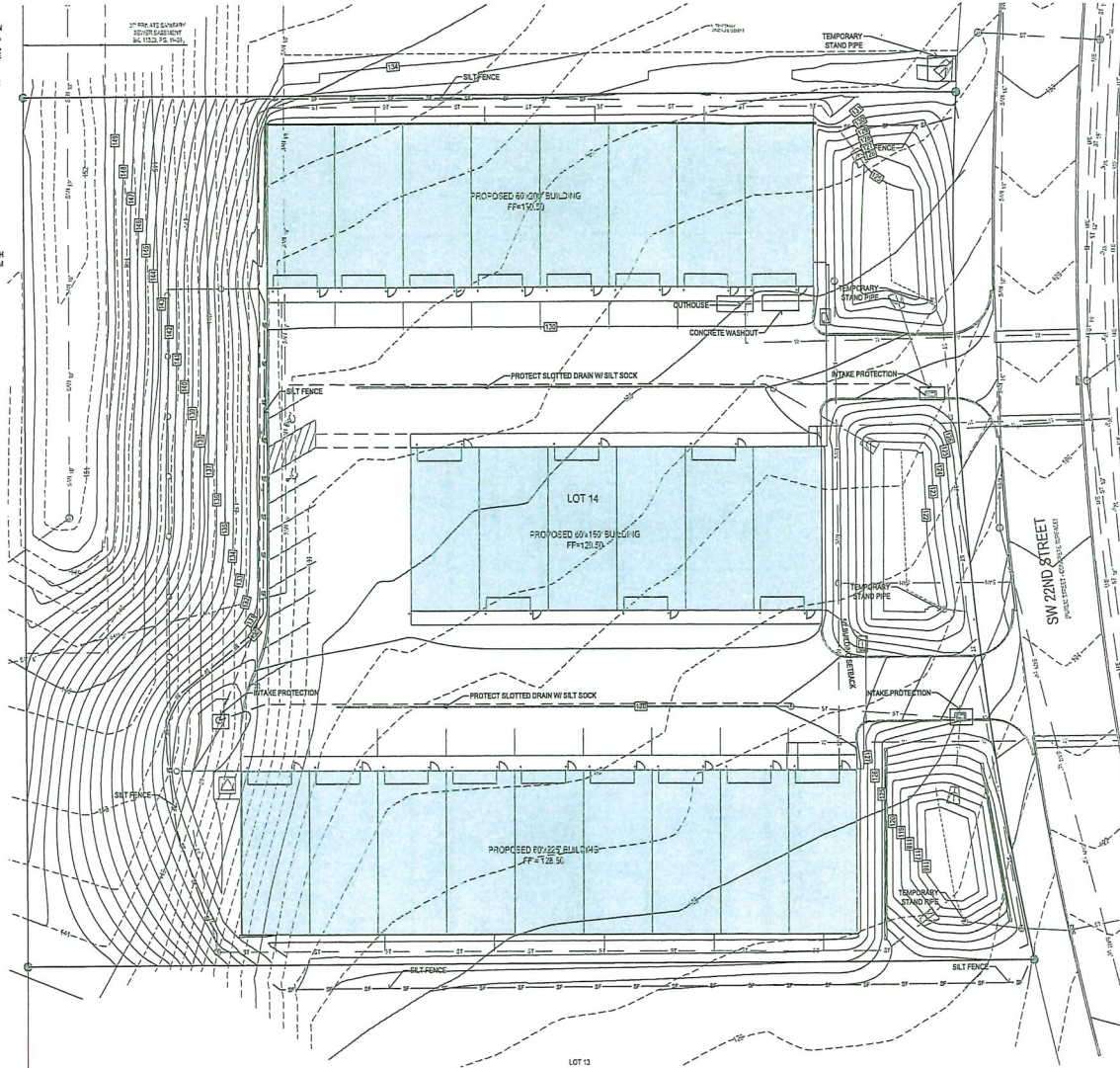
BENCHMARK:
BASIS OF BEARING OBTAINED FROM GPS
OBSERVATIONS DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY OF DES MOINES DATUM

POINT #5020
NORTHING = 551548.85
EASTING = 189045.21
ELEVATION = 125.53
DESCRIPTION: SET 3/4" IRON PIPE W/ RCP

POINT #5021
NORTHING = 55169.54
EASTING = 189045.21
ELEVATION = 123.29
DESCRIPTION: CUT "X" ON CURB

POINT #5022
NORTHING = 551748.85
EASTING = 189045.21
ELEVATION = 125.18
DESCRIPTION: CUT "X" ON CURB

POINT #5023
NORTHING = 552029.78
EASTING = 189045.07
ELEVATION = 128.23
DESCRIPTION: CUT "X" ON CURB



EROSION CONTROL NOTES:

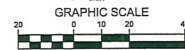
1. SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
2. SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND SUPPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
3. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
4. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
5. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
6. OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESIDUAL FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

1. AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANPIPES.

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SILT FENCE
- SAN - SANITARY SEWER
- ST - STORM SEWER
- W - WATER LINE
- G - GAS LINE
- UE - UNDERGROUND ELECTRIC
- TE - TELEPHONE LINE
- FO - FIBER OPTIC
- CATV - CABLE TV
- STORM MANHOLE
- CURB INTAKE
- SURFACE INTAKE
- FLARED END SECTION
- SANITARY MANHOLE
- CLEANOUT
- FIRE HYDRANT
- SPRINKLER
- IRRIGATION CONTROL VALVE
- WATER MANHOLE
- WELL
- WATER VALVE
- WATER SHUT OFF
- YARD HYDRANT
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC RISER
- ELECTRIC VAULT
- POWER POLE
- TRANSFORMER POLE
- LIGHT POLE
- ELECTRIC JUNCTION BOX
- ELECTRIC PANEL
- TRANSFORMER
- GROUND LIGHT
- GUY WIRE
- ELECTRIC HANDHOLE
- GAS METER
- GAS VALVE
- AIR CONDITIONING UNIT
- TELEPHONE RISER
- TELEPHONE VAULT
- TELEPHONE MANHOLE
- TRAFFIC SIGNAL MANHOLE
- FIBER OPTIC FAULT
- CABLE TV RISER
- SOB



AIRPORT CROSSROADS CONDOS
DES MOINES, IA

REFERENCE NUMBER:

DRAWN BY:
JMR

CHECKED BY:
JEU

REVISION DATE:
12-23-20 1ST SUBMITTAL
22-23-21 2ND SUBMITTAL

PROJECT NUMBER:
200310

SHEET NUMBER:

C7.1

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50323-5927
Phone: 515.281.0707 Fax: 515.281.0707
Civil Engineering & Land Surveying
Established 1959

SWPPP



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM
EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT
LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE
THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL
FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

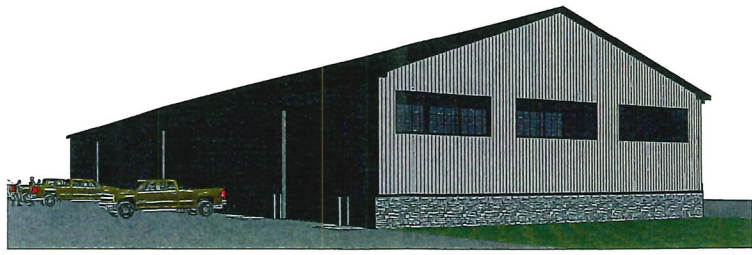
PLUM DESIGN SERVICES
 1100 SE ALICE'S ROAD, WHEELER, IOWA 50071
 TELEPHONE 515 978 6260 FAX 515 978 6261

PLUM DESIGN SERVICE, INC. ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. WE ARE NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO VERIFY AND CHECK ALL NOTES, DETAILS, ELEVATIONS, SECTIONS, AND FLOOR PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR AND/OR OWNER SHALL ADOPT PLUM DESIGN SERVICE, INC. IMMEDIATELY IF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION ARE IDENTIFIED PRIOR TO START OF CONSTRUCTION. NO WARRANTIES EXPRESS OR IMPLIED INCLUDING COMPLIANCE WITH THIS PLAN WITH APPLICABLE BUILDING CODES REQUIREMENTS ARE MADE.

MEMBER



AMERICAN INSTITUTE OF
 BUILDING DESIGN
 Creating where people live



Airport Crossing Flex Warehouse

PROJECT ADDRESS
 7600 SW 22nd Street
 Des Moines, Iowa

PROJECT TEAM		SHEET INDEX																																																															
ARCHITECTURAL DRAFTING <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>COMPANY NAME</td><td>PLUM BUILDING SYSTEMS</td></tr> <tr><td>COMPANY ADDRESS</td><td>1100 SE ALICE'S ROAD WHEELER, IOWA 50071</td></tr> <tr><td>PHONE:</td><td>515 978 6260</td></tr> <tr><td>FAX:</td><td></td></tr> </table>	COMPANY NAME	PLUM BUILDING SYSTEMS	COMPANY ADDRESS	1100 SE ALICE'S ROAD WHEELER, IOWA 50071	PHONE:	515 978 6260	FAX:		MECHANICAL CONTRACTOR <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>COMPANY NAME</td><td>-</td></tr> <tr><td>COMPANY ADDRESS</td><td>-</td></tr> <tr><td>PHONE:</td><td>-</td></tr> <tr><td>FAX:</td><td>-</td></tr> </table>	COMPANY NAME	-	COMPANY ADDRESS	-	PHONE:	-	FAX:	-	STRUCTURAL DRAWING LIST <p>PAGE NO. PAGE NAME</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>AD</td><td>Cover Page</td></tr> <tr><td>AD.1</td><td>Building Code Review</td></tr> <tr><td>AD.2</td><td>Accessibility Standards</td></tr> <tr><td>AD.3</td><td>Code Review - Area & Occupancy</td></tr> <tr><td>AD.6</td><td>Code Review - Construction</td></tr> <tr><td>AD.7</td><td>Code Review - Egress & ADA</td></tr> <tr><td>AD.8</td><td>Wind Types</td></tr> <tr><td>AD.9</td><td>Door Schedule</td></tr> <tr><td>AD.1</td><td>Elevations</td></tr> <tr><td>AD.2</td><td>Elevations</td></tr> <tr><td>AD.3</td><td>Elevation Details</td></tr> <tr><td>AD.1</td><td>First Floor Overview</td></tr> <tr><td>AD</td><td>Star</td></tr> <tr><td>AD.0</td><td>Building Sections</td></tr> <tr><td>AD.1</td><td>Part Wall Details</td></tr> <tr><td>AD.6</td><td>3D VIEWS</td></tr> </table>	AD	Cover Page	AD.1	Building Code Review	AD.2	Accessibility Standards	AD.3	Code Review - Area & Occupancy	AD.6	Code Review - Construction	AD.7	Code Review - Egress & ADA	AD.8	Wind Types	AD.9	Door Schedule	AD.1	Elevations	AD.2	Elevations	AD.3	Elevation Details	AD.1	First Floor Overview	AD	Star	AD.0	Building Sections	AD.1	Part Wall Details	AD.6	3D VIEWS	BUILDING INFORMATION <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td colspan="2">OCCUPANCY TYPE: B (Business)</td></tr> <tr><td colspan="2">DESTRUCTION TYPE: 1A - Any Substantial Portion</td></tr> <tr> <td>ALLOWABLE HEIGHT: 30' 0"</td> <td>ACTUAL HEIGHT: 30' 0"</td> </tr> <tr> <td>ALLOWABLE BUILDING STOREYS: 3-4</td> <td>ACTUAL BUILDING STOREYS: 1</td> </tr> <tr> <td>ALLOWABLE BUILDING AREA: 8 - 30,000</td> <td>ACTUAL AREA: 2403</td> </tr> <tr><td colspan="2">SEPARATION OF OCCUPANCIES: B - B-A None</td></tr> <tr><td colspan="2">SPRINKLER SYSTEM: NFPA 13 SPRINKLER SYSTEM</td></tr> </table>	OCCUPANCY TYPE: B (Business)		DESTRUCTION TYPE: 1A - Any Substantial Portion		ALLOWABLE HEIGHT: 30' 0"	ACTUAL HEIGHT: 30' 0"	ALLOWABLE BUILDING STOREYS: 3-4	ACTUAL BUILDING STOREYS: 1	ALLOWABLE BUILDING AREA: 8 - 30,000	ACTUAL AREA: 2403	SEPARATION OF OCCUPANCIES: B - B-A None		SPRINKLER SYSTEM: NFPA 13 SPRINKLER SYSTEM	
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6-BAY BUILDING
 Airport Crossing Flex Warehouse
 7600 SW 22nd Street
 Des Moines, Iowa

PROJECT ID:
 PDS 5053

ISSUE DATE:
 DATE: 11-18-20
 DATE: 02-22-20
 DATE:
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 DATE:

Cover Page

6-BAY BUILDING
Airport Crossing Flex Warehouse
7600 SW 22nd Street
Des Moines, Iowa

PROJECT ID:
PDS 5053

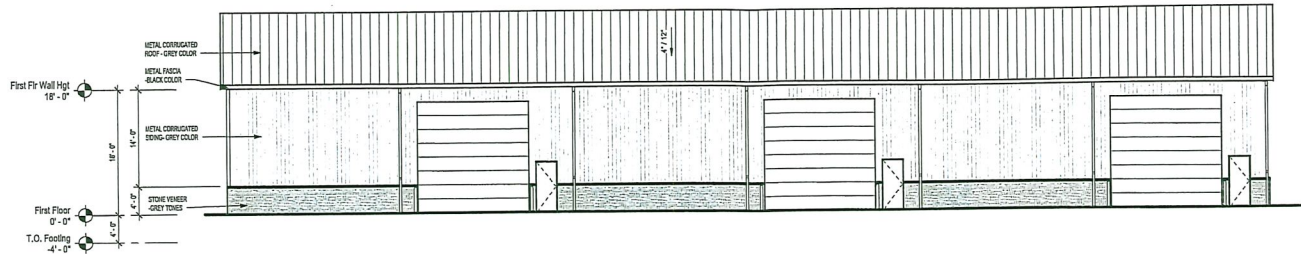
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Elevations

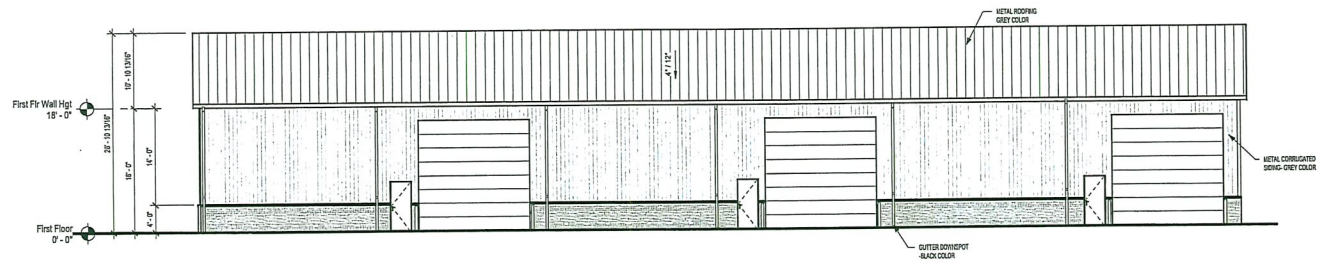
1/8" = 1'-0"

THIS PAGE IS INTENDED TO BE PRINTED ON 24"X36" PAPER TO BE TO SCALE

A1.1



2 FRONT ELEVATION
Scale: 1/8" = 1'-0"



1 REAR ELEVATION
Scale: 1/8" = 1'-0"

PLUM DESIGN SERVICES
1100 SE ALICE'S ROAD, WARREN, OHIO 44089
TELEPHONE 313.878.8240 FAX 313.878.8241

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A | I
B | D
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BUILDING DESIGN
Creating where people live

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7600 SW 22nd Street
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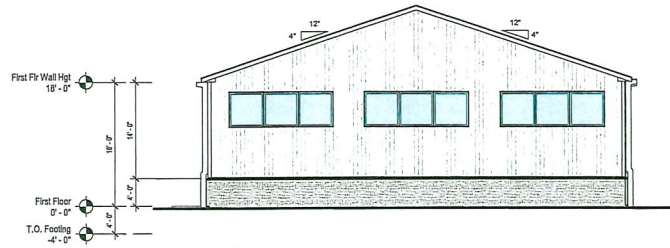
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Elevations

As indicated

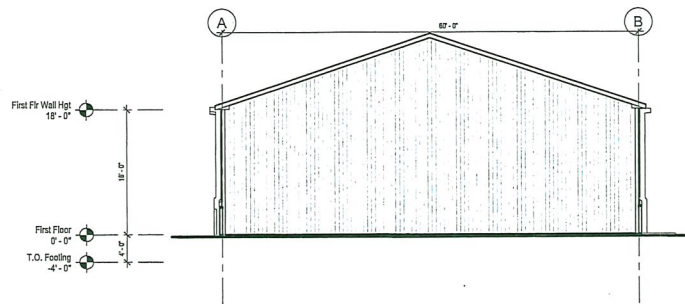
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A-YEAR PAPER TO BE TO SCALE

A1.2

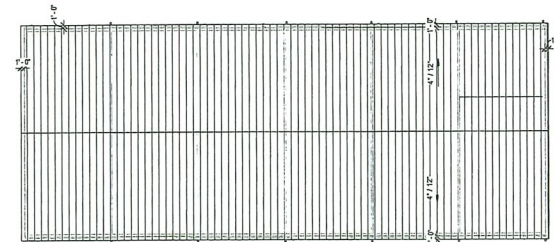


TRANSPARENT GLASS REQUIREMENT (TOTAL STREET FACING)
100 SQUARE FEET STREET FACING WALL
100' x 15' GLASS PANELS = 200 SQUARE FEET OF GLASS PANELS TOTAL
(1) 10' x 15' WINDOW = 150 SQUARE FEET
(2) TOTAL WINDOWS = 225 SQUARE FEET (200.00 SQ FT REQ'D)

1 RIGHT ELEVATION - STREET SIDE
Scale: 1/8" = 1'-0"



2 LEFT ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF PLAN
Scale: 1/8" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	9240 SF

6-BAY BUILDING
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7600 SW 22nd Street
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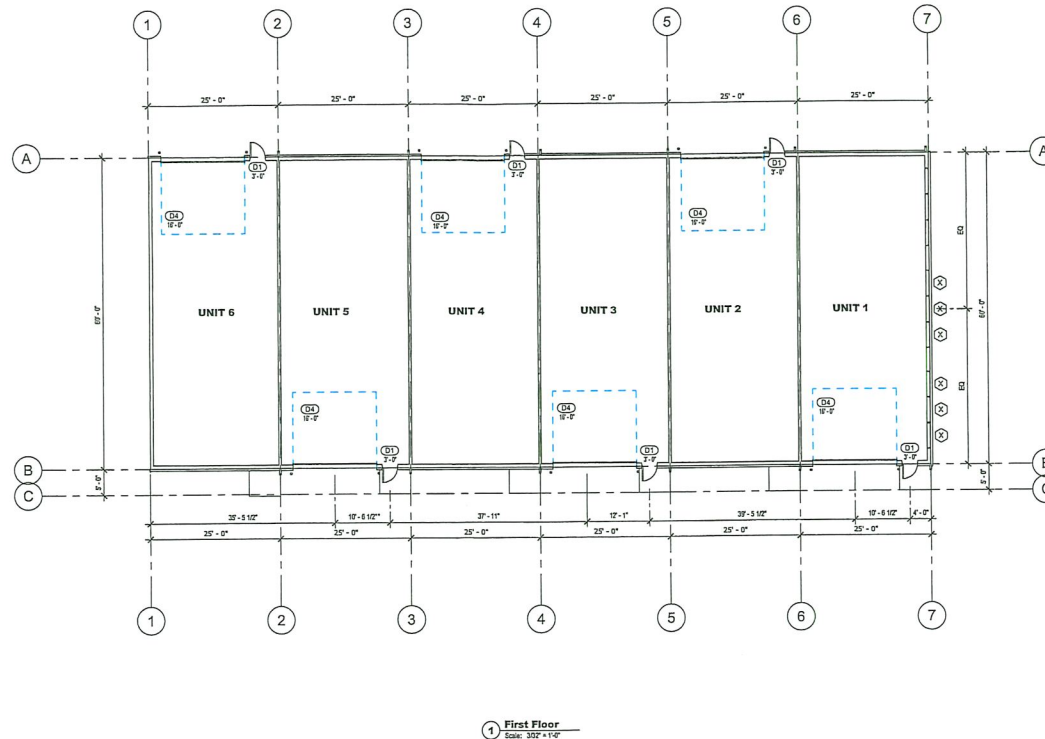
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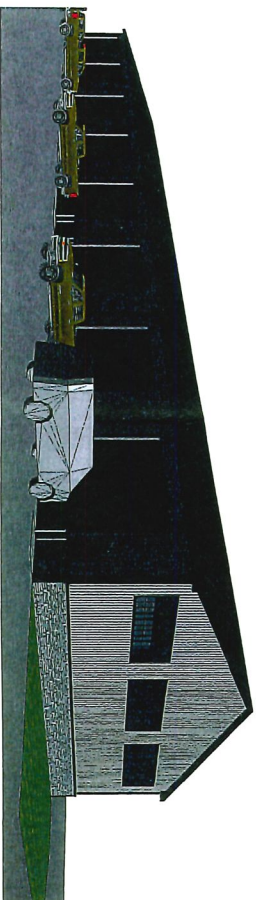
First Floor Overview

3/32" = 1'-0"

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A3.1





Airport Crossing Flex Warehouse

PROJECT ADDRESS
7600 SW 22nd Street
Des Moines, Iowa



plum
BUILDING SYSTEMS, LLC

PLUM DESIGN SERVICES
1001 E AARONSON, SUITE 100, DES MOINES, IOWA 50319
TEL: 515.281.1000 FAX: 515.281.1001

MEMBER
A I B D
AMERICAN INSTITUTE OF
BUILDING DESIGN
Creating where people live

SHEET INDEX

STRUCTURAL DRAWING LIST

FIGURE FIGURE NAME

FIGURE	FIGURE NAME
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102	102-102
103	103-103
104	104-104
105	105-105
106	106-106
107	107-107
108	108-108
109	109-109
110	110-110
111	111-111
112	112-112
113	113-113
114	114-114
115	115-115
116	116-116
117	117-117
118	118-118
119	119-119
120	120-120

BUILDING INFORMATION

CONSTRUCTION TYPE: 101-101	GROSS AREA SCHEDULE
CONSTRUCTION TYPE: 102-102	CONSTRUCTION TYPE: 103-103
CONSTRUCTION TYPE: 104-104	CONSTRUCTION TYPE: 105-105
CONSTRUCTION TYPE: 106-106	CONSTRUCTION TYPE: 107-107
CONSTRUCTION TYPE: 108-108	CONSTRUCTION TYPE: 109-109
CONSTRUCTION TYPE: 110-110	CONSTRUCTION TYPE: 111-111
CONSTRUCTION TYPE: 112-112	CONSTRUCTION TYPE: 113-113
CONSTRUCTION TYPE: 114-114	CONSTRUCTION TYPE: 115-115
CONSTRUCTION TYPE: 116-116	CONSTRUCTION TYPE: 117-117
CONSTRUCTION TYPE: 118-118	CONSTRUCTION TYPE: 119-119
CONSTRUCTION TYPE: 120-120	CONSTRUCTION TYPE: 121-121

APPLICABLE CODES CITY OF Des Moines, IOWA

1. BUILDING CODE	2015 INTERNATIONAL BUILDING CODE (IBC) WITH 2018 AMENDMENTS
2. FIRE CODE	2015 INTERNATIONAL FIRE CODE (IFC) WITH 2018 AMENDMENTS
3. ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC) WITH 2018 AMENDMENTS
4. MECHANICAL CODE	2015 INTERNATIONAL MECHANICAL CODE (IMC) WITH 2018 AMENDMENTS
5. PLUMBING CODE	2015 INTERNATIONAL PLUMBING CODE (IPC) WITH 2018 AMENDMENTS
6. FUEL GAS CODE	2015 INTERNATIONAL FUEL GAS CODE (IFGC) WITH 2018 AMENDMENTS
7. FUEL GAS CODE	2015 INTERNATIONAL FUEL GAS CODE (IFGC) WITH 2018 AMENDMENTS
8. FUEL GAS CODE	2015 INTERNATIONAL FUEL GAS CODE (IFGC) WITH 2018 AMENDMENTS
9. FUEL GAS CODE	2015 INTERNATIONAL FUEL GAS CODE (IFGC) WITH 2018 AMENDMENTS
10. FUEL GAS CODE	2015 INTERNATIONAL FUEL GAS CODE (IFGC) WITH 2018 AMENDMENTS

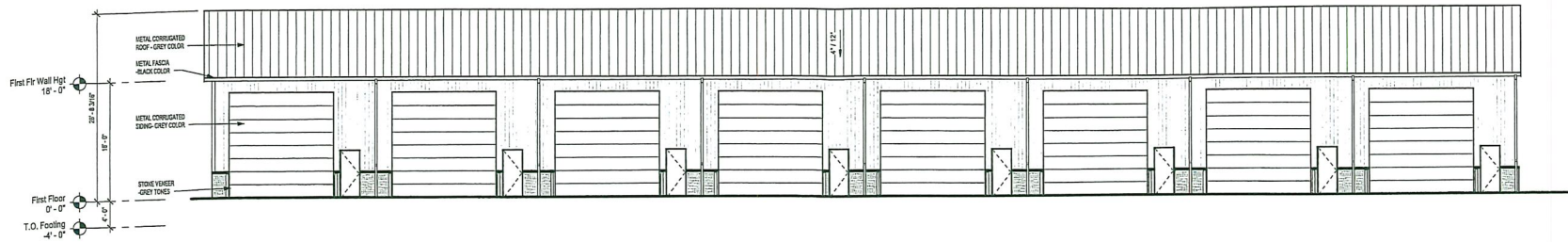
DESIGNER'S NOTE: THE DESIGNER HAS REVIEWED THE EXISTING CONDITIONS AND FOUND THEM TO BE IN GOOD CONDITION.

8-BAY BUILDING
Airport Crossing Flex Warehouse
7600 SW 22nd Street
Des Moines, Iowa

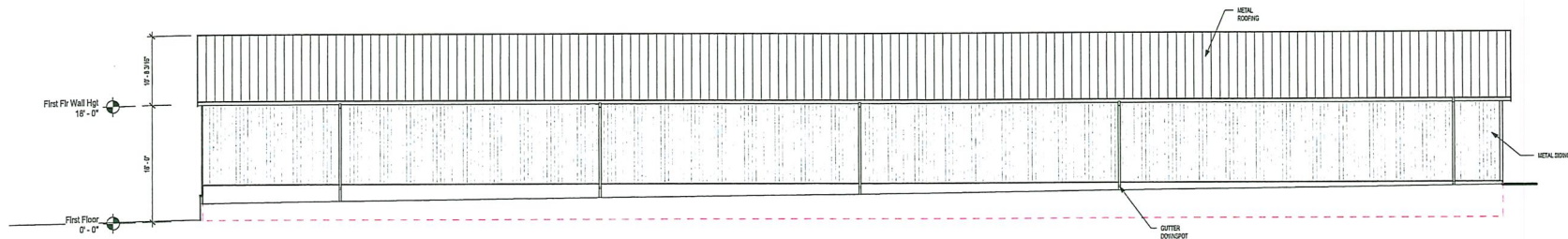
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DATE: 04-22-21
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DATE: 04-22-21
DATE: 04-22-21

Cover Page

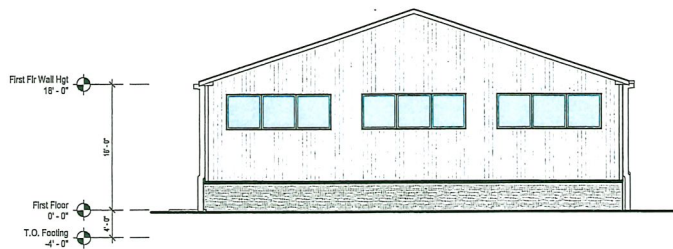
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A0



2 FRONT ELEVATION
Scale: 1/8" = 1'-0"

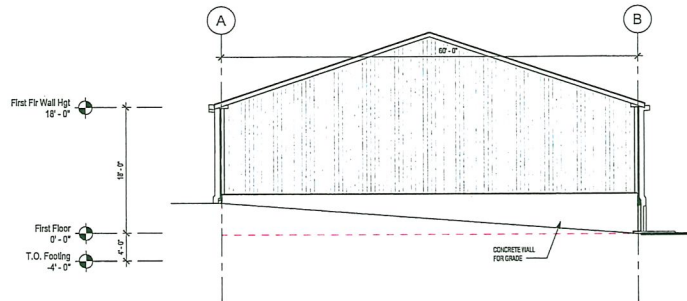


1 REAR ELEVATION
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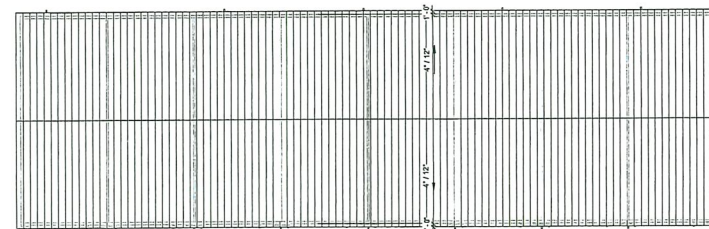


1 RIGHT ELEVATION
Scale: 1/8" = 1'-0"

TRANSPARENT GLASS REQUIREMENT (WALL STREET FACING)
1000 SQUARE FEET STREET FACING WALL
1000' x 10' GLASS REQ. = 20000 SQUARE FEET OF GLASS REQD. TOTAL
(10' x 10' WINDOWS = 100 SQUARE FEET)
(20' TOTAL WINDOWS = 200 SQUARE FEET (200 x 10 FT REQD))



2 LEFT ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF PLAN
Scale: 1/16" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	13200 SF

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1100 SE ALPINE ROAD SUITE 400A SIOUX
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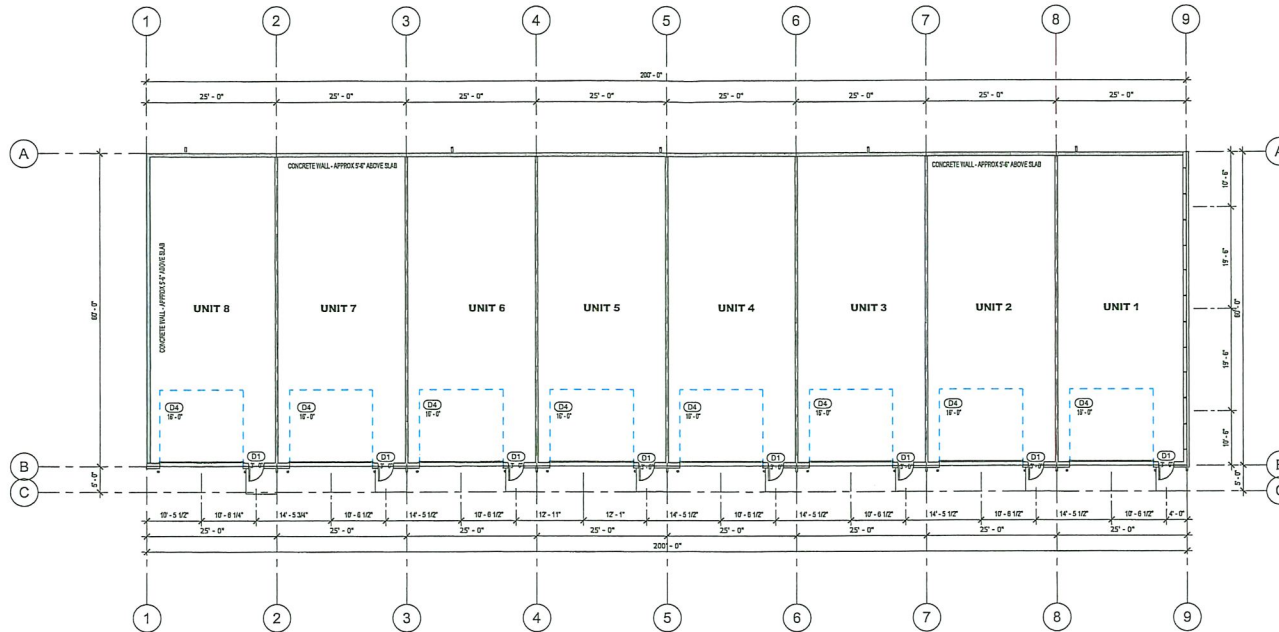
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ISSUE DATE:
DATE: 11-18-20
DATE: 02-22-21
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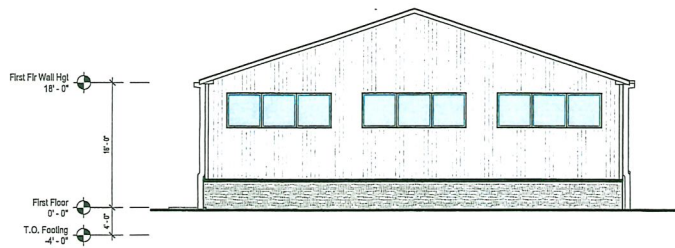
Elevations

As indicated
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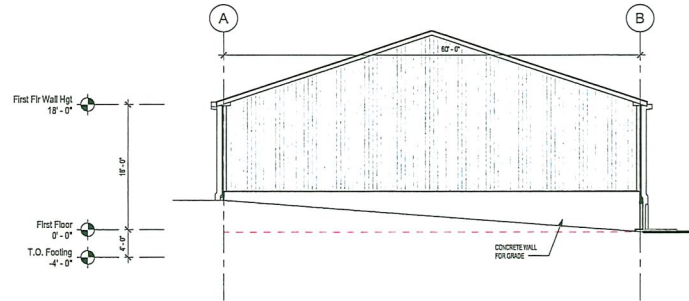


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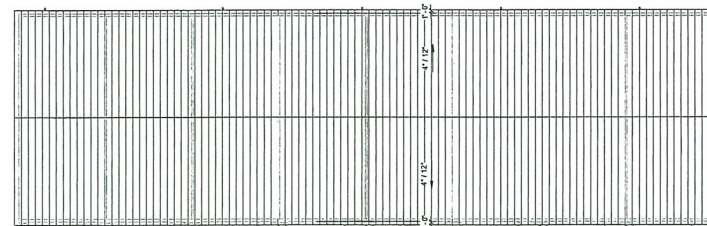


1 RIGHT ELEVATION
Scale: 1/8" = 1'-0"

TRANSPARENT GLASS REQUIREMENT (RFD) STREET FACING
100% SQUARE FEET STREET FACING WALL
100% 100% GLASS REQ = 200 IS SQUARE FEET OF GLASS REQ. TOTAL
(1) 10.5 11000000 = 10 SQUARE FEET
(2) TOTAL WINDOWS = 225 SQUARE FEET (200 AS 50 FT REQ)



2 LEFT ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF PLAN
Scale: 1/8" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	132007 SF



PLUM DESIGN SERVICES
1100 S. ALEXIS ROAD, WINNEBAGO, IOWA 52093
TELEPHONE 515.978.6260 FAX 515.978.6261

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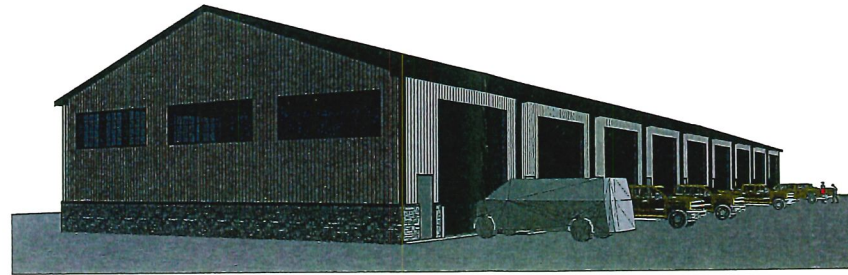
PROJECT ID:
POS 5053

ISSUE DATE:
DATE: 11-18-20
DATE: 02-22-21
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Elevations

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Airport Crossing Flex Warehouse

PROJECT ADDRESS
7600 SW 22nd Street
Des Moines, Iowa



PLUM DESIGN SERVICES
1100 SE ALICE'S ROAD Waukee, IA 50263
TELEPHONE 515 978 6260 FAX 515 978 6261

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Airport Crossing Flex Warehouse
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PROJECT ID:
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Cover Page

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A0

PROJECT TEAM		SHEET INDEX		BUILDING INFORMATION																	
ARCHITECTURAL COMPANY NAME: PLUM BUILDING SYSTEMS COMPANY ADDRESS: 1100 SE ALICE'S ROAD WAUKEE, IOWA 50263 PHONE: 515/978-6260 FAX:		MECHANICAL CONTRACTOR COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -		STRUCTURAL DRAWING LIST PAGE NO. PAGE NAME AS Cover Page AS.1 Building Code Review AS.2 Accessibility Standards AS.3 Code Review - Area & Occupancy AS.4 Code Review - Separation AS.5 Code Review - Egress & ADA Review AS.6 Wall Types AS.7 Door Schedule AS.8 Elevations AS.9 Elevations AS.10 Elevation Details AS.11 First Floor Overview AS.12 Stair AS.13 Building Sections AS.14 Party Wall Details AS.15 3D VIEWS																	
STRUCTURAL COMPANY NAME: BAUER RICHARDS ENGINEERING, LLC COMPANY ADDRESS: 4710 GRAND AVENUE DES MOINES, IOWA 50312 PHONE: - FAX: -		ELECTRICAL CONTRACTOR COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -		GROSS AREA SCHEDULE <table border="1"> <thead> <tr> <th>Level</th> <th>NAME</th> <th>SQ. FT.</th> </tr> </thead> <tbody> <tr> <td>First Floor</td> <td>IX Occupancy</td> <td>24015 SF</td> </tr> <tr> <td>Grand Total</td> <td></td> <td>24015 SF</td> </tr> </tbody> </table>		Level	NAME	SQ. FT.	First Floor	IX Occupancy	24015 SF	Grand Total		24015 SF							
Level	NAME	SQ. FT.																			
First Floor	IX Occupancy	24015 SF																			
Grand Total		24015 SF																			
CIVIL ENGINEER COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -		PLUMBING CONTRACTOR COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -		APPLICABLE CODES CITY OF Des Moines, IOWA <table border="1"> <tbody> <tr> <td>1. BUILDING CODE</td> <td>2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS</td> </tr> <tr> <td>2. FIRE CODE</td> <td>2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS</td> </tr> <tr> <td>3. MECHANICAL CODE</td> <td>2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS</td> </tr> <tr> <td>4. ELECTRICAL CODE</td> <td>2017 NATIONAL ELECTRICAL CODE (NEC) WITH STATE AMENDMENTS</td> </tr> <tr> <td>5. PLUMBING CODE</td> <td>2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS</td> </tr> <tr> <td>6. ENERGY CODE</td> <td>2012 INTERNATIONAL ENERGY AND CONSERVATION CODE, WITH LOCAL AND STATE AMENDMENTS</td> </tr> <tr> <td>7. FUEL GAS CODE</td> <td>2015 INTERNATIONAL FUEL CODE</td> </tr> <tr> <td>8. OCCUPANTALLY 2009 (ADA STANDARDS)</td> <td>2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</td> </tr> </tbody> </table>		1. BUILDING CODE	2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS	2. FIRE CODE	2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS	3. MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS	4. ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC) WITH STATE AMENDMENTS	5. PLUMBING CODE	2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS	6. ENERGY CODE	2012 INTERNATIONAL ENERGY AND CONSERVATION CODE, WITH LOCAL AND STATE AMENDMENTS	7. FUEL GAS CODE	2015 INTERNATIONAL FUEL CODE	8. OCCUPANTALLY 2009 (ADA STANDARDS)	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
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HVAC/PLUMBING/ELECTRICAL/DESIGN/ENERGY REVIEW COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -		SPRINKLER SYSTEMS CONTRACTOR COMPANY NAME: - COMPANY ADDRESS: - PHONE: - FAX: -		VICINITY LOCATION <div style="border: 1px solid black; height: 100px; width: 100%;"></div>																	
<div style="border: 1px solid black; height: 100px; width: 100%;"></div>		PROJECT LOCATION <div style="border: 1px solid black; height: 100px; width: 100%;"></div>																			

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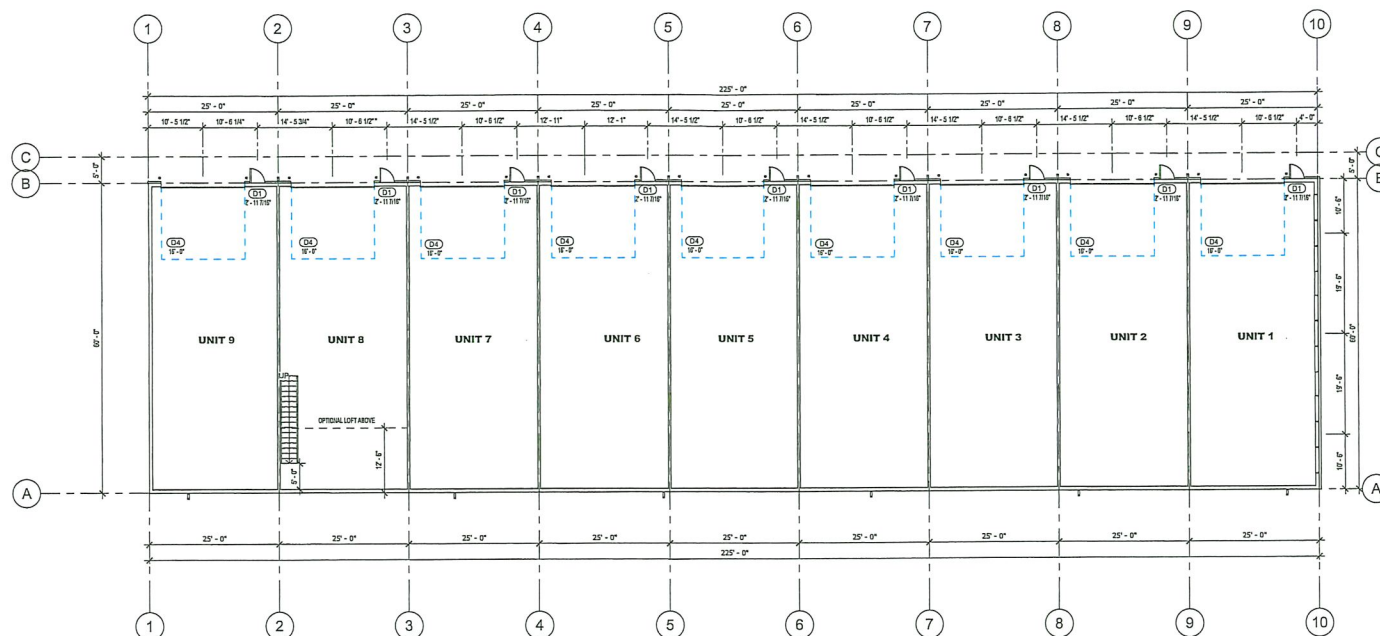
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DATE: 02-19-20
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First Floor Overview

3/32" = 1'-0"

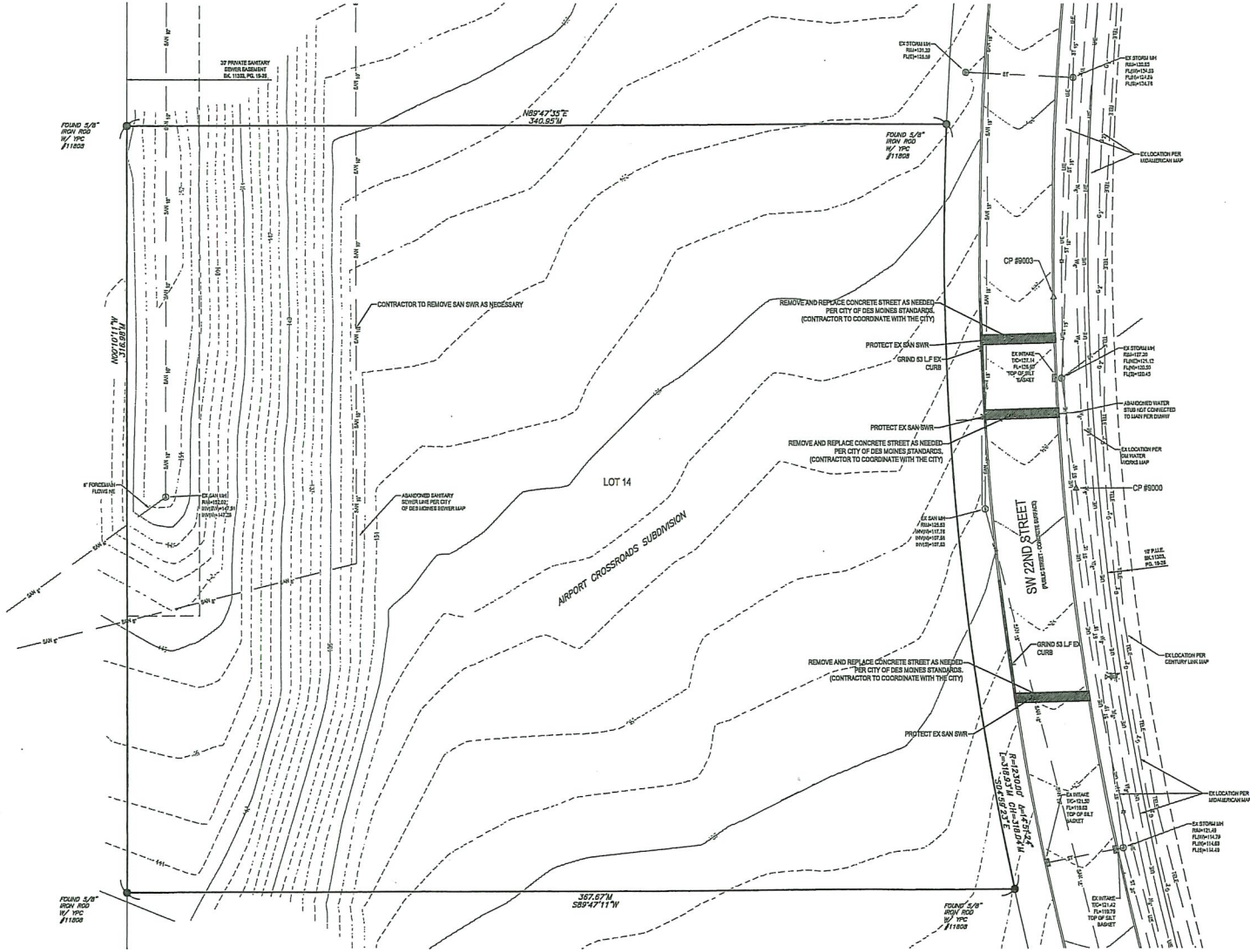
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1 First Floor
Scale: 3/32" = 1'-0"

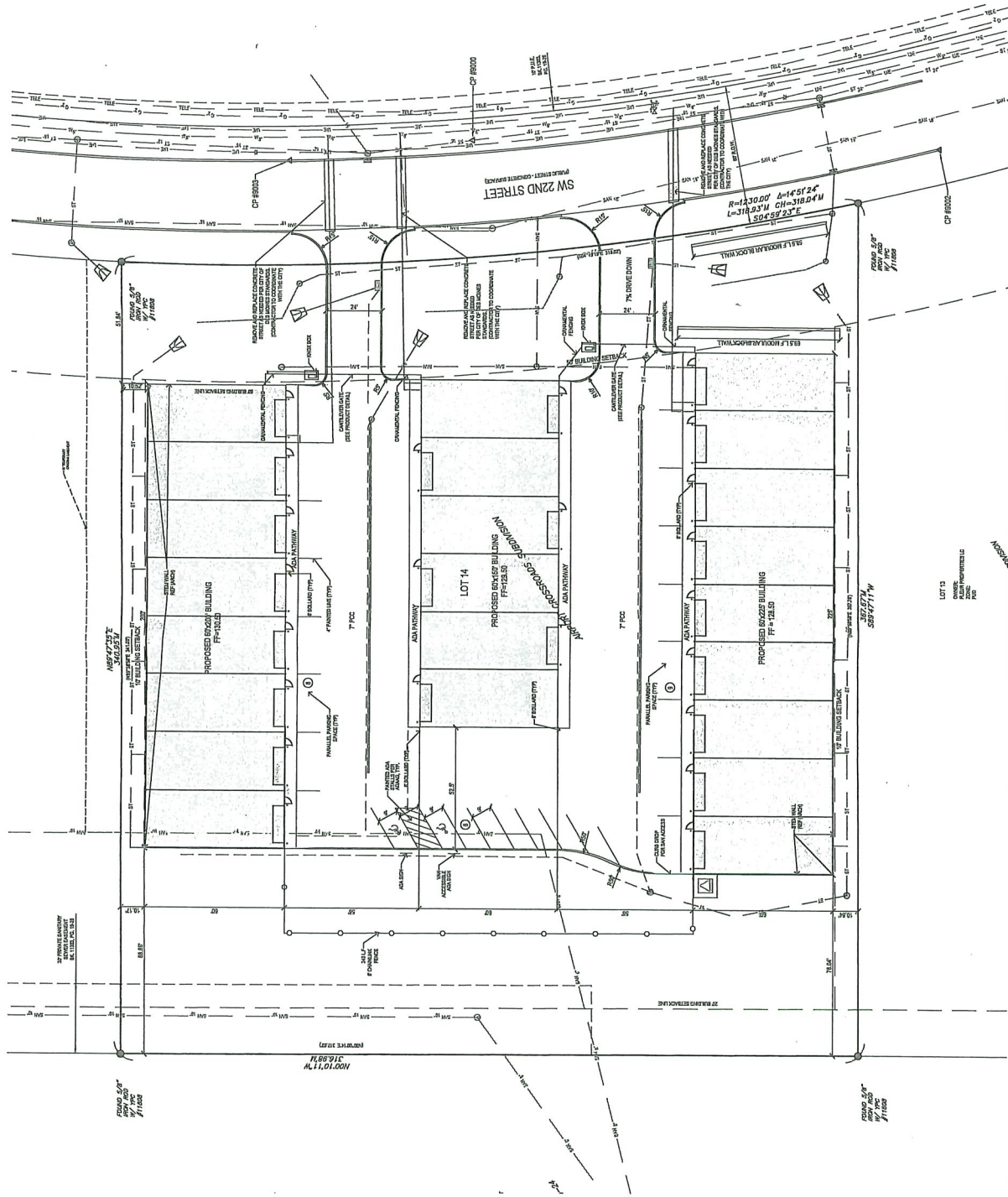
2/5/2021 3:51:26 PM LALAND PROJECTS 2020-2023 ICDWINGCL1 DEMO.DWG



C1.1

DEMO PLAN

NOTES:
NO DUMPSTER WILL BE PROVIDED ON SITE WHICH WOULD REQUIRE THE NEED FOR A DUMPSTER ENCLOSURE



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Civil Engineering & Land Surveying
Established 1956

AIRPORT CROSSROADS CONDOS
DES MOINES, IA

REFERENCE NUMBER	
DRAWN BY: JMR	
CHECKED BY: J.E.J.	
REVISION DATE 12-23-20 1ST SUBMITTAL 12-23-21 2ND SUBMITTAL	
PROJECT NUMBER 200310	
SHEET NUMBER C2.1	

2/25/2021 3:52:45 PM L:\LAND PROJECTS 2020\200016\DWG\CI GRADING.DWG

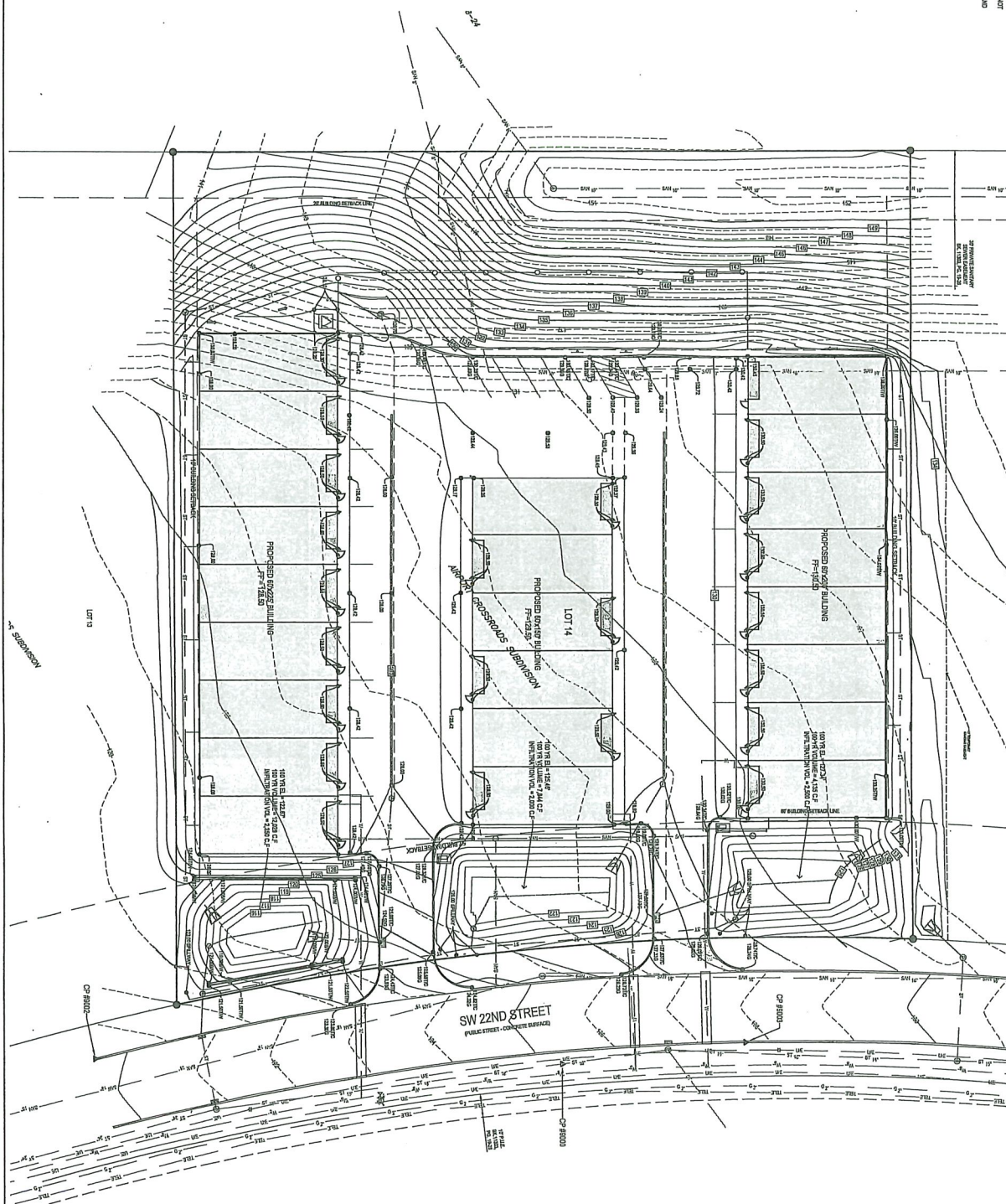
GRADING LEGEND:

EXISTING CONTOUR	— 15' —
FINISHED GRADING ELEVATION	— 15.00 —
TOP OF CURB ELEVATION	— 15.00 —
OUTLET ELEVATION	— 15.00 —
TOP OF WALL ELEVATION	— 15.00'W —
BOTTOM OF WALL ELEVATION	— 15.00'W —
EDGE OF WALK ELEVATION	— 15.00'W —
TOP OF STEEP ELEVATION	— 15.00'W —
BOTTOM OF STEEP ELEVATION	— 15.00'W —

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GRADING ELEVATION AT THE TOP AND BOTTOM OF THE WALL.

GRAPHIC SCALE

A horizontal scale bar with alternating black and white segments. It is marked with '0', '10', '20', and '40' at regular intervals.



GRADING PLAN

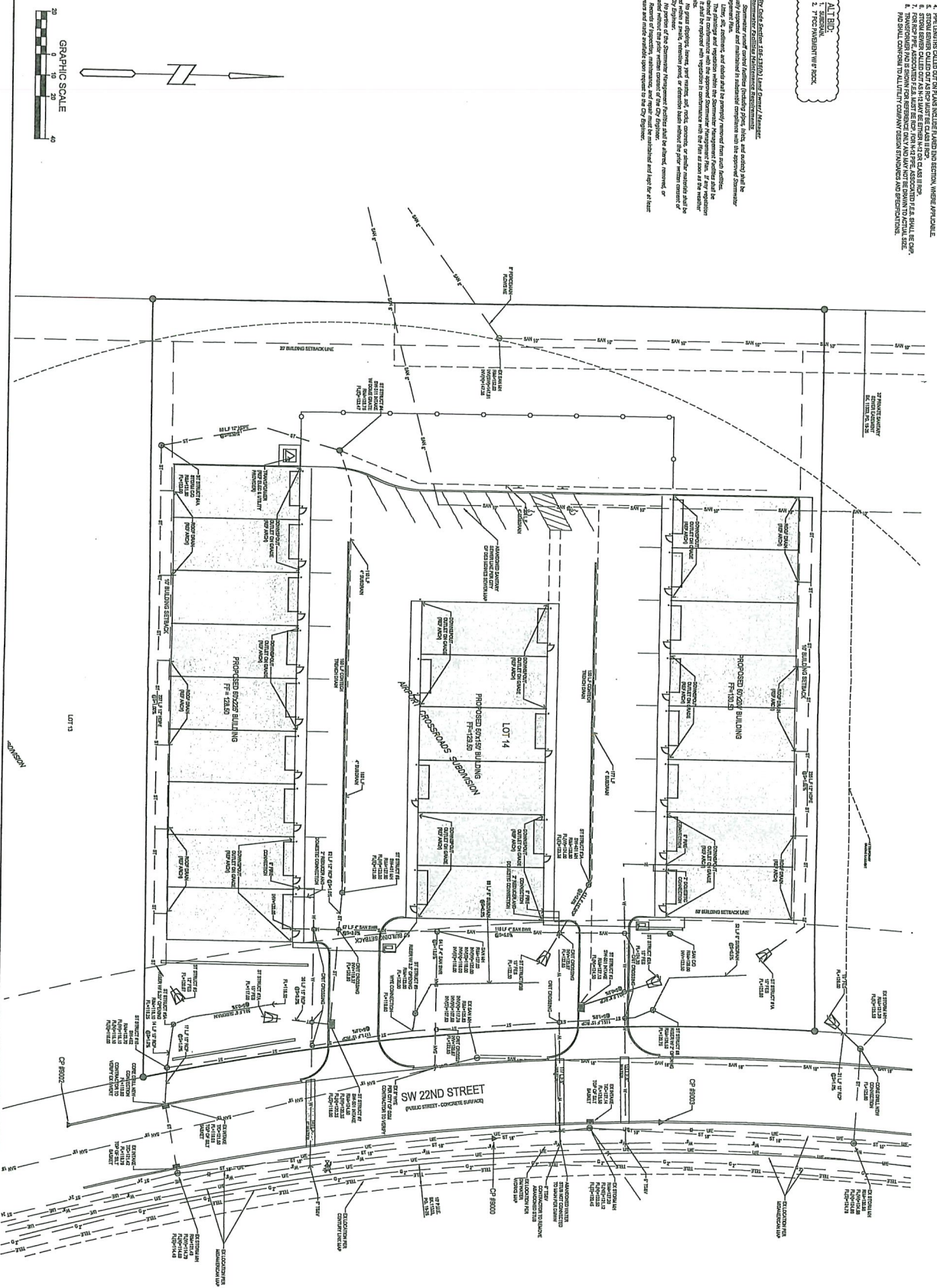


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2/25/2021 3:53:19 PM L:\LAND PROJECTS 2020\202310\DWG\CA UTILITY.DWG

2. ALL REQUESTS FOR CHANGES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
3. ALL WIRING SHALL BE DONE WITHIN A MINIMUM OF 18" OF COVER UNLESS NOTED OTHERWISE.
4. PER HDBOOK APPROVAL, THERE SHALL BE NO TIE, BRANCH, WAVE AND INTERMEDIATE.
5. PINE ENDINGS CALLED OUT SHALL INCLUDE PAPER AND ELECTRICAL WHERE APPLICABLE.
6. STRONG ENDINGS CALLED OUT SHALL INCLUDE CLASS 1 AND 2.
7. STRONG ENDINGS CALLED OUT AS 1 N MAY BE EITHER CLASS 1 OR CLASS 2 IF NOT NOTED OTHERWISE.
8. FOR 18" PINE, ASSOCIATED F.E.S. MUST BE 1/2" OR MORE IN DIAMETER.
9. TRANSDUCERS ARE TO BE SPOKE FOR REFERENCE ONLY AND NOT BEING TIED TO ACTUAL SIZE.
10. PINE SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

2. 7" FCC PAVEMENT WITH 6" ROCK.

Property Code Section 106-135(h) Land Owner/ Manager[illegible]

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UTILITY PLAN



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200310

SHEET NUMBER:
C4.1

12-23-20 1ST SUBMITT.
02-23-21 2ND SUBMITT.

CHECKED BY:
JEL

DRAWN BY:

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LANDSCAPE NOTES:

1. ALL BODINGA LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOIL ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE, SOIL LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z66.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
12. SPACE OUT EDGE AROUND ALL SHRUB PLANTING BEDS.
13. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
14. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF PROJECT AREA 116,111 SF
TOTAL REQUIRED OPEN SPACE (25%) 27,528 SF

REQUIRED LANDSCAPING (PER FUR)
REQUIRED TREES (3 PER 1,000 SF OF REQUIRED OPEN SPACE) 19
- NOTE: ADDITIONAL 50% FOR TAX ABATEMENT 23 TOTAL 3
100: 2" - 3" CAL 3
300: 400: 2" - 3" CAL (STREET TREES - SEE BELOW) 9
BALANCE: 1" - 10" ORNAMENTAL OR 1" CAL 17
REQUIRED SHRUBS (2 PER 1,000 SF OF REQUIRED OPEN SPACE) 38
- NOTE: ADDITIONAL 50% FOR TAX ABATEMENT 42 TOTAL 4
18" - 24" BALLED & BURLAP OR CONTAINER GROWN 37
TOTAL TREES PROVIDED 45
TOTAL SHRUBS PROVIDED 42

STREET TREE REQUIREMENTS
ONE TREE EVERY 30' - COUNTED TOWARDS REQUIRED LANDSCAPING 8

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	OVERSTORY	DECIDUOUS TREES	SIZE	ROOT	NOTES
WD	2	WHITE OAK	QUERCUS ALBA	30" CAL	B&B	8"	B&B	MAT CHED SPECIMENS
KC	3	KENTUCKY COFFEE TREE	GYMOCALOUS DIOICUS	20" CAL	B&B	8"	B&B	MAT CHED SPECIMENS
SH	5	SKYLINE HONER LOCUST	GLENNIA TRICANTING INERUS SKYLINE	20" CAL	B&B	8"	B&B	MAT CHED SPECIMENS
RO	2	RED OAK	QUERCUS RUBRA	20" CAL	B&B	8"	B&B	MAT CHED SPECIMENS
EVERGREEN TREES								
WP	11	WHITE PINE	PAVUS STROBUS	8"	B&B	8"	B&B	FULL FORM TO GROUND
NS	8	NORWAY SPRUCE	PICEA ABIES	6"	B&B	8"	B&B	FULL FORM TO GROUND
BH	6	BLACK HILLS SPRUCE	PICEA GLAUCA GENSERA	6"	B&B	8"	B&B	FULL FORM TO GROUND
SHRUBS								
DK	6	DWARF KORMAN LILAC	SPYRIGAUEREN PALABRY	8"	CONT	8"	CONT	FULL FORM - MAT CHED
LD	14	LITTLE LEAF NINEBARK	PHYRROCARPUS CHILIPOLUS LITTLE LEAF	8"	CONT	8"	CONT	FULL FORM - MAT CHED
AC	14	PLUME CORYMB	ABIES ALBA PLUME	8"	CONT	8"	CONT	FULL FORM - MAT CHED
AW	12	ANTHONY WAT GREN SPURIA	SPURIA BOMALDA WATSONY WATSON	8"	CONT	8"	CONT	FULL FORM - MAT CHED

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SOODED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ONLY CLIMBING OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

- NOTE:
- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 515-283-4185.
 - ALL WIRE, TWINE, AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
 - NO STAKING OF STREET TREES IS ALLOWED.

DIAGRAM: PROPER TREE PLANTING

- Step 1 - Remove sod entirely from site. Dig hole 24" wider than root ball.
- Step 2 - Peel back rope/burlap/legs and remove sufficient soil to expose root flare.
- Step 3 - Measure from root flare to bottom of root ball.
- Step 4 - Dig hole only to required depth to allow root flare to show at final grade.
- Step 5 - Remove lower 1/3 of wire cage.
- Step 6 - Set tree in planting hole. Support with some soil, then remove entire balance of wire cage and top 3/4 of burlap.
- Step 7 - Backfill 2/3 of loose soil. Use water to settle soil. DO NOT tamp or step on soil.
- Step 8 - Backfill balance and water a second time.
- Step 9 - Excess soil may be used to create a berm/hauser outside of root ball.
- Step 10 - add 2-4" of wood mulch and do final watering.

DO NOT set top of root ball at finished grade. It is essential that the root flare be exposed before planting, so the tree can be set to show root flare at finished grade.

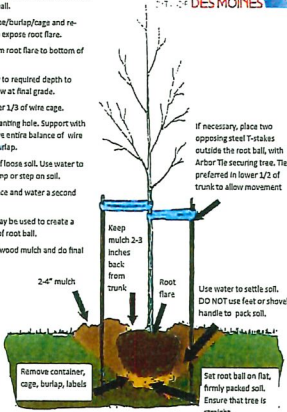
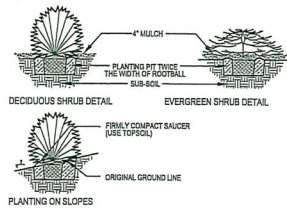
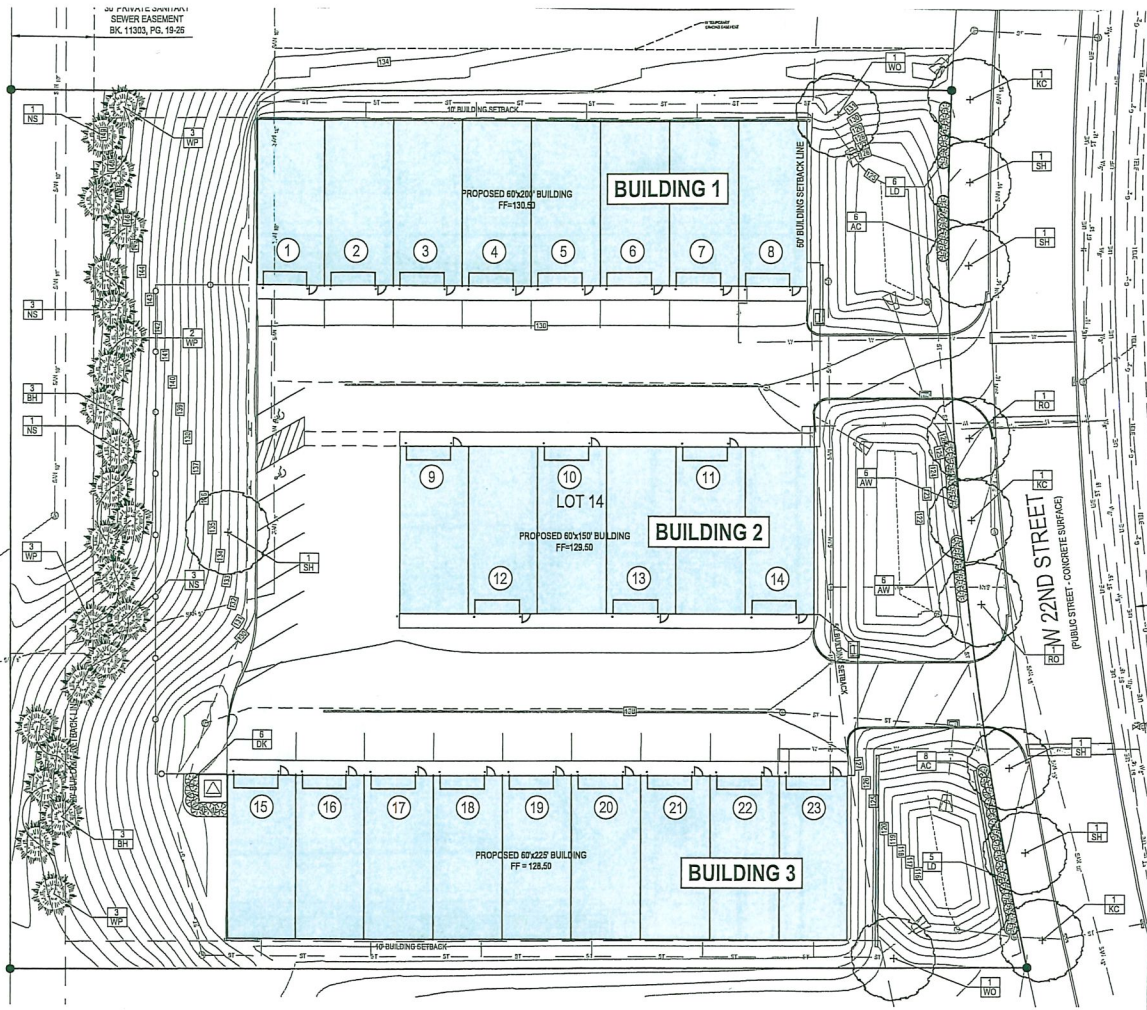


Image Courtesy of International Society of Arboriculture



SHRUB PLANTING (TYP)
SCALE: NOT TO SCALE



I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. IOWA REGISTRATION NO. 449.
BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2022

SIGNED: _____ DATE: _____



Bishop Engineering
"Planting Your Successful Development"
3501 104th Street
Des Moines, Iowa 50325-3825
Phone: (515) 276-4467 Fax: (515) 276-4217
Civil Engineering & Land Surveying
Established 1959

AIRPORT CROSSROADS CONDOS
DES MOINES, IA

LANDSCAPE PLAN

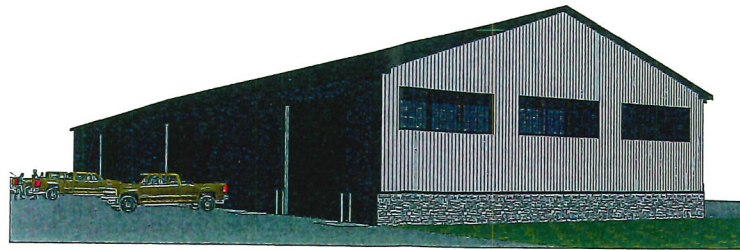
REFERENCE NUMBER:

DRAWN BY: JMR
CHECKED BY: JEJ

REVISION DATE:
12-23-20 1ST SUBMITTAL
20-23-21 2ND SUBMITTAL

PROJECT NUMBER:
200310

SHEET NUMBER:
C5.1



Airport Crossing Flex Warehouse

PROJECT ADDRESS
7600 SW 22nd Street
Des Moines, Iowa

PROJECT TEAM		SHEET INDEX																																																			
ARCHITECTURAL DRAFTING <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>COMPANY NAME</td><td>PLUM BUILDING SYSTEMS</td></tr> <tr><td>COMPANY ADDRESS</td><td>1100 SE ALICEY ROAD WAUKEG, IOWA 50263</td></tr> <tr><td>PHONE:</td><td>515 878 6260</td></tr> <tr><td>FAX:</td><td></td></tr> </table>	COMPANY NAME	PLUM BUILDING SYSTEMS	COMPANY ADDRESS	1100 SE ALICEY ROAD WAUKEG, IOWA 50263	PHONE:	515 878 6260	FAX:		MECHANICAL CONTRACTOR <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>COMPANY NAME</td><td>-</td></tr> <tr><td>COMPANY ADDRESS</td><td>-</td></tr> <tr><td>PHONE:</td><td>-</td></tr> <tr><td>FAX:</td><td>-</td></tr> </table>	COMPANY NAME	-	COMPANY ADDRESS	-	PHONE:	-	FAX:	-	STRUCTURAL <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>COMPANY NAME</td><td>BAKER BROS. ENGINEERING, LLC</td></tr> <tr><td>COMPANY ADDRESS</td><td>4701 GRAND AVENUE DES MOINES, IOWA 50312</td></tr> <tr><td>PHONE:</td><td>-</td></tr> <tr><td>FAX:</td><td>-</td></tr> </table>	COMPANY NAME	BAKER BROS. ENGINEERING, LLC	COMPANY ADDRESS	4701 GRAND AVENUE DES MOINES, IOWA 50312	PHONE:	-	FAX:	-	ELECTRICAL CONTRACTOR <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>COMPANY NAME</td><td>-</td></tr> <tr><td>COMPANY ADDRESS</td><td>-</td></tr> <tr><td>PHONE:</td><td>-</td></tr> <tr><td>FAX:</td><td>-</td></tr> </table>	COMPANY NAME	-	COMPANY ADDRESS	-	PHONE:	-	FAX:	-																		
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6-BAY BUILDING
Airport Crossing Flex Warehouse
7600 SW 22nd Street
Des Moines, Iowa

PROJECT ID:
PDS 5053

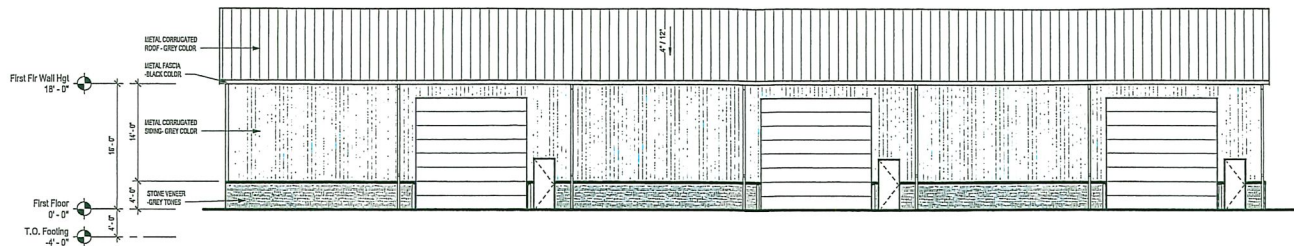
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Elevations

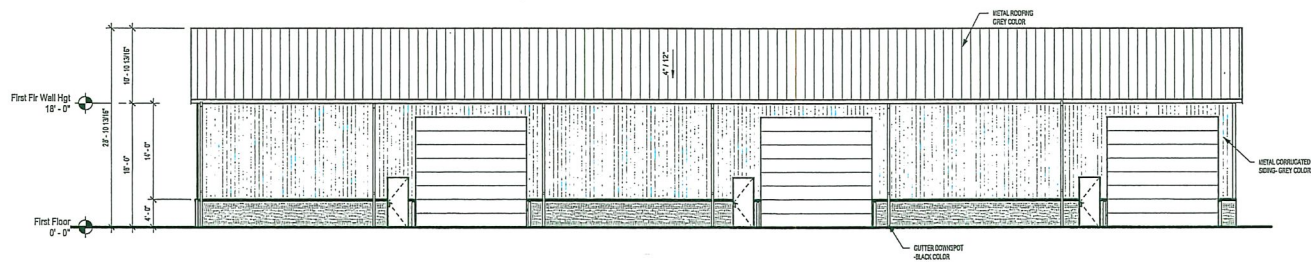
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2 FRONT ELEVATION
Scale: 1/8" = 1'-0"



1 REAR ELEVATION
Scale: 1/8" = 1'-0"



PLUM DESIGN SERVICES
1120 SE ALICE ROAD, WAINWRIGHT, CO 80243
TELEPHONE 315 978 6200 FAX 315 978 6201

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6-BAY BUILDING
Airport Crossing Flex Warehouse
7600 SW 22nd Street
Des Moines, Iowa

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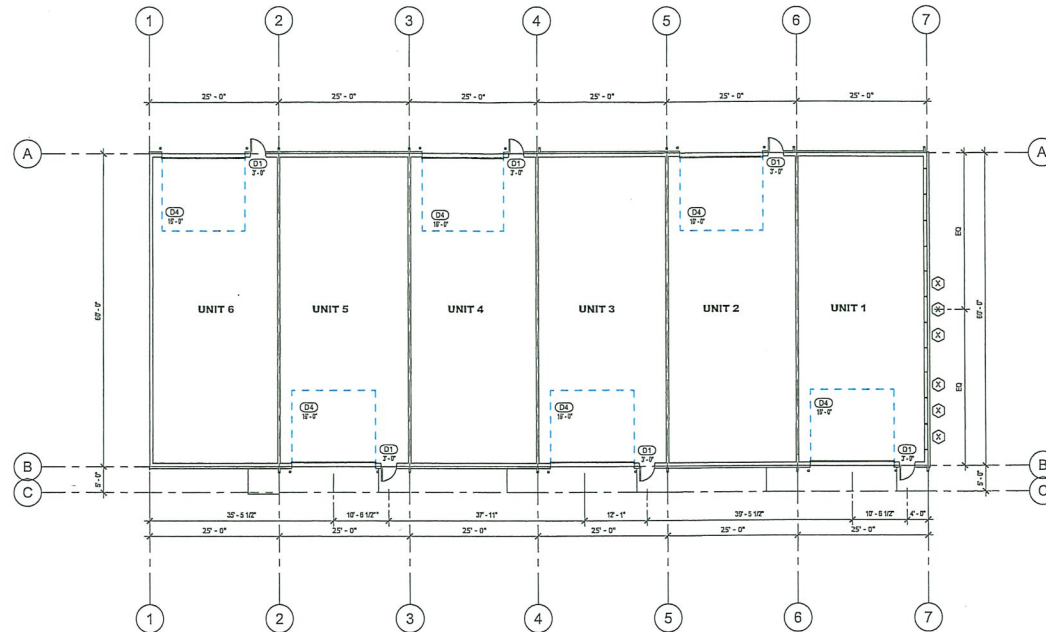
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First Floor Overview

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1 First Floor
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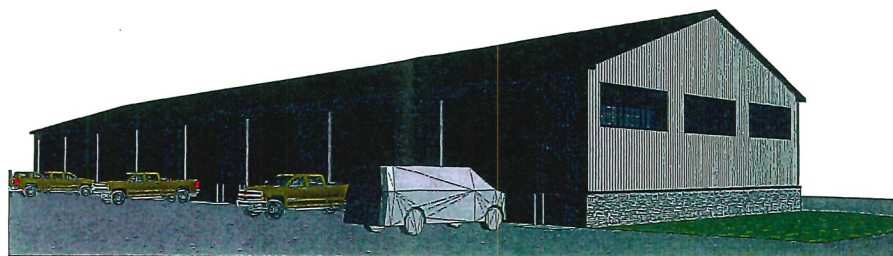
PLUM DESIGN SERVICES
1100 SE ALICE'S ROAD, WAUKEGA, IOWA 50083
TELEPHONE 515 878 6260 FAX 515 878 6261

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Creating where people live



Airport Crossing Flex Warehouse

PROJECT ADDRESS
7600 SW 22nd Street
Des Moines, Iowa

PROJECT TEAM

ARCHITECTURAL

COMPANY NAME PLUM BUILDING SYSTEMS
COMPANY ADDRESS 1100 SE ALICE'S ROAD
WAUKEGA, IOWA 50083
PHONE: 515 878 6260
FAX:

STRUCTURAL

COMPANY NAME RIVER SUNDERS ENGINEERING, LLC
COMPANY ADDRESS 4770 GRAND AVENUE
DES MOINES, IOWA 50312
PHONE:
FAX:

CIVIL ENGINEER

COMPANY NAME
COMPANY ADDRESS
PHONE:
FAX:

HVAC/PLUMBING/ELECTRICAL/ DESIGN/ENERGY REVIEW

COMPANY NAME
COMPANY ADDRESS
PHONE:
FAX:

MECHANICAL CONTRACTOR

COMPANY NAME
COMPANY ADDRESS
PHONE:
FAX:

ELECTRICAL CONTRACTOR

COMPANY NAME
COMPANY ADDRESS
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PLUMBING CONTRACTOR

COMPANY NAME
COMPANY ADDRESS
PHONE:
FAX:

SPRINKLER SYSTEMS CONTRACTOR

COMPANY NAME
COMPANY ADDRESS
PHONE:
FAX:

SHEET INDEX

STRUCTURAL DRAWING LIST

PAGE NO. PAGE NAME

DRAWING LIST

AS	Cover Page
AS.1	Building Code Review
AS.2	Accessibility Standards
AS.3	Code Review - Area & Occupancy
AS.4	Code Review - Separation
AS.5	Code Review - Egress & ADA
AS.6	Code Review - Other
AS.7	Door Schedules
AS.8	Door Types
AS.9	Windows
AS.10	Windows Details
AS.11	Roof Floor Overview
AS.12	Roof
AS.13	Roof Details
AS.14	Party Wall Details
AS.15	LED VENT

BUILDING INFORMATION

OCCUPANCY TYPE: B (Business)

CONSTRUCTION TYPE: VA - Any Unrated Permitted

ALLOWABLE HEIGHT: 40'-0"

ALLOWABLE BUILDING STORIES: 5-0

ALLOWABLE BUILDING AREA: 8-10,000

SEPARATION OF OCCUPANCIES: 0-10-10

SPRINKLER SYSTEM: NFPA 13 SPRINKLER SYSTEM

GROSS AREA SCHEDULE

Level	NAME	SQ. FT.
First Floor	50 Occupancy	10004 SF
Grand Total		10004 SF

APPLICABLE CODES CITY OF Des Moines, Iowa

1. BUILDING CODE	2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS
2. FIRE CODE	2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
3. MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS
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5. PLUMBING CODE	2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS
6. ENERGY CODE	2018 INTERNATIONAL ENERGY AND CONSERVATION CODE WITH LOCAL AND STATE AMENDMENTS
7. FUEL GAS CODE	2018 INTERNATIONAL FUEL GAS CODE
8. OCCUPANCY CLASSIFICATION	2018 ADA STANDARDS FOR ACCESSIBLE DESIGN
FIRE ALARM AND SUPPRESSION PLANS TO BE SUBMITTED TO FIRE MARSHALL OFFICE FOR REVIEW AND APPROVAL	

VICINITY LOCATION

PROJECT
LOCATION

8-BAY BUILDING
Airport Crossing Flex Warehouse
7600 SW 22nd Street
Des Moines, Iowa

PROJECT ID:
PDS 5053

ISSUE DATE:

DATE: 11-18-20

DATE: 02-22-21

DATE:

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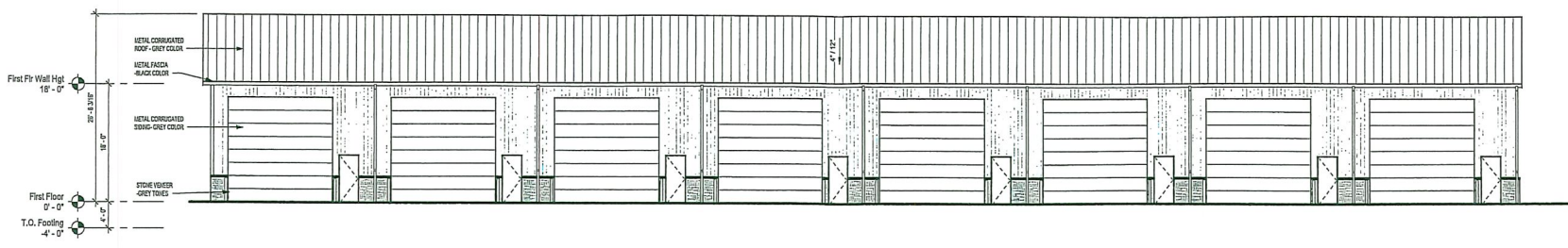
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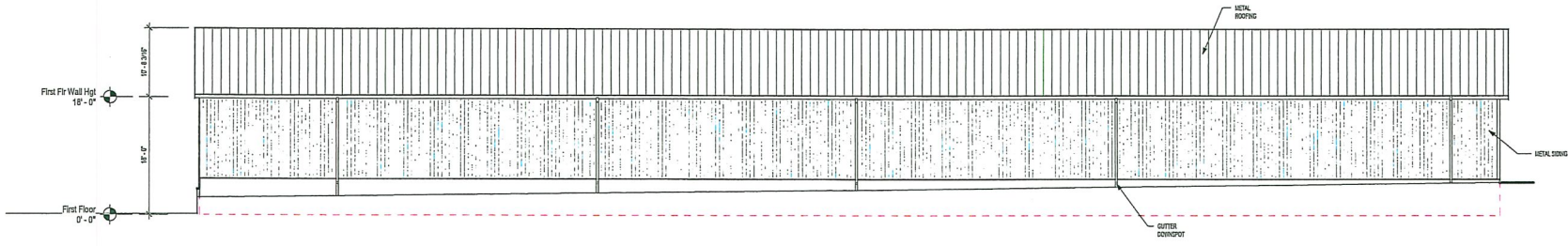
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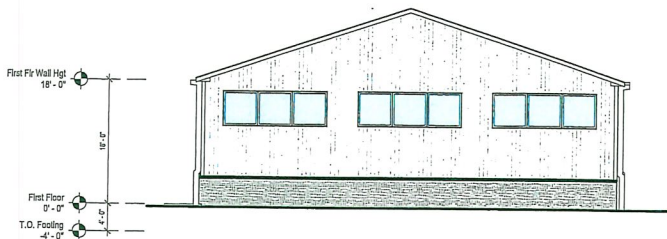
AO



2 FRONT ELEVATION
Scale: 1/8" = 1'-0"

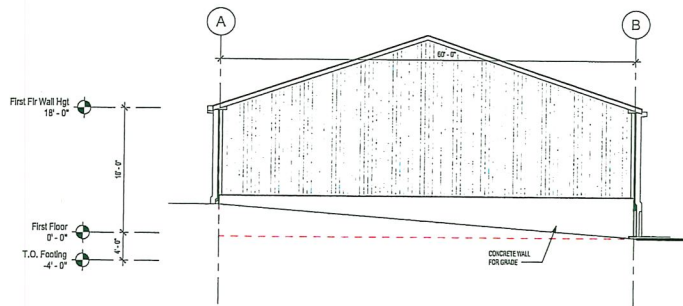


1 REAR ELEVATION
Scale: 1/8" = 1'-0"

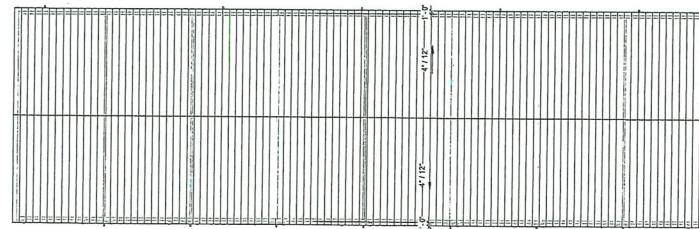


1 RIGHT ELEVATION
Scale: 1/8" = 1'-0"

TRANSPARENT GLASS REQUIREMENT (R20) STREET FACING
1331 SQUARE FEET STREET FACING WALL
1331 SQ. GLASS REQ. = 2011.5 SQUARE FEET OF GLASS REQD. TOTAL
(1) 15.3 WINDOW = 75 SQUARE FEET
(2) TOTAL WINDOWS = 153 SQUARE FEET (2011.5 SQ. FT. REQD.)



2 LEFT ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF PLAN
Scale: 1/16" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	13207 SF



PLUM DESIGN SERVICES
1100 SE ALDER ROAD, WAUWATOSA, WIS. 53093
TELEPHONE 312.978.6260 FAX 312.978.6261

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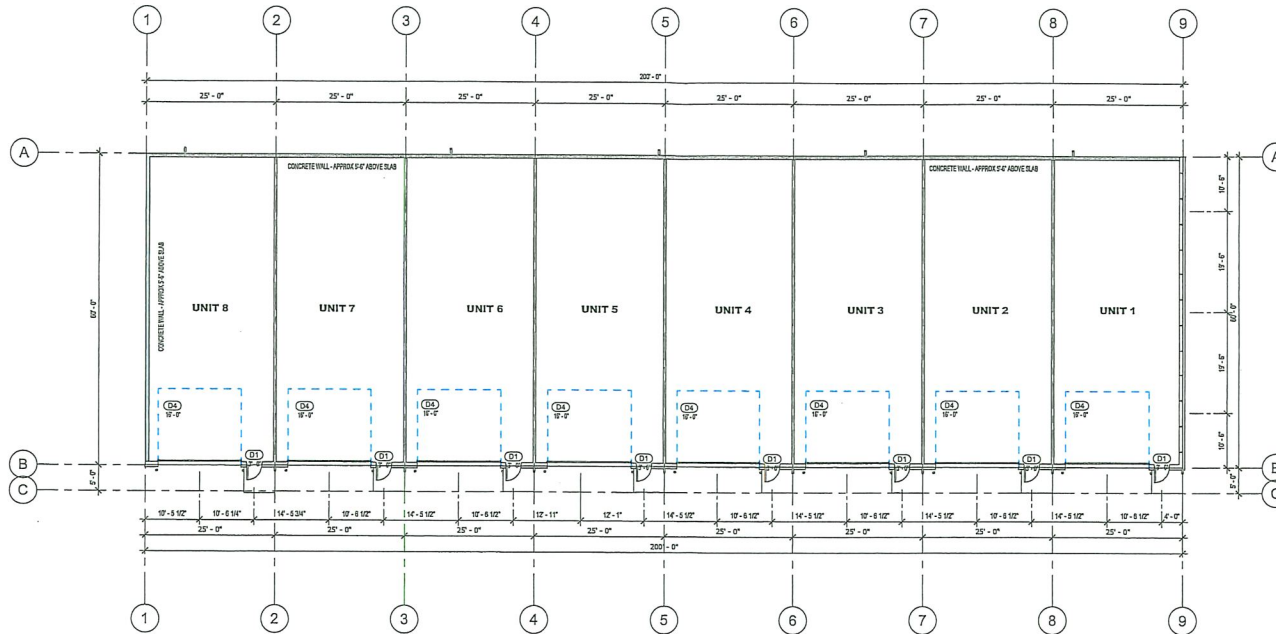
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Des Moines, Iowa

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Elevations

As indicated
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A1.2



1 First Floor
Scale: 3/32" = 1'-0"



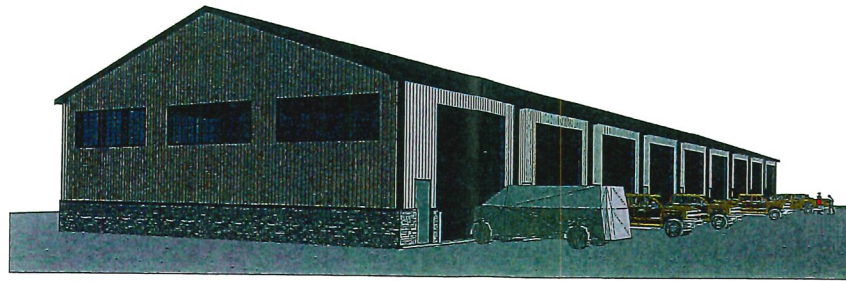
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1100 SE ALICE'S ROAD, WAUKEE, IOWA 50201
TELEPHONE 515 978 6240 FAX 515 978 6241

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Creating where people live



Airport Crossing Flex Warehouse

PROJECT ADDRESS
7600 SW 22nd Street
Des Moines, Iowa

PROJECT TEAM

ARCHITECTURAL

COMPANY NAME PLUM BUILDING SYSTEMS
COMPANY ADDRESS 1100 SE ALICE'S ROAD
WAUKEE, IOWA 50201
PHONE: (515) 978-6240
FAX:

MECHANICAL CONTRACTOR

COMPANY NAME
COMPANY ADDRESS
PHONE:
FAX:

STRUCTURAL DRAWING LIST

PAGE NO. PAGE NAME

DRAWING LIST

AD	Cover Page
AD.1	Building Code Review
AD.2	Accessibility Standards
AD.3	Code Review - Area & Occupancy
AD.4	Code Review - Elevation
AD.5	Code Review - Signage & ADA
AD.6	Code Review - Section
AD.7	Code Review - Detail
AD.8	Code Review - Foundation
AD.9	Code Review - Roof
AD.10	Code Review - Other
AD.11	Code Review - Other
AD.12	Code Review - Other
AD.13	Code Review - Other
AD.14	Code Review - Other
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AD.98	Code Review - Other
AD.99	Code Review - Other
AD.100	Code Review - Other

BUILDING INFORMATION

OCCUPANCY TYPE: B (Business)

DISTRICT TYPE: VA - Any District Permit

ALLOWABLE HEIGHT: 40' 0"

ALLOWABLE BUILDING STORES: 4-2

ALLOWABLE BUILDING AREA: 8-30,000

SEPARATION OF OCCUPANCIES: B-1 - None

SPRINKLER SYSTEM: NFPA 13 SPRINKLER SYSTEM

GROSS AREA SCHEDULE		
Level	NAME	SQ. FT.
First Floor	IX Occupancy	24013 SF
Grand Total		24013 SF

APPLICABLE CODES CITY OF Des Moines, IOWA

1. BUILDING CODE	2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS
2. FIRE CODE	2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
3. MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS
4. ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC) WITH STATE AMENDMENTS
5. PLUMBING CODE	2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS
6. ENERGY CODE	2012 INTERNATIONAL ENERGY AND CONSERVATION CODE WITH LOCAL AND STATE AMENDMENTS
7. FUEL GAS CODE	2015 INTERNATIONAL FUEL CODE
8. COMMUNITY A 2009 (ADA STANDARDS) (FOR ACCESSIBLE DESIGN)	2010 ADA STANDARDS (FOR ACCESSIBLE DESIGN)

FIRE ALARM AND SUPPRESSION PLANS TO BE SUBMITTED TO FIRE MARSHAL OFFICE FOR REVIEW AND APPROVAL.

VICINITY LOCATION

PROJECT
LOCATION

9 BAY BUILDING
Airport Crossing Flex Warehouse
7600 SW 22nd Street
Des Moines, Iowa

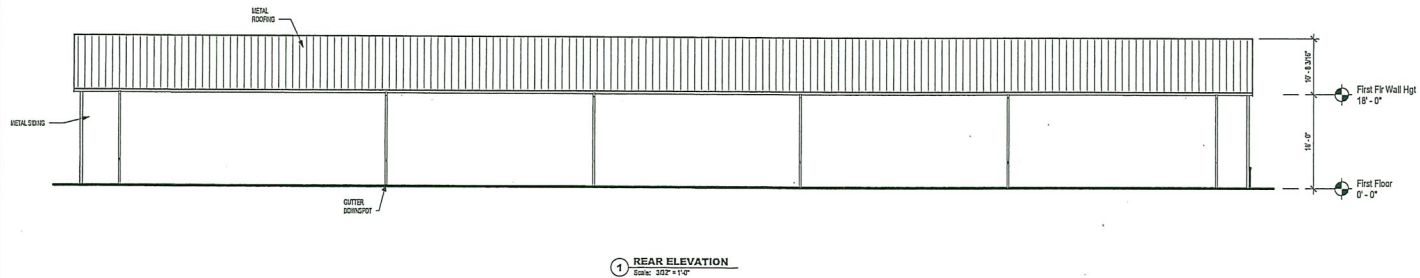
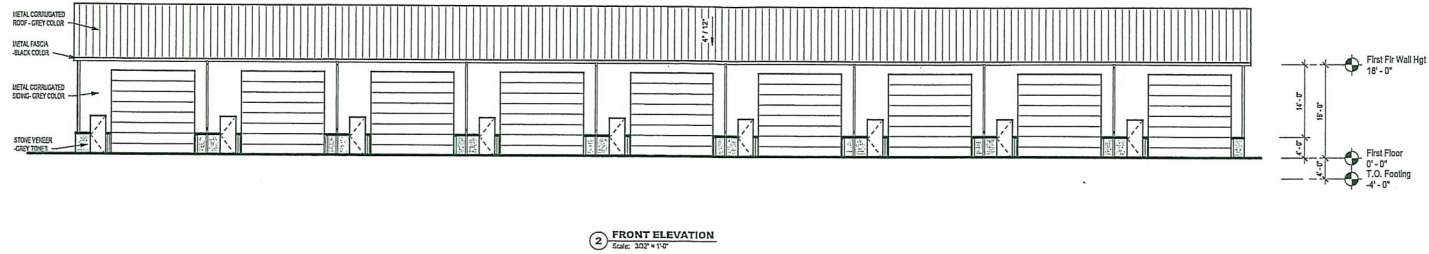
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Cover Page

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PLUM DESIGN SERVICES
1100 E. AUSTIN BLVD. SUITE 200
DES MOINES, IA 50319
TEL: 515.281.1234 FAX: 515.281.1235

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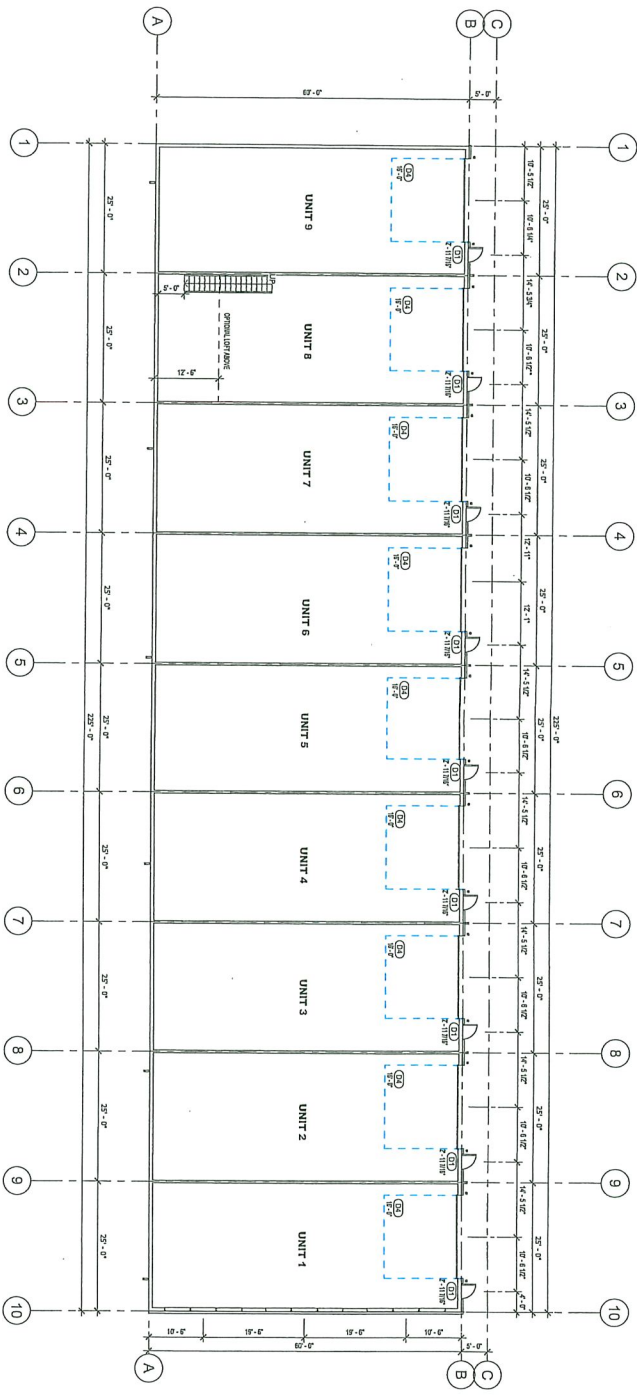
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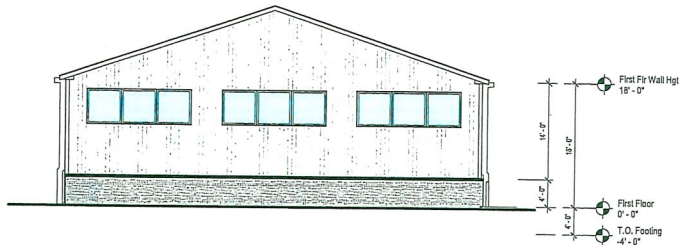
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First Floor Overview

3/32" = 1'-0"
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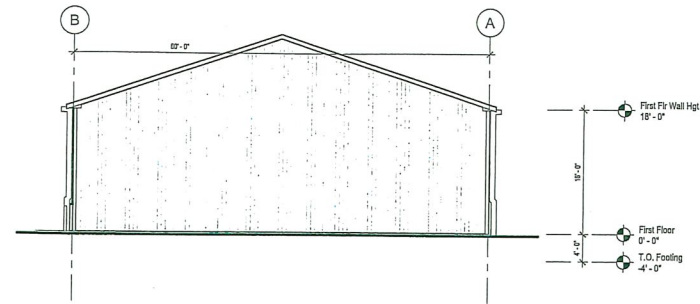


1 First Floor
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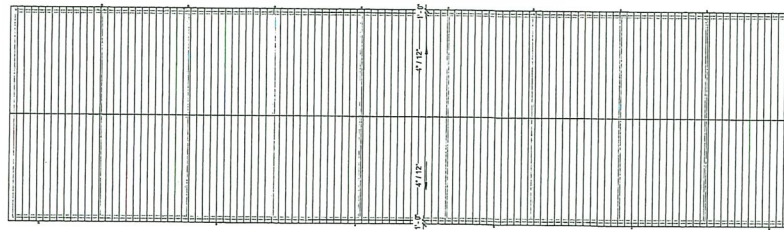


TRANSPARENT GLASS REQUIREMENT (HORIZONTAL GLASSING)
1201 SQUARE FEET STREET FACING TOTAL
1201 "10A" GLASS REQ. + 2080 SQUARE FEET OF GLASS REQD. TOTAL
(15.2 WINDOW + 17 SQUARE FEET)
(2) TOTAL WINDOW + 220 SQUARE FEET (TOTAL 50 FT REQD.)

1 RIGHT ELEVATION
Scale: 1/8" = 1'-0"



2 LEFT ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF PLAN
Scale: 1/16" = 1'-0"

ESTIMATED ROOF SF	
Roof Truss - Metal	14841 SF