



Date May 10, 2021

RECEIVE AND FILE COMMUNICATION FROM THE PLAN AND ZONING COMMISSION REGARDING AMENDMENT TO THE PRELIMINARY PLAT "THREE LAKES ESTATE PHASE II" LOCATED IN THE VICINITY OF 3100 ARMY POST ROAD

WHEREAS, on April 15, 2021, the City of Des Moines Plan and Zoning Commission voted 11-0 for APPROVAL of an Amendment to the Preliminary Plat "Three Lakes Estate Phase II", submitted by J Larson Homes LLC (owner), represented by John Larson (officer), in form on file in the Development Services Department, for property located in the vicinity of 3100 Army Post Road, to allow undeveloped property to be divided into 218 lots for One-Household Living and 64 lots for Semi-Detached One-Household Living, subject to the following conditions:

- 1. Compliance with all administrative review comments.
2. Comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code; and
3. A bond shall be provided to facilitate the future construction of a 5-foot width sidewalk along East Pine Avenue.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, that the attached communication from the City Plan and Zoning Commission is hereby received and filed.

MOVED BY _____ TO ADOPT.

FORM APPROVED: [Signature]
Judy K. Parks-Kruse
Assistant City Attorney

(13-2021-1.28)

Table with 5 columns: COUNCIL ACTION, YEAS, NAYS, PASS, ABSENT. Rows include COWNIE, BOESEN, GATTO, GRAY, MANDELBAUM, VOSS, WESTERGAARD, and TOTAL.

MOTION CARRIED APPROVED

Mayor

CERTIFICATE

I, P. Kay Cmelik, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk



Date May 10, 2021
 Agenda Item 22
 Roll Call # _____

May 4, 2021

Honorable Mayor and City Council
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their April 15, 2021 meeting, the following action was taken regarding a request from J Larson Homes, LLC (owner) represented by John Larson (officer) for review and approval of a Preliminary Plat Amendment "Three Lakes Estates Phase II" for 84.97 acres of property in the vicinity of the 3001 block of East Army Post Road, to allow remaining property in the Three Lakes Estates Phase II Legacy PUD to be divided into 218 One Household Living Lots and 64 Lots for Semi-Detached One Household Living.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 11-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles				X
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed				X
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato				X
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the submitted Preliminary Plat amendment subject to the following:

- 1) Compliance with all administrative comments.

- 2) Comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code.
- 3) A bond shall be provided to facilitate the future construction of a 5-foot width sidewalk along East Pine Avenue. (13-2021-1.28)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the submitted Preliminary Plat amendment subject to the following:

- 1) Compliance with all administrative comments.
- 2) Comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code.
- 3) Revision to show public sidewalks 5-feet in width along East Pine Avenue frontage.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The developer is seeking to resume development of “Three Lakes Estates Phase II” following approval of an amend to the Three Lakes Estates Phase II PUD Conceptual Plan by the City Council in 2019. This amendment allowed for reconfiguration of the street layout and allowance for smaller lot sizes (between 45 and 55 feet in width) for single household lots in the southeastern portion. It also replaced previously approved row and single-household semi-detached units with single household detached dwellings on lots with a minimum 65-foot lot width. This resulted in fewer units overall in the central portion of the PUD.

The submitted plat proposes 218 one household living lots and 64 lots for semi-detached one household living. The existing row townhome area at the southwestern portion was maintained as initially approved with the PUD zoning in 2001. In review of this Preliminary Plat, the Commission is not considering whether the row townhomes, single-household dwellings, or single-household semi-detached dwellings are permitted. These uses were approved with the original rezoning PUD Conceptual Plan in 2001 and the subsequent amendment in 2016.

2. **Size of Site:** 84.9 acres.
3. **Existing Zoning (site):** Three Lakes Estates Phase II “PUD” Planned Unit Development District.
4. **Existing Land Use (site):** Undeveloped land.

5. Adjacent Land Use and Zoning:

North – Pearl Lake Legacy “PUD”, “NX1”, & “F”, Uses are undeveloped agricultural land and regional stormwater basins.

South - “A” & “N2b”, Uses include single-household living dwellings and undeveloped agricultural land.

East - “A”, Use is undeveloped agricultural land.

West – Three Lakes Estates Legacy “PUD”, Uses are single-household living dwellings.

6. General Neighborhood/Area Land Uses: The subject property is located east of the built-out single-family subdivision along the East Army Post Road corridor. It is surrounded on the other three sides with undeveloped agricultural land.

7. Applicable Recognized Neighborhood(s): The subject property is located within the Easter Lake Area Neighborhood. All recognized neighborhoods were notified of the meeting by mailing of the Preliminary Agenda on March 26, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on March 26, 2021 (20 days prior to the hearing) and on April 5, 2021 (10 days prior to the scheduled hearing) to the Easter Lake Area Neighborhood, and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the PUD boundary. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on April 9, 2021.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Easter Lake Area Neighborhood Association mailings were sent to Jim Bollard, 4007 Southeast 26th Street, Des Moines, IA 50320.

8. Relevant Zoning History: The Three Lakes Estates Phase II zoning to “PUD” was originally approved by the City Council on May 7, 2001 by Ordinance No. 13,950. There was a subsequent requested PUD Conceptual Plan amendment known as “The Palms” that was reviewed by the Plan and Zoning Commission on April 3, 2008 to revise townhome design and configuration. This amendment was withdrawn before City Council approval.

A First Amendment was approved by the City Council on September 23, 2019 by Roll Call No. 19-1549, allowing for reconfiguration of the street layout and allowance for smaller lot sizes (between 45 and 55 feet in width) for single household lots in the southeastern portion. It also replaced previously approved row and single-household semi-detached units with larger lot sizes (65 feet) for single household detached dwellings. This amendment was approved subject to the following conditions:

1) Compliance with all administrative comments for final Mylar submittal.

- 2) Addition of a note on the Plan that any development of the Property must comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code.
- 3) Revision to the note to require all public sidewalks to be 5-feet in width.
- 4) Revision of the fence allowance note to also allow up to a 6-foot tall solid wood fence in rear yards and along the frontages of East Army Post and East Pine Avenue for lots that have rear yards abutting those streets.
- 5) Revision to the notes on the Plan to provide the following requirements for single-family and single-family semi-detached dwellings:
 - A) No same single-family or single-family semi-detached house front elevations shall be built on adjacent lots.
 - B) The front façade of any single-family or single-family semi-detached house constructed must contain one of the following:
 - i. A front porch of not less than 60 square feet; or
 - ii. Stone or brick masonry siding covering at least 1/3 of the façade.
 - C) All windows and doors on any single-family or single-family semi-detached house shall have trim that is no less than 4 nominal inches in width.
 - D) The roof on any single-family or single-family semi-detached house constructed shall be of asphalt type shingles or cedar shakes. Standard 3-tab shingles are prohibited.
 - E) On single-family lot sizes less than 65 feet in width the following minimum house sizes shall be constructed:
 - i. Any 1-story house shall be constructed with a minimum of 1,250 square feet of above-grade finished floor area.
 - ii. Any 1-½-story house shall be constructed with a minimum of 1,350 square feet of above-grade finished floor area.
 - iii. Any 2-story house shall be constructed with a minimum of 1,400 square feet of above-grade finished floor area.
 - F) On single-family lot sizes 65 feet in width or greater the following minimum house sizes shall be constructed.
 - i. Any 1-story house shall be constructed with a minimum of 1,400 square feet of above-grade finished floor area.
 - ii. Any 1-½-story house shall be constructed with a minimum of 1,600 square feet of above-grade finished floor area.
 - iii. Any 2-story house shall be constructed with a minimum of 1,800 square feet of above-grade finished floor area.
 - G) Exterior material for any single-family or single-family semi-detached house constructed shall be masonry (brick or stone), vinyl of no less than 0.042 thickness, cedar, masonite, or cement fiber board.
 - H) For any single-family semi-detached dwellings, a brick or stone wainscot should extend along the full side façade on those units where the side faces a public street.
 - I) Building elevations for the Conceptual Plan shall be required to be revised to demonstrate compliance with these provisions.

9. PlanDSM Land Use Plan Designation: Low Density Residential, Low-Medium Density Residential, and Parks and Open Space.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission shall determine if such Preliminary Plat conforms to

the standards and requirements outlined in Chapter 354 of the Iowa Code, and the City Subdivision Ordinance and shall approve, conditionally approve or reject such plat within 45 days after the date of submission to the City Permit and Development Center. Unless the applicant agrees in writing to an extension of time, the Preliminary Plat shall be deemed approved if the Commission does not act within such 45-day period. The Commission's action for approval or conditional approval shall be null and void unless the final plat is submitted to the City Permit and Development Center within 270 days after the date of such action; provided, however, that the Permit and Development Administrator may grant, upon written request of the applicant, up to a 90-day extension for submittal of the final plat to the City Permit and Development Center.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Natural Features:** The PUD area has been rough-graded throughout. However, there are still some timbered areas that remain around the basins, drainageways and fence lines. Tree Protection and Mitigation provisions would be required with any future platting review. Any development of the Property must comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code. This is a requirement of the submitted Preliminary Plat. Sheets 9-11 of the Preliminary Plat show the Tree Removal and Mitigation Plan and the associated Planting Plat for Street Trees for mitigation.
2. **Parks/Trails:** It should be noted that the Preliminary Plat includes the preliminary alignment of a future extension of the Carlisle Trail along East Army Post Road within the existing right-of-way. This trail is to be constructed in 2023 as a public project as part of the City's Capital Improvements Budget.
3. **Stormwater/Drainage:** The Preliminary Plat was reviewed by City Engineering staff in accordance with all requirements in Chapter 106, Section 106-136 and Chapter 42, Section 42-56. This is to ensure the public storm sewer system is designed to meet requirements for flood control and water quality.

The submitted Preliminary Plat provides for a public storm sewer system with collections intakes and mains within the proposed public street network. This system is primarily directed to a private regional stormwater basin designed within proposed Outlot X and Outlot Y. This then would flow to the existing public regional detention basin to the northeast of the property maintained by the City. There is also some existing flowage that would be collected from East Pine Avenue and routes through over land to this basin through easements in the rear yards of lots that are proposed along SE 30th Court and East Rittenhouse Street.

4. **Utilities:** The submitted Preliminary Plat proposes public sanitary and storm sewer along with Des Moines Water Works public water mains within all the proposed streets or within public utility easements within the front yards along the street. These are extended off the existing network from the developed street system.
5. **Traffic:** The proposed plat shows a network of public streets to serve the proposed lots. These streets are consistent with the approved PUD Conceptual Plan. The Preliminary Plat also proposes 5-foot wide sidewalks along all new street frontages except the frontage on the existing East Pine Avenue. A comment from the Traffic

Engineering staff is that the public sidewalk be shown on the East Pine Avenue frontage. This is required by the approved PUD Conceptual Plan. It would be installed with the public improvements associated with the adjoining lots.

SUMMARY OF DISCUSSION

Erik Lundy presented staff report and recommendation.

Will Page asked if the sidewalks are required in part of this development?

Erik Lundy stated if the sidewalks were constructed before the home, they would become damaged by construction. After the home is built, the sidewalks will be constructed.

Edward Arp 2400 86th Street, Urbandale, IA representing Civil Engineering Consultants stated the current layout for this development makes more sense for what the market is today. The sidewalk to be placed along Pine Avenue would be difficult to construct as the gravel road sticks up in the air with ditches on each side. They feel the construction of sidewalk along Pine Avenue should be deferred until an Urban section is developed.

CHAIRPERSON OPENED THE PUBLIC HEARING

No one requested to speak on the item.

CHAIRPERSON CLOSED THE PUBLIC HEARING

Francis Boggus stated he would agree it would be a financial burden to construct a sidewalk that is not connected to an improved urban street and would defer that to a future time.

Will Page asked what a future time would mean?

Jason Van Essen stated the way he understood Francis was that he would strike the East Pine Avenue sidewalk requirement and that at some time in the future the sidewalk would be constructed as part of a City CIP project when the street is reconstructed.

Erik Lundy stated there are bonds within the plat that are associated with sidewalks. They could build the cost of the sidewalk along Pine into the bond but in the future the applicant could come back to ask for release.

Greg Jones stated he would like to have a bond in place for the sidewalk and if it's released in the future nothing would be lost.

COMMISSION ACTION:

Francis Boggus made a motion for approval of the submitted Preliminary Plat amendment subject to the following:

- 1) Compliance with all administrative comments.

- 2) Comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code.
- 3) A bond shall be provided to facilitate the future construction of a 5-foot width sidewalk along East Pine Avenue.

Motion passed: 11-0

Respectfully submitted,



Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

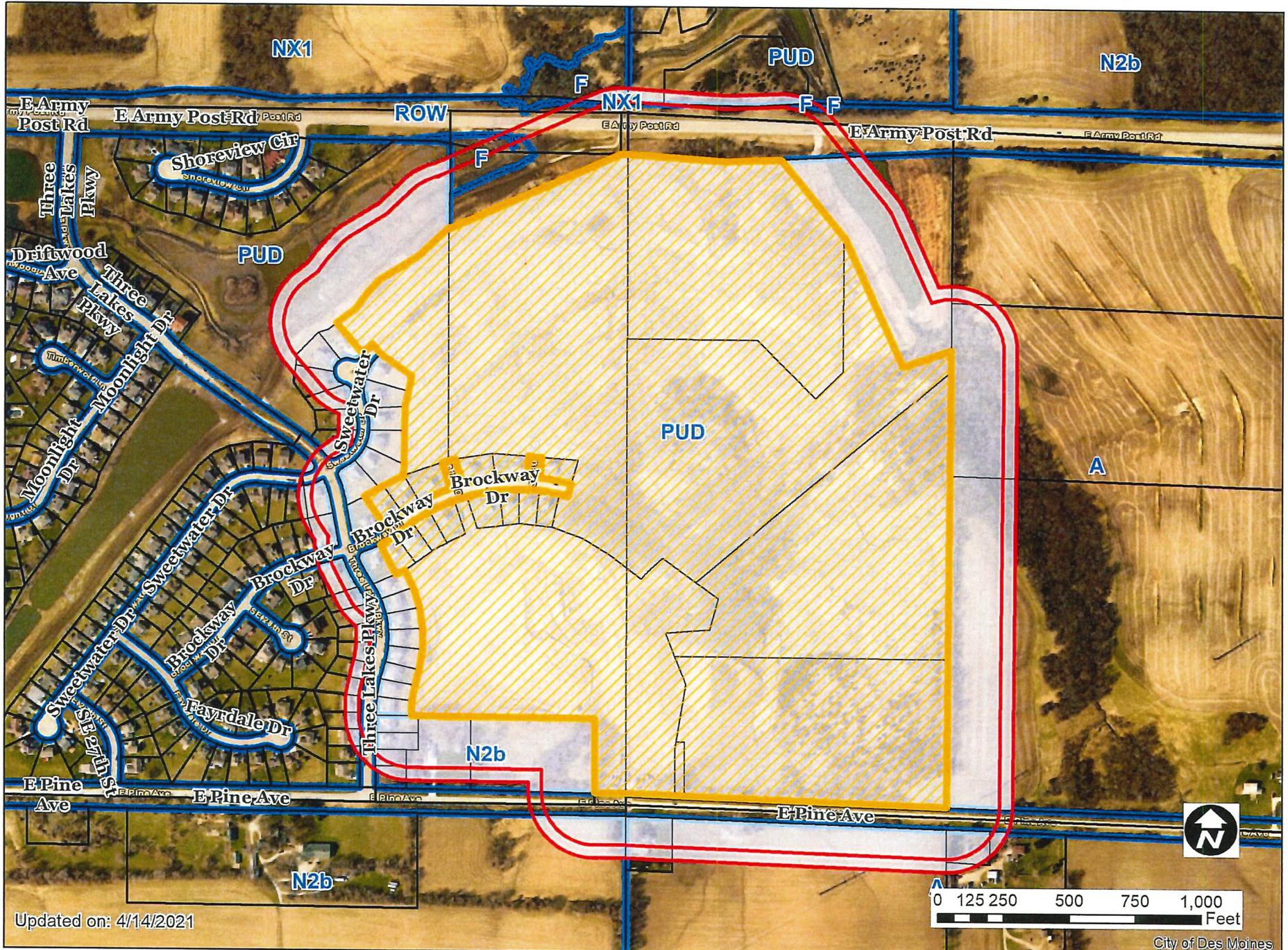
Request from J Larson Homes, LLC (owner) represented by John Larson (officer) for the property located in the vicinity of the 3001 block of East Army Post Road		File # 13-2021-1.28		
Description of Action	Review and approval of a Preliminary Plat Amendment "Three Lakes Estates Phase II" for 84.97 acres to allow remaining property in the Three Lakes Estates Phase II Legacy PUD to be divided into 218 One Household Living Lots and 64 Lots for Semi-Detached One Household Living.			
Plan/DSM Future Land Use	Current: Low Density Residential, Low-Medium Density Residential & Park/Open Space. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	No planned improvements.			
Current Zoning District	Three Lakes Estates- Phase II Legacy "PUD" Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	0	0		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No X

J Larson Homes, LLC, Vicinity of 3001 block of East Army Post Road

13-2021-1.28



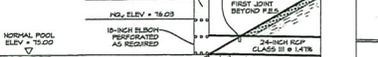
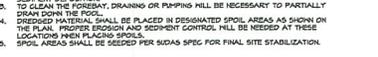
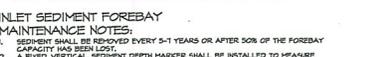
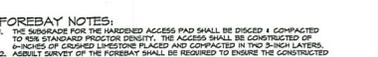
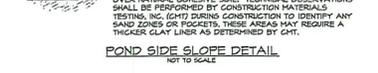
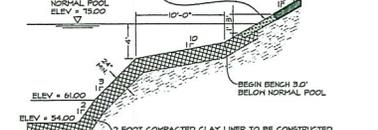
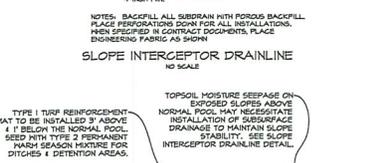
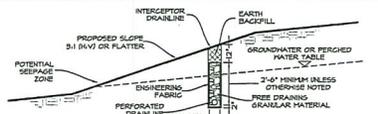
1 inch = 484 feet



Updated on: 4/14/2021

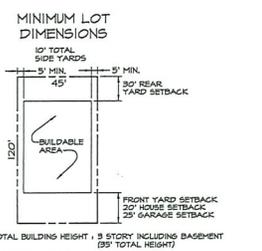
1 inch = 484 feet

PRELIMINARY - NOT FOR CONSTRUCTION



- ### GENERAL NOTES
- ALL CONSTRUCTION EXCEPT WATER MAIN SHALL BE IN ACCORDANCE WITH "SDAS - IOWA STANDARD URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS" IN EFFECT AT THE TIME OF CONSTRUCTION. CURRENT SDAS SPECIFICATIONS ARE AVAILABLE ONLINE AT: <http://www.sdastandard.com>.
 - EACH DWELLING UNIT SHALL HAVE PRIVATE GARAGE, WHETHER ATTACHED OR DETACHED. DETACHED GARAGES SHALL BE ALLOWED WITHIN 5' OF SIDE AND REAR TIES LINES. DRIVeways for detached garages shall be allowed to abut side lot lines.
 - MINIMUM BUILDING FLOOR AREAS SHALL BE 1200 SQUARE FEET OF INTERIOR LIVING SPACE. GARAGE DOORS SHALL BE AN EMERGENCY EGRESS DOOR.
 - EXISTING GREEN SPACE AREAS FOUND OUTSIDE OF PUD BOUNDARY, such as detention basins, rainwater basins, landscaping and parks shall be installed and maintained by City of Des Moines.
 - HOMEOWNER ASSOCIATION WILL BE CREATED TO MAINTAIN EXISTING FEATURES (SIGNS AND LANDSCAPING) WITHIN NEIGHBORHOODS AND OUT-OF-STATE, AND DETENTION POND WATER QUALITY FEATURES IN OUTLOT 7.
 - BRICK OR STONE IS ENCOURAGED ON HOUSE FRONTS.
 - ALLOWABLE HOME COLORS INCLUDE: earth tones and soft pastels. White is an approved color.
 - SIGNING PRODUCTS ARE ENCOURAGED TO BE MAINTENANCE FREE.
 - DETACHED PORCHES SHALL HAVE MINIMUM PERIMETER SETBACK OF 25'.
 - EXISTING PORCHES SHALL BE DEMOLISHED AND RECONSTRUCTED TO ACCOMMODATE A VARIETY OF DETACHED AND EVERGREEN TYPES AND SIZES ACCEPTABLE TO CITY OF DES MOINES PLANNING DEPARTMENT.
 - ALL TREES RIGHT-OF-WAY SHALL BE MINIMUM OF 55' FEET IN WIDTH.
 - TOWHOUSE PORCHES MAY HAVE COMMON OPEN SPACE AREAS MAINTAINED BY ASSOCIATION.
 - TREES OVER 12-INCHES D.B.H. WILL BE LOVED WITH CONSERVATION EASEMENTS AND TO EXTEND POSIBILITIES TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
 - INSTALL ONE STREET TREE PER LOT PER FRONTAGE ACCORDING TO THE LANDSCAPING PLAN INCLUDED IN DRAWINGS. STREET TREES SHALL CONTAIN LEAFY TREE MITIGATION.
 - DEVELOPMENT SHALL COMPLY WITH TREE REMOVAL AND MITIGATION ORDINANCE CONTAINED IN CHAPTER 42, ARTICLE A, OF CITY CODES.
 - FIVE-FOOT-WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ONE FOOT WIDE RIGHT-OF-WAY ON BOTH SIDES OF PUBLIC STREETS.
 - FIRE HYDRANTS SHALL BE LOCATED AND INSTALLED PER DES MOINES WATER WORKS STANDARDS FOR FIRE PROTECTION.
 - STREET WIDTHS SHALL BE A MINIMUM OF 21' WIDE.
 - BUILDING MATERIALS AND ROOF DESIGN FOR OUT BUILDINGS SHALL MATCH PRINCIPLE BUILDING.
 - TOWHOUSE UNITS SHALL HAVE SLIDING AND SHINGLES.
 - SEE CHAPTER 2A-7, PARAGRAPH C3 IN DES MOINES ZONING ORDINANCE FOR SITE REGULATIONS ON DETACHED GARAGES AND ACCESSORY BUILDINGS.
 - EXISTING PORCHES SHALL BE DEMOLISHED AND RECONSTRUCTED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION.
 - STORM WATER RUNOFF WILL BE DIRECTED TO AND CONTROLLED BY EXISTING REGIONAL STORM WATER DETENTION PONDS ADJACENT TO DEVELOPMENT AND BY STORM WATER DETENTION FACILITIES TO BE CONSTRUCTED IN OUTLOT 7. EXISTING REGIONAL STORM WATER DETENTION PONDS OUTSIDE OF PUD ARE OWNED AND MAINTAINED BY CITY OF DES MOINES. STORM WATER FACILITIES LOCATED WITHIN PUD WILL BE OWNED AND MAINTAINED BY THREE LAKES ESTATES PHASE II HOMEOWNER'S ASSOCIATION.
 - PUBLIC WATER MAIN TO DEVELOPMENT IS PROVIDED AT PINE AVENUE.
 - SEWER SERVICE TO DEVELOPMENT IS PROVIDED BY TRUNK SEWER ALONG MAJOR DRAINAGE MAIN NEAR PUD, AND BY SEWER MAIN DEVELOPMENT.
 - AREAS A AND C SHALL BE SINGLE-FAMILY DWELLINGS. AREAS A AND D SHALL BE MULTI-FAMILY DWELLINGS.
 - TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN REQUIRED SETBACK AREAS.
 - ONLY 4" TALL BLACK VINYL CLAD LINK FENCE IS ALLOWED IN DEVELOPMENT. SOLID WOOD FENCES ARE ALLOWED UP TO 6-FEET TALL IN REAR YARDS AND ALONG FRONTS OF EAST ARMY PINE ROAD AND EAST PINE AVENUE FOR LOTS THAT HAVE REAR YARDS ADJACENT TO THOSE STREETS. ON DOUBLE FRONTAGE LOTS, REAR YARD FENCES SHALL BE INSTALLED 25' OFF E.P. PINE AVENUE.
 - CORNER LOTS AT STREET INTERSECTIONS WITH EAST PINE AVENUE SHALL BE 80 FEET WIDE.
 - DETACHED SINGLE-FAMILY HOMES SHALL HAVE BOMBSHIELD.
 - THIS CONCEPT PLAN IS GENERAL AND SUBORDINATE TO CERTAIN LOT WIDTHS (i.e. 65' RIDE LOTS) WILL BE GOVERNED BY NOTES ON CONCEPT PLAN, NOT ACTUAL LOT LAYOUT SINCE THEY ARE NOT INDIVIDUALLY DIMENSIONED.
 - NO SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE FRONT ELEVATIONS SHALL BE BUILT ON ADJACENT LOTS.
 - FRONT FACADE OF ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE CONSTRUCTED MUST CONTAIN ONE OF THE FOLLOWING:
 - FRONT PORCH OF NOT LESS THAN 600 SQUARE FEET OR
 - STONE OR BRICK MASONRY SLIDING COVERING AT LEAST 1/3 OF FACADE.
 - ALL WINDOWS AND DOORS ON ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE SHALL HAVE IRM NOT LESS THAN 4 NOMINAL INCHES IN WIDTH.
 - ROOF ON ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE CONSTRUCTED SHALL BE OF ASPHALT/FLY SHINGLES OR CEDAR SHAKES. STANDARD 3-1/2" SHINGLES ARE PROHIBITED.
 - ON SINGLE-FAMILY LOT SIZES LESS THAN 65 FEET IN WIDTH, FOLLOWING MINIMUM HOUSE SIZES SHALL BE CONSTRUCTED:
 - ANY 1-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1250 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 1-1/2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1350 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1400 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ON SINGLE-FAMILY LOT SIZES 65 FEET IN WIDTH OR GREATER, FOLLOWING MINIMUM HOUSE SIZES SHALL BE CONSTRUCTED:
 - ANY 1-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1400 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 1-1/2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1500 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1600 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - EXTERIOR MATERIAL FOR ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE CONSTRUCTED SHALL BE MASONRY BRICK, AT LEAST 1" VINYL OR NOT LESS THAN 0.42" THICKNESS, CEDAR, MASONRY, OR CEMENT FLOOR BOARD.
 - FOR ANY SINGLE-FAMILY SEMI-DETACHED DWELLING, BRICK OR STONE MASONRY SHOULD EXTEND ALONG FULL SIDE FACADE ON THOSE UNITS WHERE SIDE SIDE FACES PUBLIC STREET.

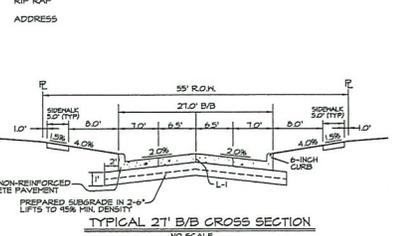
- ### LANDSCAPING NOTE
- DEVELOPER SHALL BE REQUIRED TO COMPLY WITH TREE PROTECTION AND MITIGATION REQUIREMENTS IN CITY CODES AS PART OF ANY PERMITTED PLAN, OR DEVELOPMENT PLAN REVIEW.



- ### BULK REGULATIONS (THREE LAKES ESTATES PHASE 2 PUD.)
- MINIMUM LOT AREAS SHALL BE 45' X 120' DEEP. GARAGE SETBACKS SHALL BE 25' MINIMUM. HOUSE SETBACKS (INCLUDING GARAGES) SHALL BE 20' MINIMUM.
 - EACH DWELLING UNIT SHALL HAVE PRIVATE GARAGE, WHETHER ATTACHED OR DETACHED. DETACHED GARAGES SHALL BE ALLOWED WITHIN 5' OF SIDE AND REAR TIES LINES. DRIVeways for detached garages shall be allowed to abut side lot lines.
 - MINIMUM BUILDING FLOOR AREAS SHALL BE 1200 SQUARE FEET OF INTERIOR LIVING SPACE. GARAGE DOORS SHALL BE AN EMERGENCY EGRESS DOOR.
 - EXISTING GREEN SPACE AREAS FOUND OUTSIDE OF PUD BOUNDARY, such as detention basins, rainwater basins, landscaping and parks shall be installed and maintained by City of Des Moines.
 - HOMEOWNER ASSOCIATION WILL BE CREATED TO MAINTAIN EXISTING FEATURES (SIGNS AND LANDSCAPING) WITHIN NEIGHBORHOODS AND OUT-OF-STATE, AND DETENTION POND WATER QUALITY FEATURES IN OUTLOT 7.
 - BRICK OR STONE IS ENCOURAGED ON HOUSE FRONTS.
 - ALLOWABLE HOME COLORS INCLUDE: earth tones and soft pastels. White is an approved color.
 - SIGNING PRODUCTS ARE ENCOURAGED TO BE MAINTENANCE FREE.
 - DETACHED PORCHES SHALL HAVE MINIMUM PERIMETER SETBACK OF 25'.
 - EXISTING PORCHES SHALL BE DEMOLISHED AND RECONSTRUCTED TO ACCOMMODATE A VARIETY OF DETACHED AND EVERGREEN TYPES AND SIZES ACCEPTABLE TO CITY OF DES MOINES PLANNING DEPARTMENT.
 - ALL TREES RIGHT-OF-WAY SHALL BE MINIMUM OF 55' FEET IN WIDTH.
 - TOWHOUSE PORCHES MAY HAVE COMMON OPEN SPACE AREAS MAINTAINED BY ASSOCIATION.
 - TREES OVER 12-INCHES D.B.H. WILL BE LOVED WITH CONSERVATION EASEMENTS AND TO EXTEND POSIBILITIES TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
 - INSTALL ONE STREET TREE PER LOT PER FRONTAGE ACCORDING TO THE LANDSCAPING PLAN INCLUDED IN DRAWINGS. STREET TREES SHALL CONTAIN LEAFY TREE MITIGATION.
 - DEVELOPMENT SHALL COMPLY WITH TREE REMOVAL AND MITIGATION ORDINANCE CONTAINED IN CHAPTER 42, ARTICLE A, OF CITY CODES.
 - FIVE-FOOT-WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ONE FOOT WIDE RIGHT-OF-WAY ON BOTH SIDES OF PUBLIC STREETS.
 - FIRE HYDRANTS SHALL BE LOCATED AND INSTALLED PER DES MOINES WATER WORKS STANDARDS FOR FIRE PROTECTION.
 - STREET WIDTHS SHALL BE A MINIMUM OF 21' WIDE.
 - BUILDING MATERIALS AND ROOF DESIGN FOR OUT BUILDINGS SHALL MATCH PRINCIPLE BUILDING.
 - TOWHOUSE UNITS SHALL HAVE SLIDING AND SHINGLES.
 - SEE CHAPTER 2A-7, PARAGRAPH C3 IN DES MOINES ZONING ORDINANCE FOR SITE REGULATIONS ON DETACHED GARAGES AND ACCESSORY BUILDINGS.
 - EXISTING PORCHES SHALL BE DEMOLISHED AND RECONSTRUCTED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION.
 - STORM WATER RUNOFF WILL BE DIRECTED TO AND CONTROLLED BY EXISTING REGIONAL STORM WATER DETENTION PONDS ADJACENT TO DEVELOPMENT AND BY STORM WATER DETENTION FACILITIES TO BE CONSTRUCTED IN OUTLOT 7. EXISTING REGIONAL STORM WATER DETENTION PONDS OUTSIDE OF PUD ARE OWNED AND MAINTAINED BY CITY OF DES MOINES. STORM WATER FACILITIES LOCATED WITHIN PUD WILL BE OWNED AND MAINTAINED BY THREE LAKES ESTATES PHASE II HOMEOWNER'S ASSOCIATION.
 - PUBLIC WATER MAIN TO DEVELOPMENT IS PROVIDED AT PINE AVENUE.
 - SEWER SERVICE TO DEVELOPMENT IS PROVIDED BY TRUNK SEWER ALONG MAJOR DRAINAGE MAIN NEAR PUD, AND BY SEWER MAIN DEVELOPMENT.
 - AREAS A AND C SHALL BE SINGLE-FAMILY DWELLINGS. AREAS A AND D SHALL BE MULTI-FAMILY DWELLINGS.
 - TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN REQUIRED SETBACK AREAS.
 - ONLY 4" TALL BLACK VINYL CLAD LINK FENCE IS ALLOWED IN DEVELOPMENT. SOLID WOOD FENCES ARE ALLOWED UP TO 6-FEET TALL IN REAR YARDS AND ALONG FRONTS OF EAST ARMY PINE ROAD AND EAST PINE AVENUE FOR LOTS THAT HAVE REAR YARDS ADJACENT TO THOSE STREETS. ON DOUBLE FRONTAGE LOTS, REAR YARD FENCES SHALL BE INSTALLED 25' OFF E.P. PINE AVENUE.
 - CORNER LOTS AT STREET INTERSECTIONS WITH EAST PINE AVENUE SHALL BE 80 FEET WIDE.
 - DETACHED SINGLE-FAMILY HOMES SHALL HAVE BOMBSHIELD.
 - THIS CONCEPT PLAN IS GENERAL AND SUBORDINATE TO CERTAIN LOT WIDTHS (i.e. 65' RIDE LOTS) WILL BE GOVERNED BY NOTES ON CONCEPT PLAN, NOT ACTUAL LOT LAYOUT SINCE THEY ARE NOT INDIVIDUALLY DIMENSIONED.
 - NO SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE FRONT ELEVATIONS SHALL BE BUILT ON ADJACENT LOTS.
 - FRONT FACADE OF ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE CONSTRUCTED MUST CONTAIN ONE OF THE FOLLOWING:
 - FRONT PORCH OF NOT LESS THAN 600 SQUARE FEET OR
 - STONE OR BRICK MASONRY SLIDING COVERING AT LEAST 1/3 OF FACADE.
 - ALL WINDOWS AND DOORS ON ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE SHALL HAVE IRM NOT LESS THAN 4 NOMINAL INCHES IN WIDTH.
 - ROOF ON ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE CONSTRUCTED SHALL BE OF ASPHALT/FLY SHINGLES OR CEDAR SHAKES. STANDARD 3-1/2" SHINGLES ARE PROHIBITED.
 - ON SINGLE-FAMILY LOT SIZES LESS THAN 65 FEET IN WIDTH, FOLLOWING MINIMUM HOUSE SIZES SHALL BE CONSTRUCTED:
 - ANY 1-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1250 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 1-1/2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1350 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1400 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ON SINGLE-FAMILY LOT SIZES 65 FEET IN WIDTH OR GREATER, FOLLOWING MINIMUM HOUSE SIZES SHALL BE CONSTRUCTED:
 - ANY 1-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1400 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 1-1/2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1500 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - ANY 2-STORY HOUSE SHALL BE CONSTRUCTED WITH MINIMUM OF 1600 SQUARE FEET OF ABOVE-GRADE FINISHED FLOOR AREA.
 - EXTERIOR MATERIAL FOR ANY SINGLE-FAMILY OR SINGLE-FAMILY SEMI-DETACHED HOUSE CONSTRUCTED SHALL BE MASONRY BRICK, AT LEAST 1" VINYL OR NOT LESS THAN 0.42" THICKNESS, CEDAR, MASONRY, OR CEMENT FLOOR BOARD.
 - FOR ANY SINGLE-FAMILY SEMI-DETACHED DWELLING, BRICK OR STONE MASONRY SHOULD EXTEND ALONG FULL SIDE FACADE ON THOSE UNITS WHERE SIDE SIDE FACES PUBLIC STREET.

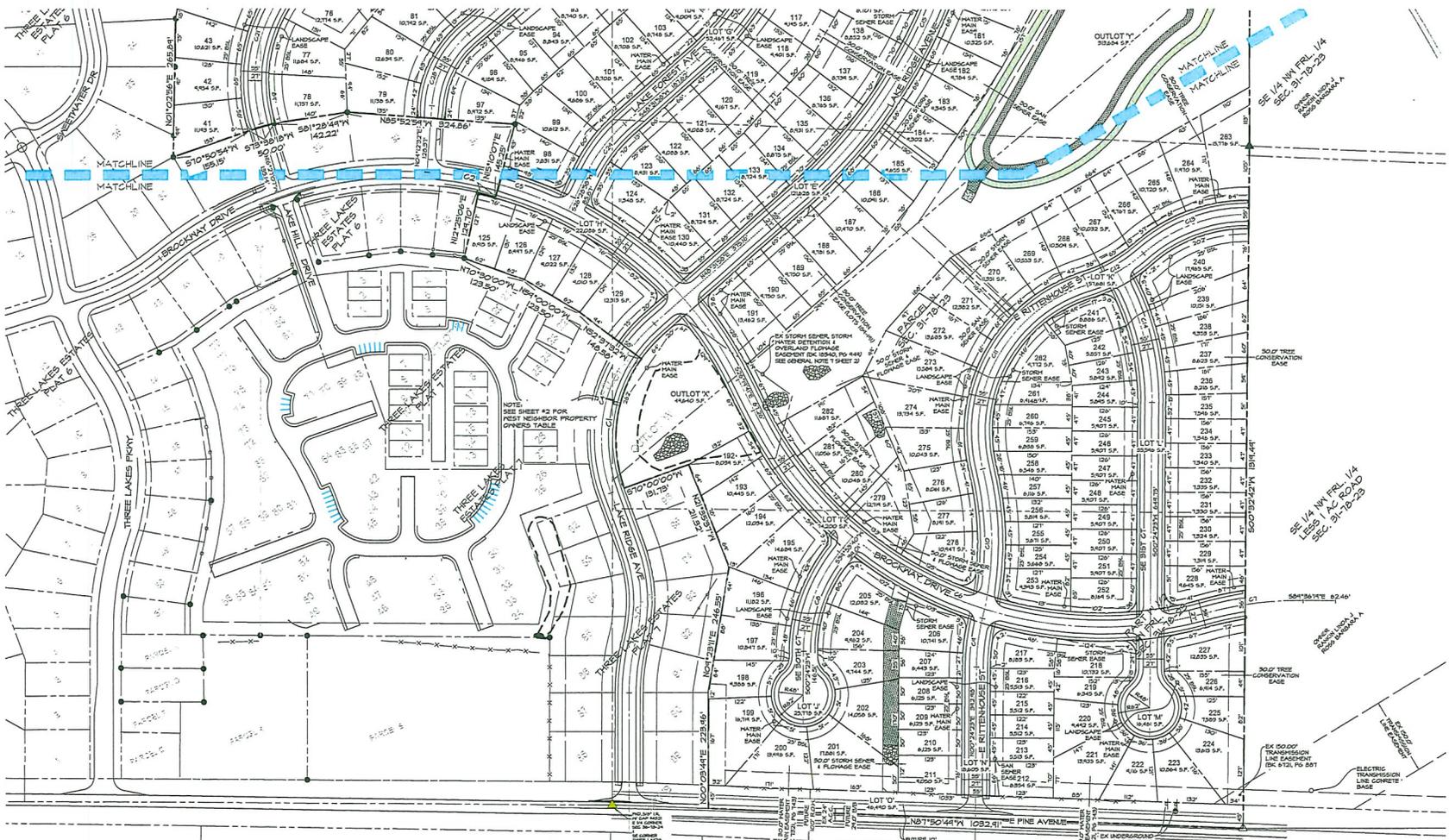
GENERAL LEGEND

PROPOSED	EXISTING
--- PLAT BOUNDARY	--- LOT LINE
--- SECTION LINE	--- SANITARY/STORM MANHOLE
--- LOT LINE	--- WATER VALVE
--- CENTERLINE	--- FIRE HYDRANT
--- EASEMENT LINE	--- STORM SEWER SINGLE INTAKE
FLARED END SECTION	--- STORM SEWER DOUBLE INTAKE
TYPE SH-501 STORM INTAKE	--- STORM SEWER RAIN INTAKE
TYPE SH-502 STORM INTAKE	--- FLARED END SECTION
TYPE SH-503 STORM INTAKE	--- DECIDUOUS TREE
TYPE SH-504 STORM INTAKE	--- CONIFEROUS TREE
TYPE SH-505 STORM INTAKE	--- SHRUB
TYPE SH-506 STORM INTAKE	--- POWER POLE
TYPE SH-511 STORM INTAKE	--- STREET LIGHT
TYPE SH-512 STORM INTAKE	--- GUY ANCHOR
TYPE SH-513 STORM INTAKE	--- ELECTRIC TRANSFORMER
TYPE SH-514 STORM INTAKE	--- GAS METER
TYPE SH-515 STORM INTAKE	--- TELEPHONE RISER
TYPE SH-401 STORM MANHOLE	--- SIGN
TYPE SH-402 STORM MANHOLE	--- UNDERGROUND TELEVISION
TYPE SH-403 STORM MANHOLE	--- UNDERGROUND ELECTRIC
TYPE SH-404 STORM MANHOLE	--- UNDERGROUND GAS
TYPE SH-405 STORM MANHOLE	--- UNDERGROUND FIBER OPTIC
TYPE SH-301 SANITARY MANHOLE	--- UNDERGROUND TELEPHONE
TYPE SH-302 SANITARY MANHOLE	--- OVERHEAD ELECTRIC
TYPE SH-303 SANITARY MANHOLE	--- SANITARY SEWER WITH SIZE
TYPE SH-304 SANITARY MANHOLE	--- STORM SEWER WITH SIZE
--- STORM/SANITARY CLEANOUT	--- WATER MAIN WITH SIZE
--- WATER VALVE	--- EXISTING CONTOUR
--- FIRE HYDRANT ASSEMBLY	--- TRENCH
--- BLOW-OFF HYDRANT	--- BUILDING SETBACK LINE
--- DETECTABLE MARKING PANEL	--- PUBLIC UTILITY EASEMENT
--- SANITARY SEWER WITH SIZE	--- MINIMUM OPENING ELEVATION
--- SANITARY SERVICE	
--- STORM SEWER WITH SIZE	
--- STORM SERVICE	
--- WATER SEWER WITH SIZE	
--- WATER SERVICE	
--- PROPOSED CONTOUR	
--- SILT FENCE	
--- RIP RAP	
--- ADDRESS	



WEST NEIGHBOR PROPERTY OWNERS

Name of Property Owner	Legal Description	Property Address	Mailing Address
PETERSON, BRUCE A & LEANN R	LOT 21 THREE LAKES ESTATES PLAT 6	2336 SWEETWATER DR DES MOINES, IA 50320-4785	
TIM HIGLEY; HUTCHINSON, WINTON K & HEATHER F Current Buyer: DUKAK, ALONRA & CHRIS, TOBIAS	LOT 23 THREE LAKES ESTATES PLAT 6	2337 SWEETWATER DR DES MOINES, IA 50320-4785	501 49TH ST WEST DES MOINES, IA 50265
GERBER, BRADY	LOT 23 THREE LAKES ESTATES PLAT 6	2338 SWEETWATER DR DES MOINES, IA 50320-4785	
ORTIZ-MARTINEZ, ERICK J & WENDIS D	LOT 24 THREE LAKES ESTATES PLAT 6	2339 SWEETWATER DR DES MOINES, IA 50320-4785	
COOPER, ERIC	LOT 25 THREE LAKES ESTATES PLAT 6	2340 SWEETWATER DR DES MOINES, IA 50320-4785	
SHURIN, ALLISON	LOT 26 THREE LAKES ESTATES PLAT 6	2341 SWEETWATER DR DES MOINES, IA 50320-4785	
MUNIZ CHAVEZ, ALFREDO & FRENDRICA	LOT 30 THREE LAKES ESTATES PLAT 6	2342 SWEETWATER DR DES MOINES, IA 50320-4785	
CROSKY, ALAN A	LOT 31 THREE LAKES ESTATES PLAT 6	2343 SWEETWATER DR DES MOINES, IA 50320-4785	
RIVAS, SHERY A	LOT 32 THREE LAKES ESTATES PLAT 6	2344 SWEETWATER DR DES MOINES, IA 50320-4785	
COM RENTALS LLC	LOT 33 THREE LAKES ESTATES PLAT 6	2345 SWEETWATER DR DES MOINES, IA 50320-4785	POB 934 JOHNSTON, IA 50131-0974
FITCHER, ANTHONY J & WILLIAMS, MIKI K	LOT 34 THREE LAKES ESTATES PLAT 6	2346 SWEETWATER DR DES MOINES, IA 50320-4785	
LOSTON, NICOLE G	LOT 35 THREE LAKES ESTATES PLAT 6	2347 SWEETWATER DR DES MOINES, IA 50320-4785	
THREACREST HOMES LLC	THREE LAKES ESTATES PLAT 7	15004 WY 57th PL JOHNSTON, IA 50131-6889	



CENTERLINE CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH BEARING
C4	089°31'58"	300.00'	358.84'	304.34'	391.62'	N44°55'41"E
C5	103°27'04"	725.00'	1304.03'	418.25'	1198.33'	S78°13'12"E
C6	078°58'19"	150.00'	1033.12'	517.93'	453.62'	S65°48'47"E
C7	015°41'35"	100.00'	181.79'	48.41'	181.93'	N82°52'34"E
C8	034°24'11"	300.00'	206.76'	107.68'	202.64'	S20°04'02"W
C4	013°33'11"	400.00'	44.62'	47.53'	44.40'	N07°10'39"E
C10	027°42'48"	600.00'	240.21'	148.00'	281.34'	N00°06'10"E
C11	026°10'02"	300.00'	451.11'	280.51'	404.84'	N23°14'41"E
C12	023°59'06"	300.00'	125.24'	69.54'	124.33'	N60°21'15"E
C13	041°53'31"	300.00'	218.35'	114.84'	214.48'	N64°28'28"E
C14	030°22'11"	500.00'	265.10'	156.11'	262.70'	S14°44'42"E

BOUNDARY CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH BEARING
C1	55°03'54"	272.50'	261.04'	142.05'	251.43'	N07°13'51"E
C2	2°44'43"	100.00'	35.54'	16.71'	35.54'	S76°11'39"E

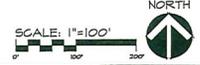
PRELIMINARY - NOT FOR CONSTRUCTION

THREE LAKES ESTATES PHASE 2
 DES MOINES, IOWA
SOUTH GEOMETRIC

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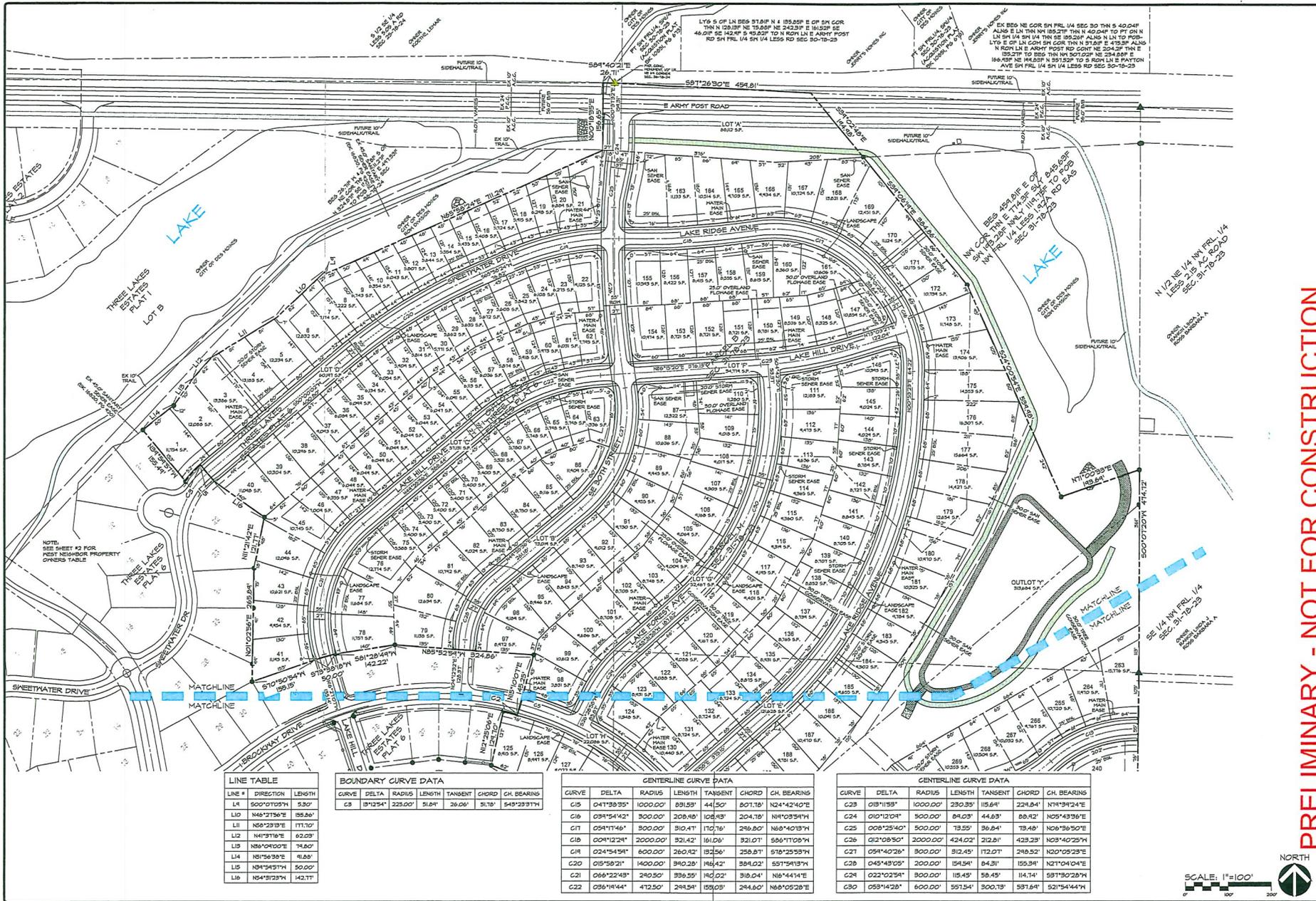


DATE: 01/28/2020
 DATE OF SURVEY: 05/10/2020
 DESIGNED BY: PRAJ
 DRAWN BY: CAC



SHEET
 OF 12
 A-180

DATE PLOTTED: 01/23/2020 11:58:47 AM



LINE TABLE		
LINE #	DIRECTION	LENGTH
L4	S00°07'03"W	3.30'
L10	N46°27'56"E	89.86'
L11	N65°23'39"E	17.10'
L12	N41°57'16"E	82.09'
L13	N85°07'02"E	71.80'
L14	N15°16'39"E	91.80'
L15	N04°54'51"W	50.00'
L16	N64°51'23"W	142.71'

BOUNDARY CURVE DATA					
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD
C3	81°25'4"	225.00'	31.84'	26.06'	51.76'
					54°52'31"W

CENTERLINE CURVE DATA					
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD
C15	041°38'35"	1000.00'	891.59'	441.50'	801.78'
					N24°42'40"E
C16	034°54'42"	300.00'	208.48'	108.43'	204.78'
					N14°03'34"W
C17	054°17'46"	300.00'	310.47'	170.76'	246.80'
					N68°40'19"W
C18	004°12'28"	2000.00'	321.42'	161.06'	321.07'
					S66°11'09"W
C19	024°54'54"	600.00'	260.42'	132.56'	258.87'
					S78°25'59"W
C20	015°58'21"	1400.00'	390.28'	196.42'	384.02'
					S57°59'13"W
C21	066°22'43"	240.50'	336.55'	170.02'	318.04'
					N16°44'14"E
C22	036°18'44"	472.50'	294.54'	159.03'	294.60'
					N86°05'28"E

CENTERLINE CURVE DATA					
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD
C23	018°11'59"	1000.00'	230.25'	115.64'	224.84'
					N14°31'24"E
C24	010°12'04"	500.00'	84.03'	44.63'	86.92'
					N05°43'36"E
C25	008°25'40"	500.00'	73.55'	36.84'	73.48'
					N06°36'50"E
C26	012°08'50"	2000.00'	424.02'	212.81'	423.29'
					N09°40'29"W
C27	054°40'26"	300.00'	312.45'	172.07'	298.52'
					N20°05'23"E
C28	045°43'05"	200.00'	154.54'	84.31'	156.34'
					N21°04'04"E
C29	022°02'54"	300.00'	115.45'	58.45'	114.71'
					S97°30'28"W
C30	059°14'28"	600.00'	597.54'	300.13'	597.64'
					S21°54'44"W



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DATE: 01/23/2020
 DESIGNED BY: MJK
 DRAWN BY: CJK
 SHEET 4 OF 12
 A-180

THREE LAKES ESTATES PHASE 2
 DES MOINES, IOWA
 NORTH GEOMETRIC

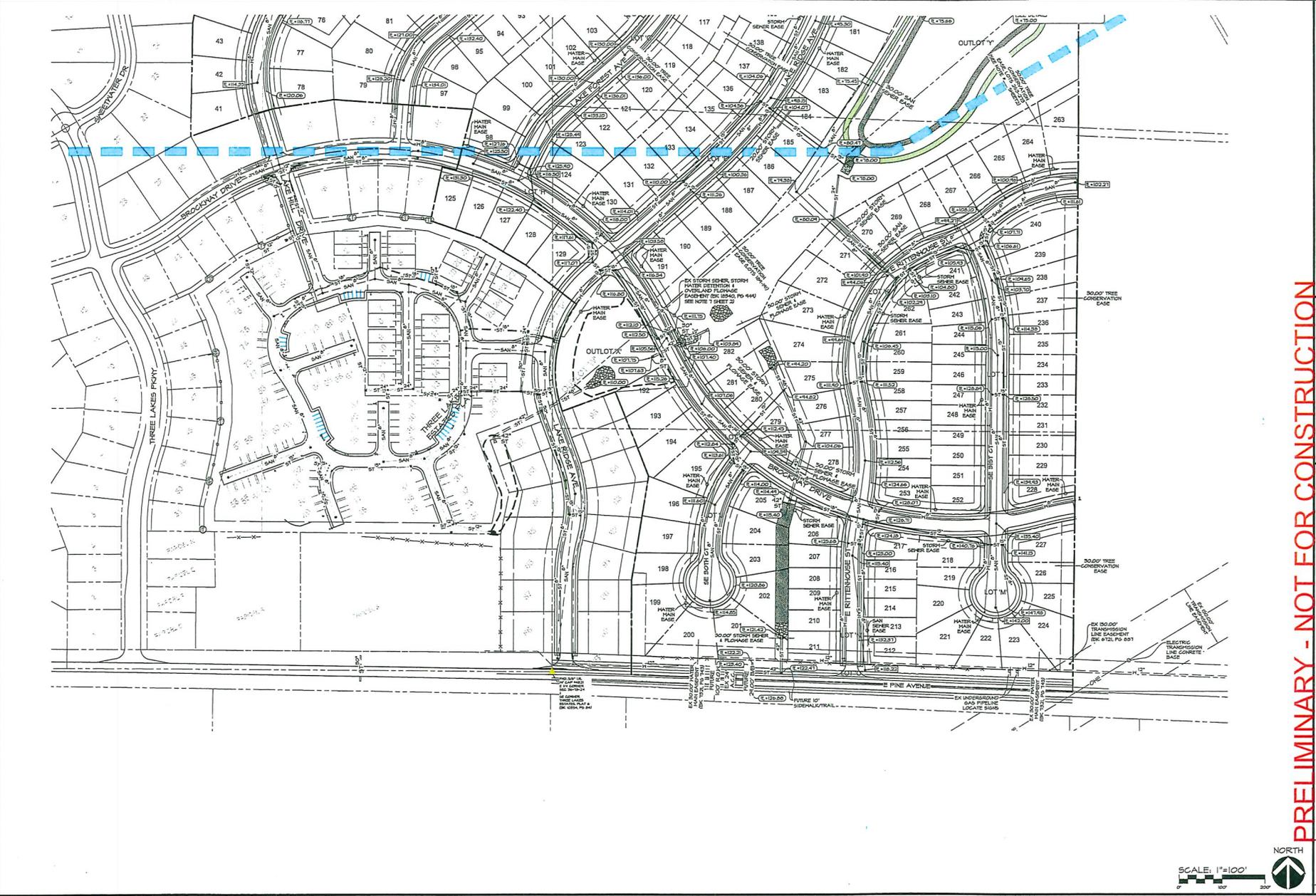
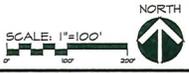
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DATE:	01/25/2020
DESIGNED BY:	MEH
DRAWN BY:	CH
PROJECT NO.:	197-548 - 01/25/2020
SHEET NO.:	01/25/2020

THREE LAKES ESTATES PHASE 2
DES MOINES, IOWA
SOUTH UTILITY



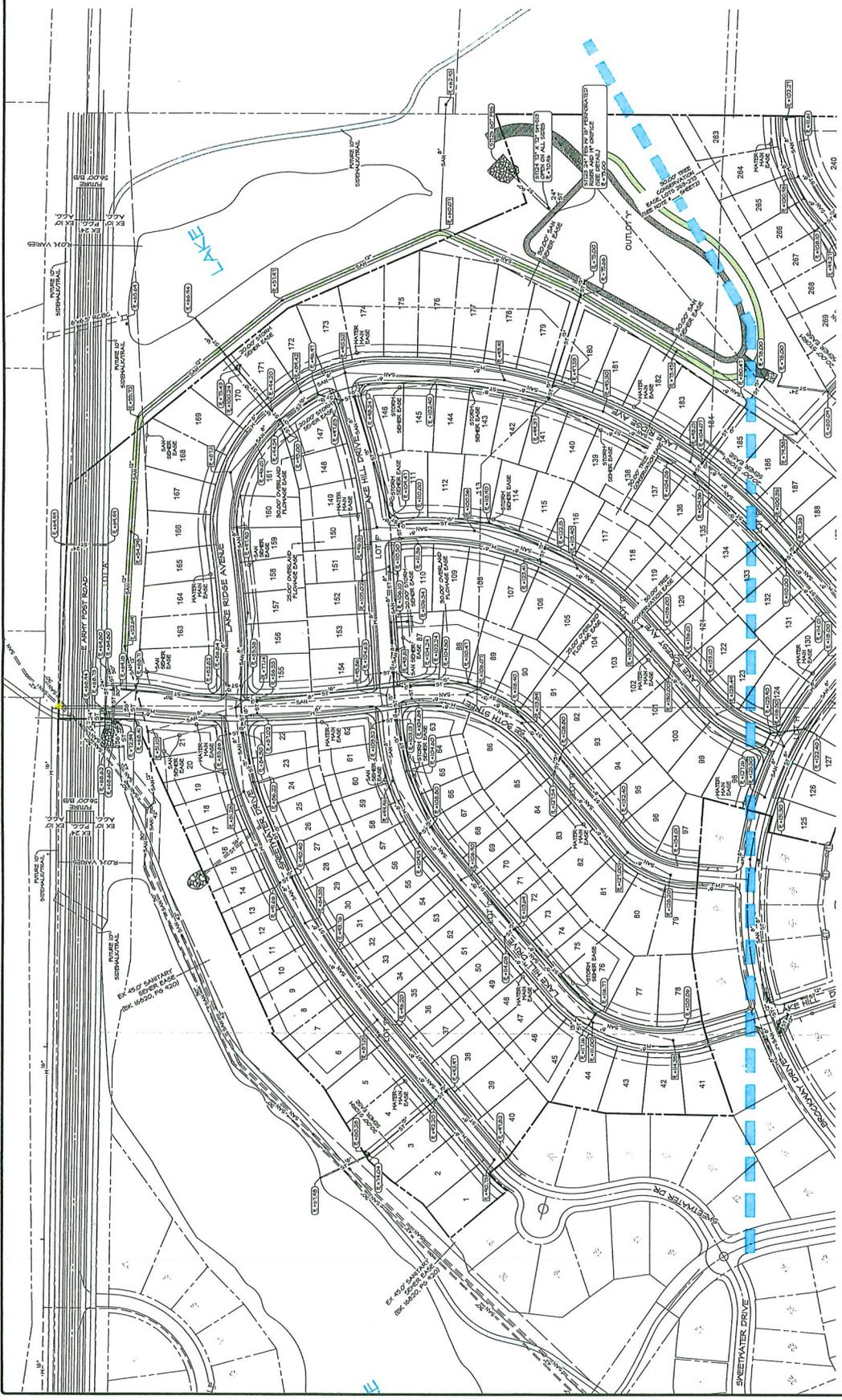
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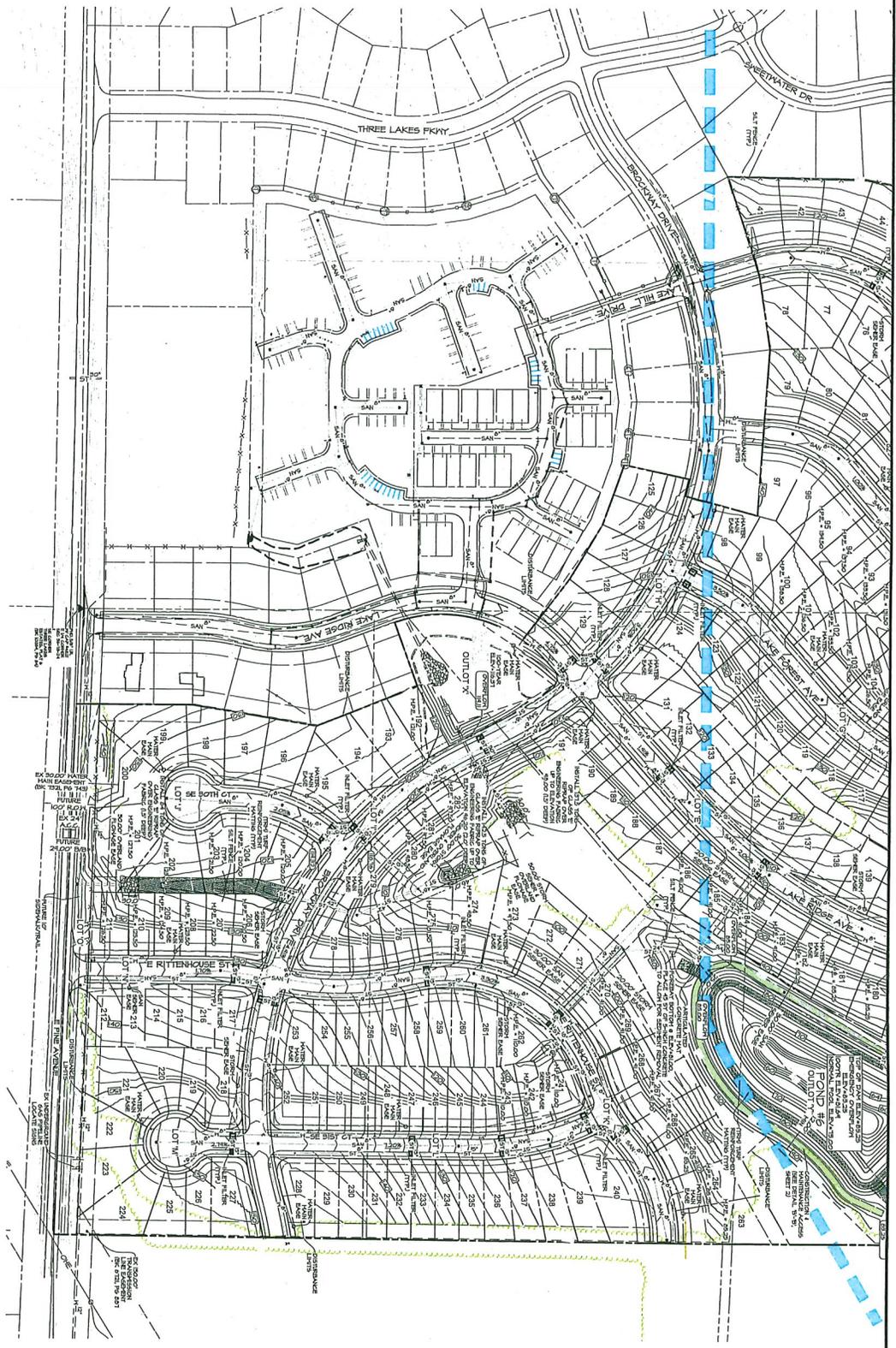
PRELIMINARY - NOT FOR CONSTRUCTION

DATE: 01/21/2020
DESIGNED BY: 01/21/2020
DATE OF SURVEY: 01/21/2020
PROJECT: 1ST 948 - 12/12/2019
DATE: 01/21/2020



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SCALE: 1"=100'
 NORTH
 SHEET 7 OF 12
 A-1830

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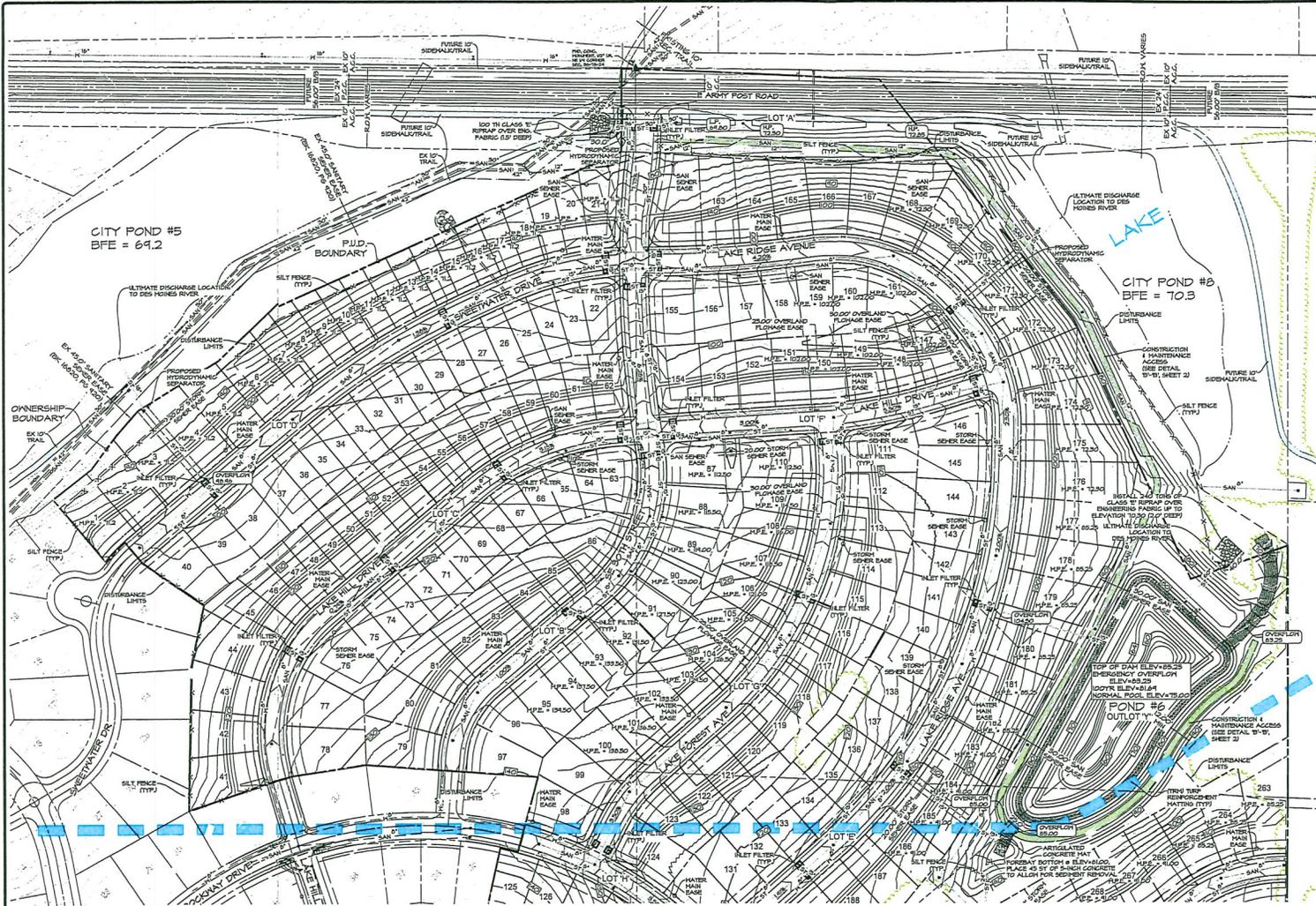
THREE LAKES ESTATES PHASE 2
 DES MOINES, IOWA
 SOUTH GRADING

DATE:	01/23/2020
DATE OF SURVEY:	01/22/2020
DESIGNED BY:	CM
DRAWN BY:	CM



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22



STORMWATER QUANTITY TABLE

	PROPOSED BASIN 6	EXISTING REGIONAL BASIN 5	EXISTING REGIONAL BASIN 8
		THE INFORMATION FOR EXISTING REGIONAL BASIN 5 AND EXISTING REGIONAL BASIN 8 ONLY REFLECTS THAT CONTRIBUTING AREAS FROM THREE LAKES ESTATES PHASE II.	
WATERSHED AREA	54.71 AC.	27.06 AC.	10.56 AC.
OFFSITE WATERSHED AREA	42.12 AC.	-	110.29 AC.
REQUIRED 100-YEAR STORM VOLUME	609,653 FT ³	-	-
PROVIDED 100-YEAR STORM VOLUME	609,653 FT ³	-	-
100-YEAR STORM ELEVATION	69.84	-	-
REQUIRED INFL. VOLUME	82,092 FT ³	66,094 FT ³	15,112 FT ³
PROVIDED INFL. VOLUME	82,092 FT ³	66,094 FT ³	15,112 FT ³
INFL. ELEVATION	70.03	-	-
CHANNEL PROTECTION VOLUME	128,149 FT ³	-	-
BOTTOM OF BASIN ELEVATION	70.00	-	-
(NORMAL POOL ELEVATION)	-	-	-
TOP OF BERM ELEVATION	69.25	-	-
EMERGENCY OVERFLOW ELEVATION	69.25	-	-

SCALE: 1"=100'



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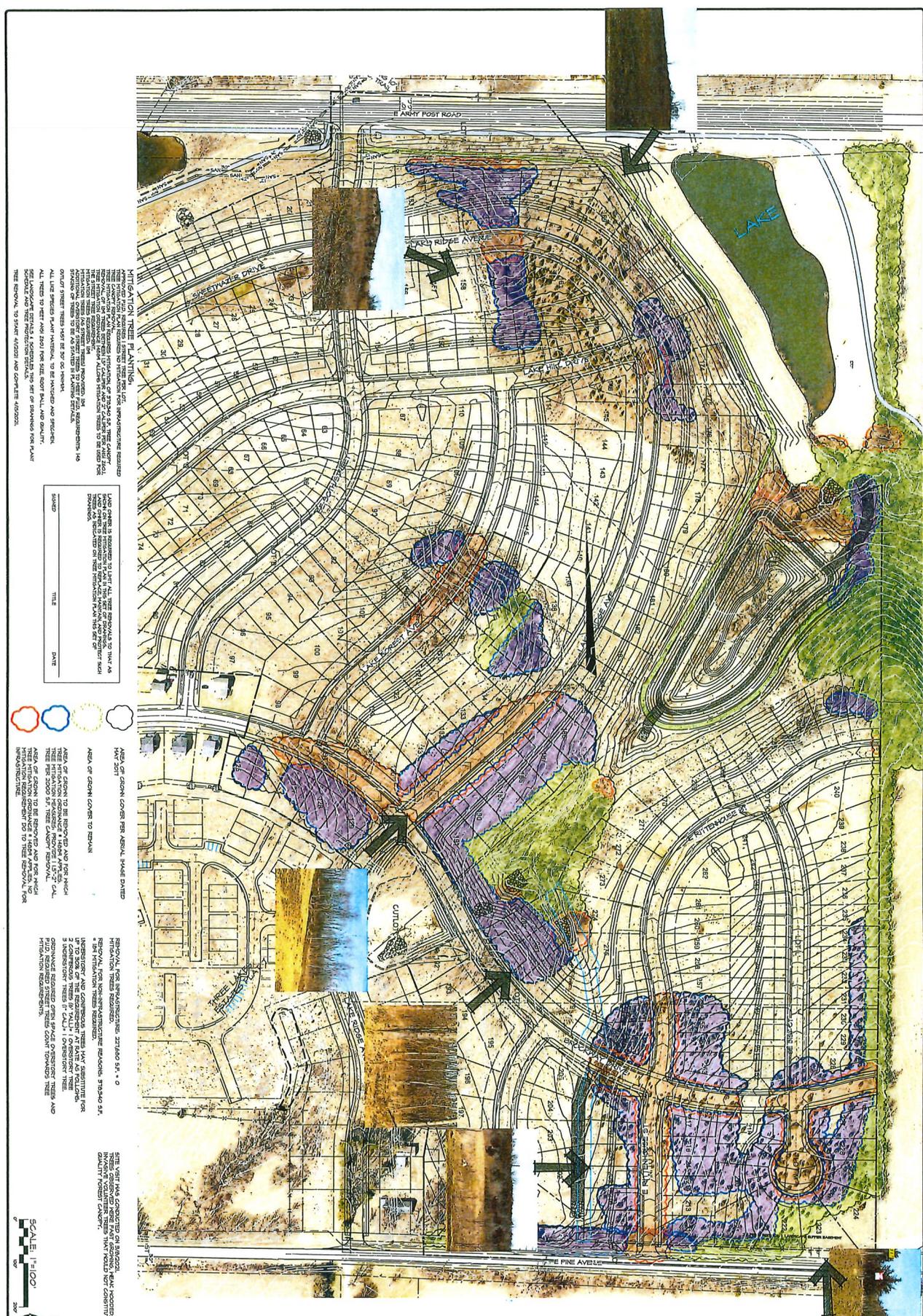
THREE LAKES ESTATES PHASE 2
DES HOINES, IOWA
NORTH GRADING

SHEET
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OF
12
A-180

DATE: 01/23/2020
 101 SUB - 12/19/2020
 DATE OF SURVEY: 01/22/2018
 DESIGNED BY: RSK
 DRAWN BY: BRAYAN DIT



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 mail@cec.com



MITIGATION TREE PLANTING:
 THE MITIGATION PLAN IS BASED ON THE MITIGATION TREE LIST AND THE MITIGATION TREE SCHEDULE. THE MITIGATION TREE SCHEDULE IS A LIST OF TREE SPECIES THAT ARE TO BE PLANTED TO REPLACE THE MITIGATION TREES THAT ARE TO BE REMOVED. THE MITIGATION TREE SCHEDULE IS A LIST OF TREE SPECIES THAT ARE TO BE PLANTED TO REPLACE THE MITIGATION TREES THAT ARE TO BE REMOVED. THE MITIGATION TREE SCHEDULE IS A LIST OF TREE SPECIES THAT ARE TO BE PLANTED TO REPLACE THE MITIGATION TREES THAT ARE TO BE REMOVED.

SYMBOL	TITLE	DATE
(Symbol)	(Title)	(Date)

AREA OF GROWN COVER FOR AERIAL PHOTO EXISTING:
 AREA OF GROWN COVER TO REMAIN
 AREA OF GROWN COVER TO BE REMOVED
 AREA OF GROWN COVER TO BE REPLANTED
 AREA OF GROWN COVER TO BE REPLANTED AND FOR MITIGATION TREE PLANTING. THE MITIGATION TREE SCHEDULE IS A LIST OF TREE SPECIES THAT ARE TO BE PLANTED TO REPLACE THE MITIGATION TREES THAT ARE TO BE REMOVED.

REMOVAL OF TREES:
 REMOVAL OF TREES TO BE REMOVED AND FOR MITIGATION TREE PLANTING. THE MITIGATION TREE SCHEDULE IS A LIST OF TREE SPECIES THAT ARE TO BE PLANTED TO REPLACE THE MITIGATION TREES THAT ARE TO BE REMOVED.

THE MITIGATION PLAN IS BASED ON THE MITIGATION TREE LIST AND THE MITIGATION TREE SCHEDULE. THE MITIGATION TREE SCHEDULE IS A LIST OF TREE SPECIES THAT ARE TO BE PLANTED TO REPLACE THE MITIGATION TREES THAT ARE TO BE REMOVED.



PRELIMINARY - NOT FOR CONSTRUCTION

THREE LAKES ESTATES PHASE 2
 DES MOINES, IOWA
 TREE MITIGATION - BASELINE

DATE: 01/23/2020
 1ST SUB: 12/31/2020
 DATE OF SURVEY: 01/23/2020
 DESIGNED BY: [Name]
 DRAWN BY: [Name]

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THREE LAKES ESTATES PHASE 2
DES MOINES, IOWA
SOUTH LANDSCAPING



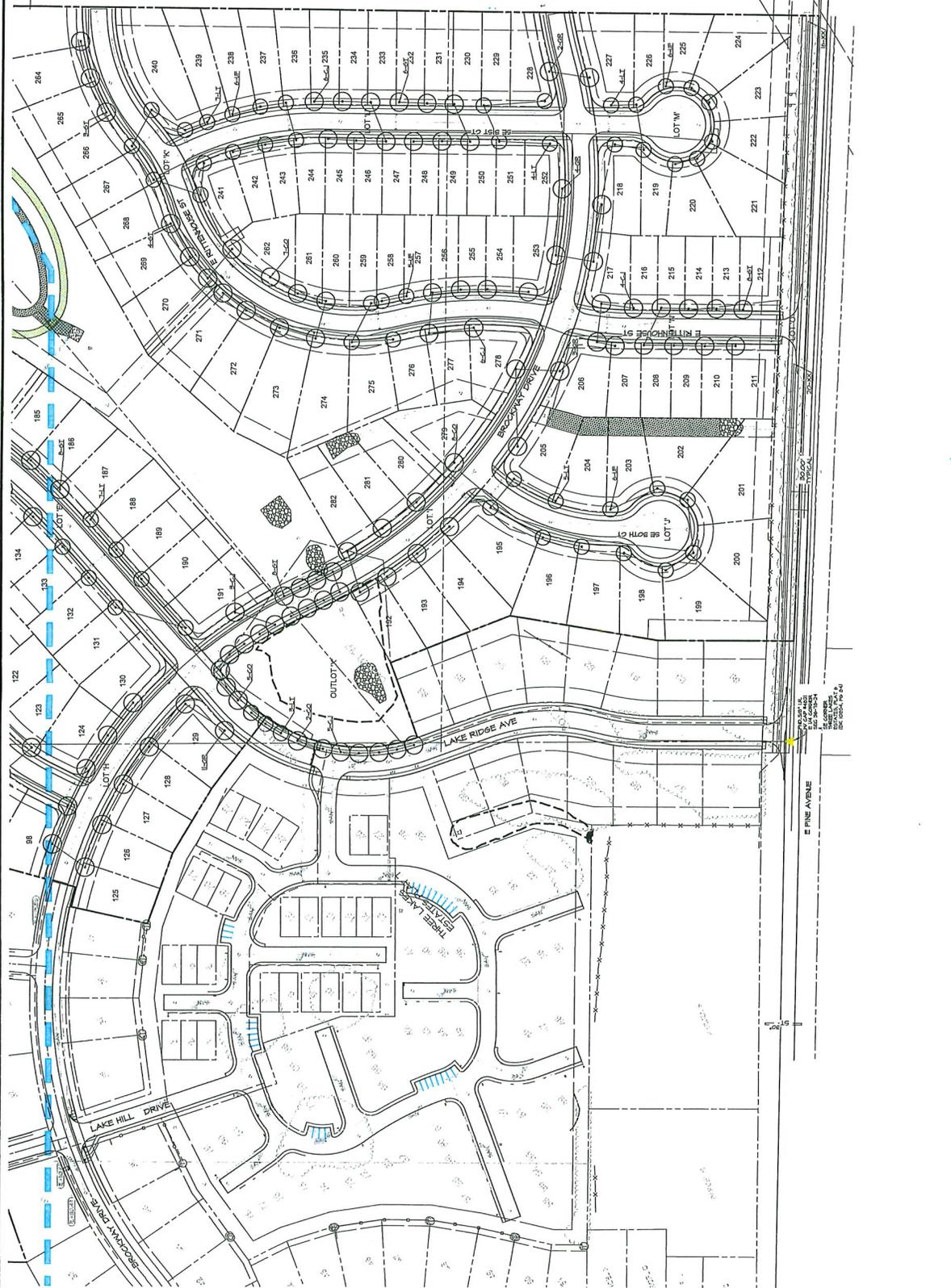
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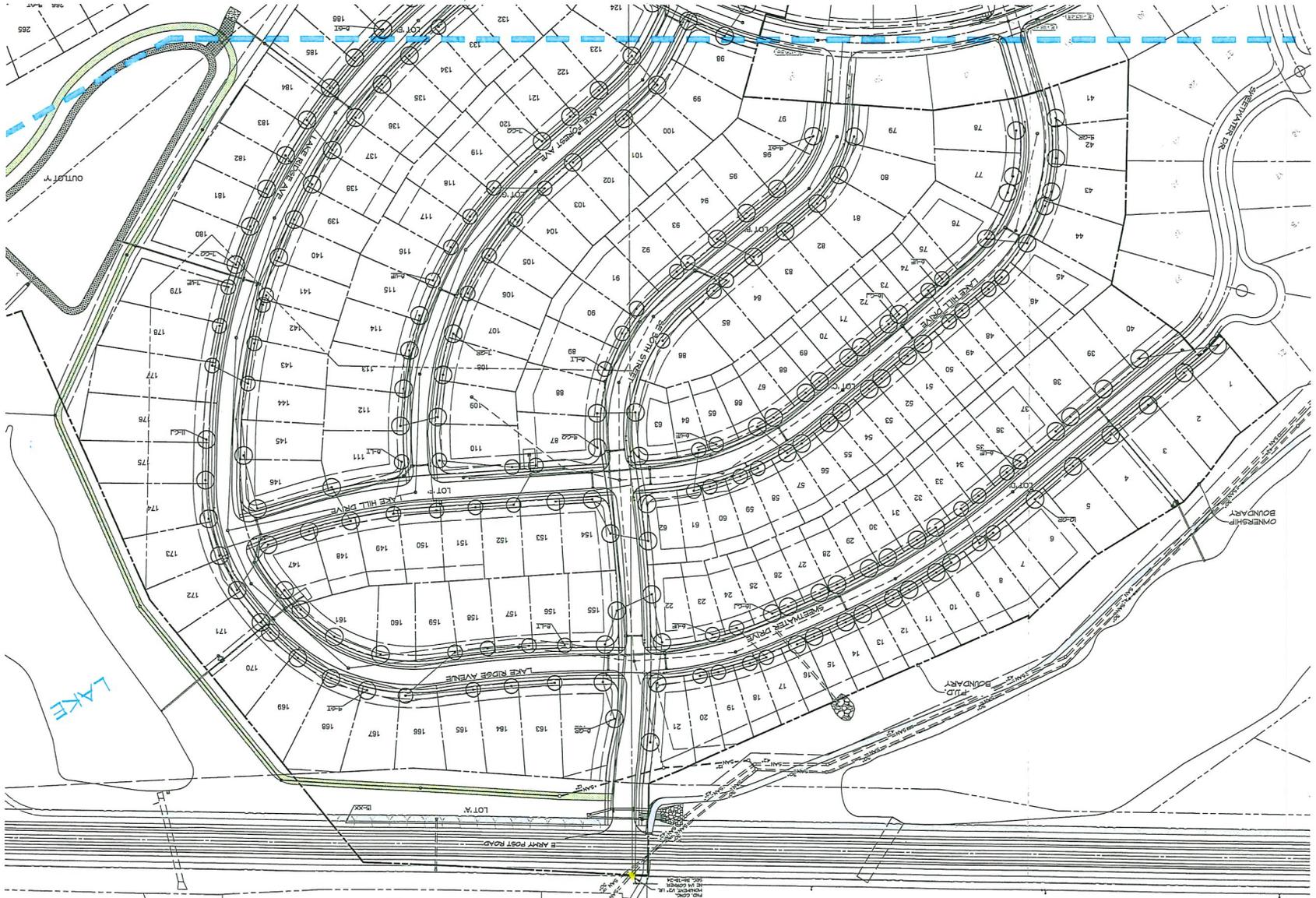
DATE:	01/23/2020
DESIGNED BY:	197 948 - D/AN/200
DATE OF SURVEY:	01/22/2019
DESIGNED BY:	7/9/19
DATE:	01/23/2020

SHEET 12 OF 12



SCALE: 1"=60'





PRELIMINARY - NOT FOR CONSTRUCTION



SCALE: 1"=20'
NORTH

THREE LAKES ESTATES PHASE 2
DES MOINES, IOWA
NORTH LANDSCAPING

DATE:	02/25/2020
DRAWN BY:	CH
CHECKED BY:	CH
DESIGNED BY:	CH
DATE OF REVISION:	02/25/2020
REV:	001 - 02/25/2020



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CH

