



Date May 10, 2021

RESOLUTION HOLDING HEARING ON REQUEST FROM RIVER POINT WEST, LLC FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN “SLATE AT GRAY’S LANDING” FOR PROPERTY AT 400 SOUTHWEST 11TH STREET

WHEREAS, on April 19, 2021, by Roll Call No. 21-0617, the City Council received a communication from the City Plan and Zoning Commission advising that on April 1, 2021, the Commission voted 13-0 to **APPROVE** a request from River Point West LLC (owner), represented by Will Anderson (officer), to approve the PUD Final Development Plan “Slate at Gray’s Landing” on property located at 400 Southwest 11th Street (“Property”) to allow for subdivision of a 4.10-acre lot for an 132-unit multiple-household building for independent senior living on the north half of the Slate at Gray’s Landing PUD District, subject to the following:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.
3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation; and

WHEREAS, the Property is legally described as follows:

LOT 1, GRAY’S LANDING PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA; and

WHEREAS, on April 19, 2021, by Roll Call No. 21-0617, it was duly resolved by the City Council that the request for approval of the PUD Final Development Plan be set down for hearing on May 10, 2021 at 5:00 p.m., by electronic means in accordance with the Governor’s and Mayor’s Proclamations and to encourage and maintain social distancing to curb the spread of COVID19 in the community, without public access to the meeting location; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place for hearing on said proposed PUD Final Development Plan; and

WHEREAS, in accordance with said notice, those interested in said proposed PUD Final Development Plan, both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed PUD Final Development Plan “Slate at Gray’s Landing” are hereby overruled, and the hearing is closed.

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Date May 10, 2021

- The proposed PUD Final Development Plan “Slate at Gray’s Landing”, as on file in the Development Services Department, is hereby found to be in conformance with PlanDSM: Creating Our Tomorrow Plan and is hereby approved, subject to condition stated above.

MOVED BY _____ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank
 Glenna K. Frank, Assistant City Attorney

(10-2021-7.60)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED			APPROVED	

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

_____ Mayor

_____ City Clerk

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April 13, 2021

Date May 10, 2021
Agenda Item 52
Roll Call # _____

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their April 1, 2021 meeting, the following action was taken regarding a request from River Point West LLC (owner) represented by Will Anderson (officer) for review and approval of a PUD Final Development Plan "Slate at Gray's Landing" for development of the senior housing project proposed for 400 SW 11th Street.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the proposed PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.

3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation. (10-2021-7.60)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.
3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to construct a 132-unit multiple-household building on the north half of the Slate at Gray's Landing "PUD" site. The development would operate as housing for independent senior living.
2. **Size of Site:** 178,719 square feet (4.1 acres).
3. **Existing Zoning (site):** Slate at Gray's Landing Legacy "PUD" Planned Unit Development District.
4. **Existing Land Use (site):** Undeveloped land.
5. **Adjacent Land Use and Zoning:**
 - North** – "PUD"; Use is multiple-household units.
 - South** – "DX2"; Use is undeveloped land.
 - East** – "DX2"; Use is multiple-household units.
 - West** – "PUD"; Uses are rowhouse and multiple-household units.

6. **General Neighborhood/Area Land Uses:** The subject property is in the southwest portion of the downtown in the Gray's Landing/Gray's Station neighborhood. The surrounding area consists of vacant land, commercial uses, multiple-household residential uses, light industrial uses, the Raccoon River, and Gray's Lake Park.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Downtown Des Moines Neighborhood. All neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda on March 12, 2021 and the Final Agenda on March 26, 2021. Additionally, separate notifications of the hearing for this specific item was mailed on March 22, 2021 (10 days prior to the hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the requested rezoning. The Downtown Des Moines Neighborhood Association mailings were sent to Sebastian Hamirani, 1400 Walnut Street, #413, Des Moines, IA 50309.
8. **Relevant Zoning History:** The Slate at Gray's Landing PUD rezoning and PUD Conceptual Plans were approved by the City Council on January 28, 2019 by Roll Call Numbers 19-0167, 19-0168 and 19-0169.
9. **PlanDSM Future Land Use Plan Designation:** Downtown Mixed Use.
10. **Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City's Stormwater Management requirements to the satisfaction of the City's Permit and Development Center. The development would utilize regional facilities designed to account for development in this area.
2. **Access & Parking:** The proposed building would front Tuttle Street to the north and Southwest 11th Street to the east. A trail adjoins the site to the west. Multiple points of pedestrian access would be provided to the adjoining public sidewalks and the trail. Vehicular access would be limited to a single driveway from Southwest 11th Street. A surface parking lot would be located within the development. The building would contain basement-level parking accessed from the main driveway. A total of 160 parking spaces would be provided.
3. **Urban Design:** The proposed building would be 4 stories tall and would include an attached 1-story clubhouse that would house an indoor pool, fitness center, community room, spa, and hobby room. The building would provide a mix of 1-bedroom; 1-bedroom plus den; and 2-bedroom units. The building would have a C-shape with frontage along Southwest 11th Street, Tuttle Street, and a trail to west constructed by Hubbell as a part of the Gray's Station development. Proposed materials consist of two types of fiber cement board (slate blue panel and a brown lap), light gray manufactured

stone veneer, and gray rock face CMU. Windows, decks, and railing will utilize a dark bronze aluminum.

The proposal generally complies with the PUD Conceptual Plan. Section III of the report includes a few design related items that staff believe should be address. This includes the request that the applicant work with staff to look for ways to provide greater visual interest for the east façade of the clubhouse, particularly at the entrance. The appearance of this side of the clubhouse is somewhat monolithic as compared to the rest of the building. Adding variation or visual emphasis would help break up the façade, call attention to the entrance of the clubhouse, and possibly better tie this part of the clubhouse to the architectural character of the rest of the development.

SUMMARY OF DISCUSSION

Dory Briles asked if any member of the public or the commission desired to speak on the item. No one requested to speak.

COMMISSION ACTION:

Emily Webb made a motion for **APPROVAL** of the proposed PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.
3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation.

Motion passed: 13-0

Respectfully submitted,



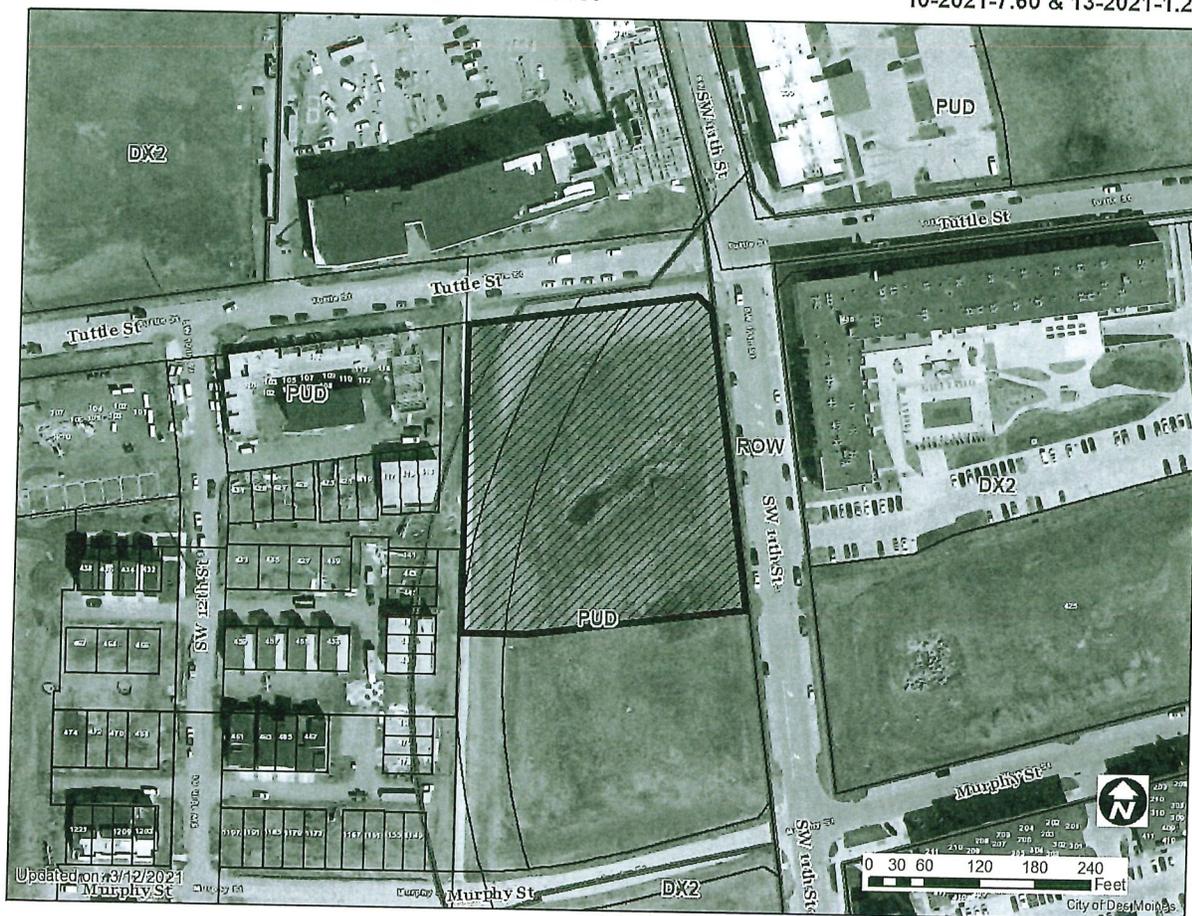
Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

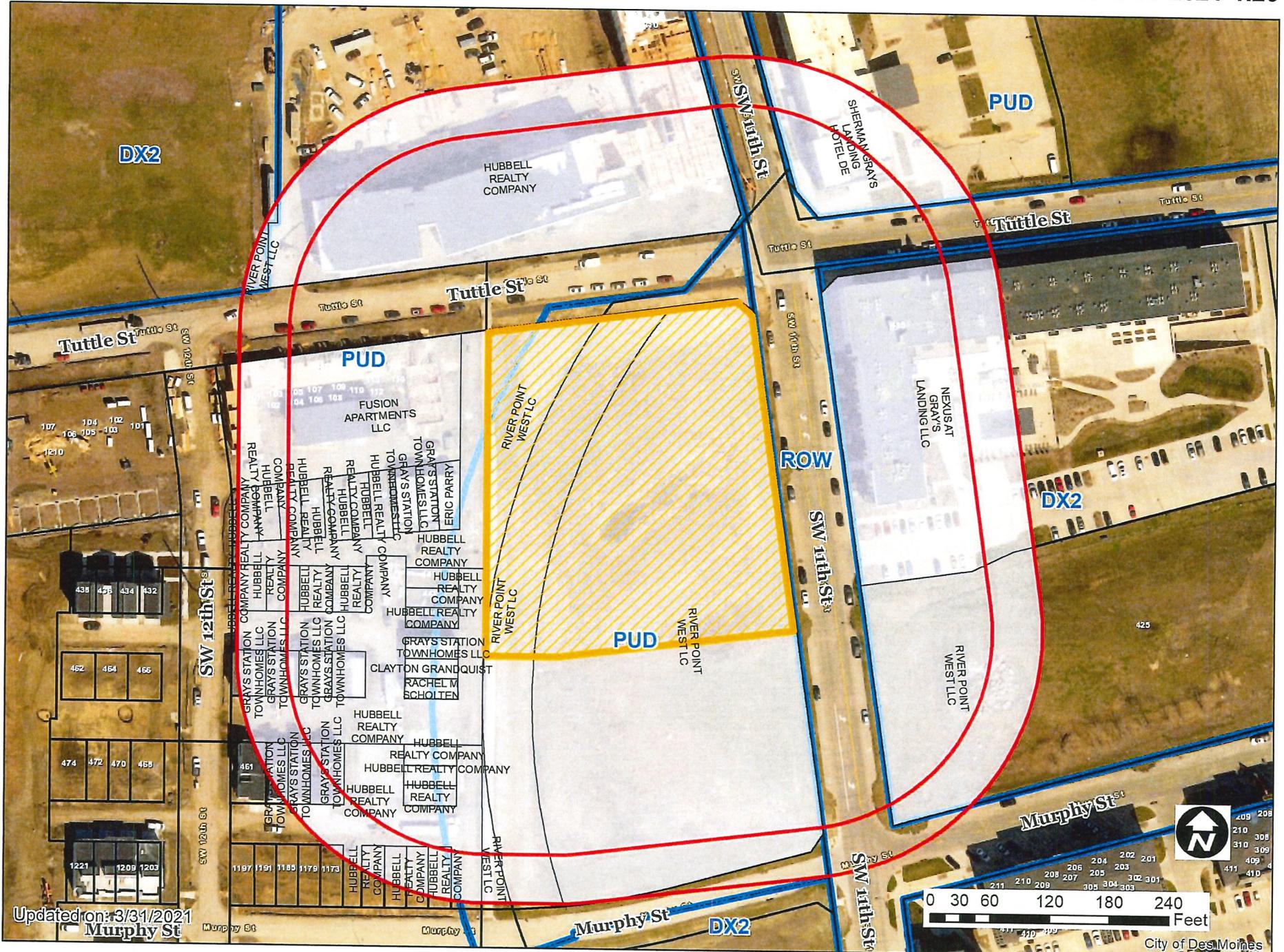
Request from River Point West LLC (owner) represented by Will Anderson (officer) for the property located at 400 SW 11th Street		File #		
		10-2021-7.60		
Description of Action	Review and approval of a PUD Final Development Plan "Slate at Gray's Landing" for development of the senior housing project.			
PlanDSM Future Land Use	Current: Downtown Mixed Use. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	No planned improvements.			
Current Zoning District	Slate at Gray's Landing Legacy "PUD" Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	0	0		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No

River Point West LLC, 400 Southwest 11th Street

10-2021-7.60 & 13-2021-1.29



1 inch = 128 feet



EG

LEGEND

Table with columns: Features, Existing, Proposed. Lists various utility and site features like Spot Elevation, Contour Elevation, Fences, Trees, etc.

(+) Denotes the survey quality service level for utilities

Table showing utility symbols for Sanitary Manhole, Storm Sewer with Size, Storm Manhole, etc.

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE G/ ASCE 38-02 STANDARD.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA...

UTILITY CONTACT INFORMATION

Table listing utility providers and their contact information, including CenturyLink Local Network, Mid-American Energy Company, Windstream, etc.

BENCHMARKS

DES MONIES VERTICAL DATUM
MATHN DERIVED - US SURVEY FEET
BM45578 ELEV=28.89
BM2 ELEV=21.58
BM3 ELEV=26.32

CONTROL POINTS

POLK COUNTY COORDINATE SYSTEM
NAD83/2011EPOCH 2010.00 IARTH DERIVED - US SURVEY FEET
CP1 N=60430.39 E=85294.70
CP2 N=59291.54 E=85420.18
CP3 N=59444.96 E=85426.81

CITY OF DES MOINES BENCHMARK DATUM

7725 ELEVATION 28.84
SW CORNER OF W. MARTIN LUTHER KING JR. PARKWAY AND SW 11TH STREET, BRASS CAP IN NE CORNER OF TRAFFIC SIGNAL BASE.

GENERAL NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH THE UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION.
B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORT PREPARED BY OTHERS.
C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)...

FLOOD ZONE:

FLOOD ZONE DESIGNATION - THE PROPERTY SHOWN IS DESIGNATED ZONE "X" (AREA PROTECTED FROM 100-YEAR FLOOD BY LEVEE, DIKE, OR OTHER STRUCTURES SUBJECT TO POSSIBLE FAILURE OR OVERTOPPING DURING LARGER FLOODS AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 190227 0006 D, DATED SEPTEMBER 18, 1987.

ZONING (EXISTING AND PROPOSED)

GRAYS LANDING PUD CONCEPT PLAN 20A2019-00200

PROPERTY DESCRIPTION

LOT 1, GRAYS LANDING PLAT 1
PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.
PROPERTY AREA: 4.10 AC (FINAL PLAT)
ADDRESS: 400 SW 11TH STREET
178.79 SF

PROPOSED USE

APARTMENTS
132 DWELLING UNITS

PARKING:

ZONING REQUIRES NO OFF STREET PARKING FOR ANY USE.

UNDERGROUND PARKING: 155 STALLS
EXTERIOR PARKING: 53 STALLS

ACCESSIBLE PARKING: 4 STALLS
EXTERIOR PARKING: 1 STALLS
TOTAL: 160 STALLS

BIKE RACKS:

12 EXTERIOR BIKE PARKING LOCATIONS SHOWN
55 INTERIOR BIKE STORAGE SPACES SHOWN.

DEVELOPMENT SCHEDULE

Table with columns: Activity, Schedule. Lists activities like Earthwork/Fundations, Underground Utilities, etc.

IMPERVIOUS SITE AREA

BUILDING: 46,521 SF
PARKING/DRIVEWAY: 31,927 SF
TOTAL SITE IMPERVIOUS AREA: 78,448 SF

SETBACKS/BULK REGULATIONS

FRONT YARD: 15' MAX.
REAR YARD: 5' MAX.
SIDE YARD: 0'
MAX. BUILDING HT.: 36'
MAX. BUILDING FT.: 36'

TRASH SERVICE

TRASH AND RECYCLING SERVICE WILL BE CONDUCTED IN THE UNDERGROUND PARKING GARAGE AREA. NO DUMPSTERS WILL BE PROVIDED OUTSIDE OF THE BUILDING, ELIMINATING THE NEED FOR A DUMPSTER ENCLOSURE.

CERTIFICATE OF OCCUPANCY

A CERTIFICATE OF OCCUPANCY ALLOWING THE BUILDING TO BE OCCUPIED BY RESIDENTS CANNOT BE ISSUED UNTIL THE ADJOINING SEGMENT OF TUTTLE STREET FROM BACK OF CURB TO PROPERTY LINE HAS BEEN COMPLETED.

BUILDING:

FOOTPRINT: 46,521 S.F.
BUILDING HEIGHT: 50'0"

TAX ABATEMENT NOTES:

- ANY GROUND-MOUNTED OR WALL-MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
- ANY WALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
- ALL UTILITIES SHALL BE UNDERGROUND UNLESS OTHERWISE ALLOWED PER SITE PLAN.

- FOUR SUSTAINABILITY CREDITS BEING MET BY THE PROJECT:
1. BIKE RACKS FOR PUBLIC USE (102).
2. PRIMARY ENTRY WITHIN 1/4 OF MILE OF A DART TRANSIT STOP (.222 MILE).
3. BUS STOP AT CORNER OF SW 8TH AND MURPHY.
4. PROVISION OF AN ELECTRIC CHARGING VEHICLE STATION ON-SITE.

PLANNING AND ZONING MEETING DATES:

XXXX XX, XXXX

URBAN DESIGN REVIEW BOARD MEETING DATES:

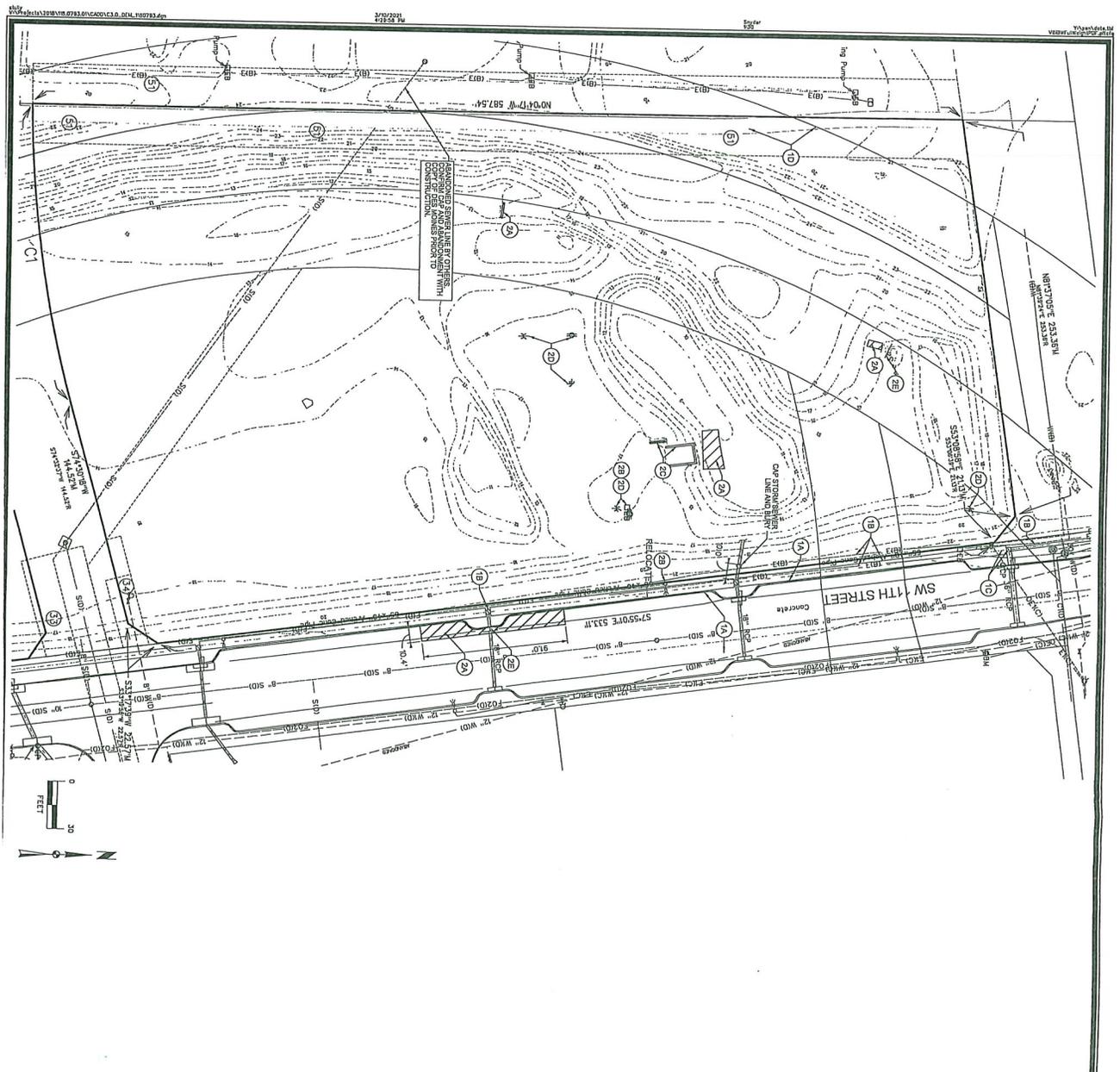
FEBRUARY 23, 2021

Table with columns: REVISION, DATE, BY. Shows revision history.

Table with columns: MARK, CHECKED BY, DATE, TIME, PREPARED BY. Shows project details.

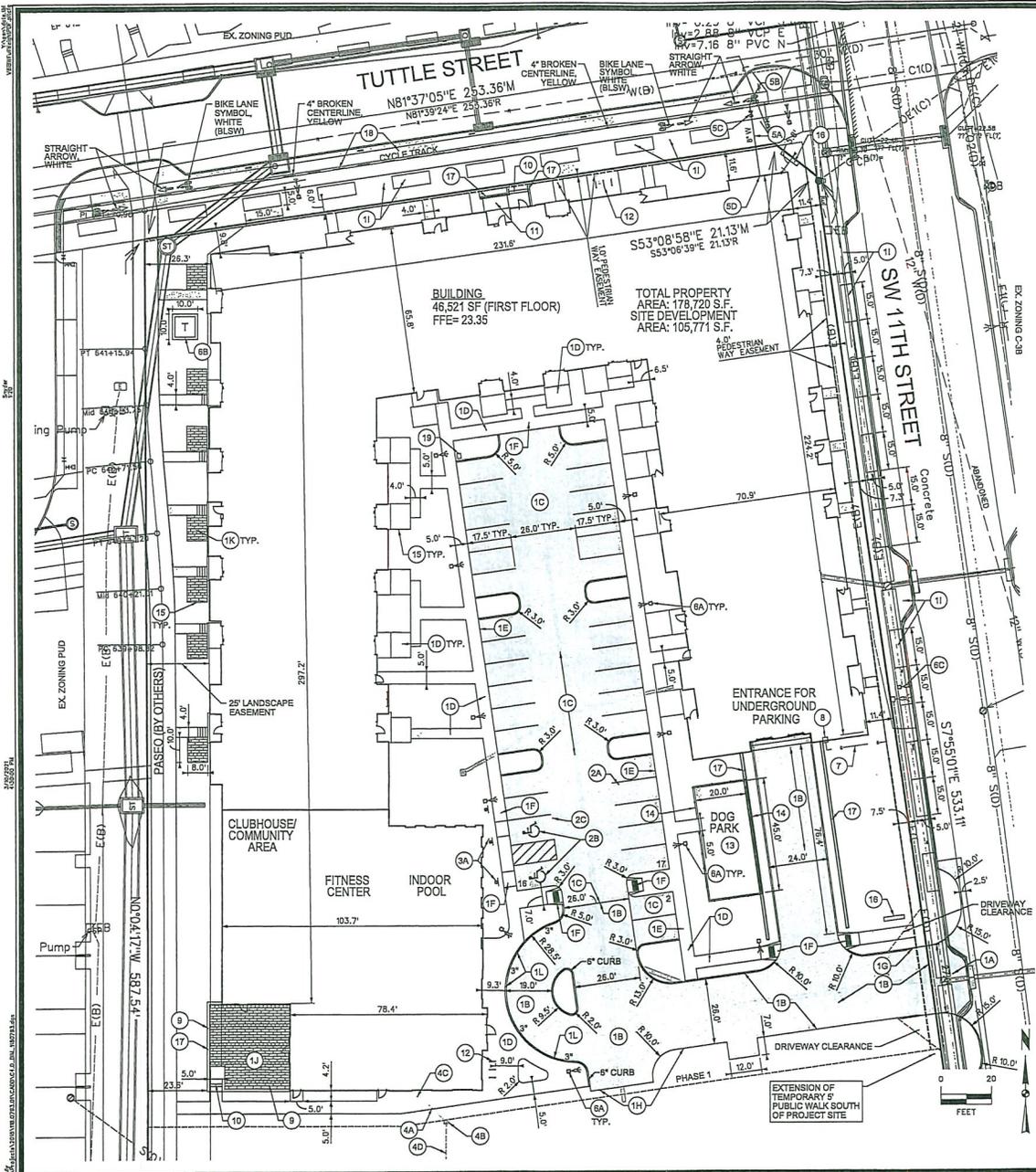
DES MOINES, IOWA
PROJECT INFORMATION
SLATE AT GRAY'S LANDING
SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES logo and contact information: Project No: 1180793, Sheet 2 of 12.



- DEMOLITION PLAN CONSTRUCTION NOTES**
1. VERIFY ALL SITE FEATURES NOT SHOWN FOR EXISTENCE AND LOCATION. ANY DISCREPANCY, ANY DAMAGE TO EXISTING STRUCTURES, OR DEMOLITION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES, IOWA.
 2. VERIFY ALL UTILITIES AND SERVICES ARE CORRECTLY LOCATED AND DEPTHS ARE AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES, IOWA.
 3. VERIFY ALL UTILITIES AND SERVICES ARE CORRECTLY LOCATED AND DEPTHS ARE AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES, IOWA.

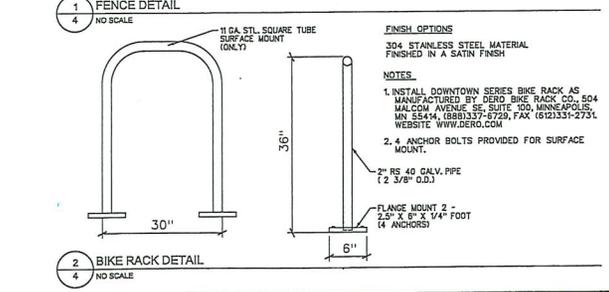
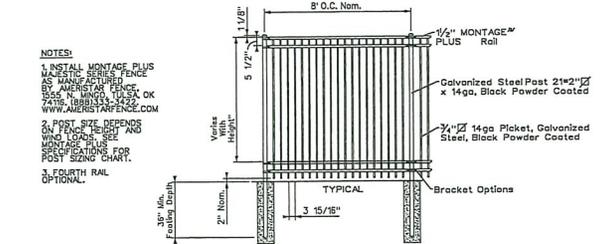
SNYDER & ASSOCIATES Project No: 180793	SLATE AT GRAY'S LANDING SITE BOUNDARY INFORMATION AND DEMOLITION PLAN SNYDER & ASSOCIATES, INC.	DES MOINES, IOWA 2727 S.W. SNYDER BLVD. ANKENY, IOWA 50023 515-984-2020 www.snyder-associates.com
Project No: 180793		Sheet 3 of 12



DIMENSION PLAN CONSTRUCTION NOTES

- PAVEMENTS, PROVIDE THE FOLLOWING:
 - 8" DEPTH PCC DRIVEWAY ENTRANCE AS PER CITY OF DES MOINES STANDARDS.
 - 7" DEPTH PCC WITH 8" CURB ON 4" DEPTH GRANULAR BASE.
 - 6" DEPTH PCC WITH 8" CURB ON 4" DEPTH GRANULAR BASE.
 - 4" DEPTH PCC SIDEWALK.
 - INTEGRAL WALK AND 8" CURB.
 - CONCRETE FINISH SHALL BE MAXIMUM SLOPE.
 - TAPER CURB IN 6".
 - NO CURB.
 - CLASS "K" SIDEWALK, 5" DEPTH PCC WITH TREE TIPS, ALONG SW 11" STREET AND TUTTLE STREET AS PER CITY OF DES MOINES STANDARDS.
 - 5" DEPTH COLORED STAMPED PCC COMMUNITY TERRACE.
 - 5" DEPTH COLORED STAMPED PCC PATIO.
 - 3" ROLL CURB.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - 4" WIDE PAINTED PARKING STALL LINES YELLOW.
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL, YELLOW.
 - ACCESSIBLE ASILE, 45 DEGREE STRIPING AT 3' ON CENTER SPACING, YELLOW.
- SIGNS, PROVIDE THE FOLLOWING:
 - ADAPTABLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS, MOUNTED TO A STEEL T POST WITH CONCRETE FOOTING.
 - ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS, MOUNTED TO A STEEL T POST WITH CONCRETE FOOTING.
- SANITARY SEWER, PROVIDE THE FOLLOWING:
 - VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS, MOUNTED TO A STEEL T POST WITH CONCRETE FOOTING.
 - SEWER MANHOLE, SEE PLAN FOR STRUCTURE INFORMATION.
 - CONNECT TO BUILDING SANITARY SEWER SYSTEM, COORDINATE WITH PLUMBING PLANS.
 - CONNECT TO SANITARY SEWER SERVICE, CONTRACTOR TO CONFIRM EXACT DEPTH AND LOCATION OF SERVICE PRIOR TO CONSTRUCTION.
- WATER SERVICE, PROVIDE THE FOLLOWING:
 - 8" DUCTILE IRON PIPE WITH NITRILE GASKETS WATER SERVICE LINE TO BUILDING.
 - CONNECT TO WATER MAIN AS PER DMIWV STANDARDS, CONTRACTOR TO COMPLETE AND SUBMIT WATER SERVICE APPLICATION TO DMIWV PRIOR TO CONSTRUCTION.
 - 8" ISOLATION VALVE.
 - CONNECT TO BUILDING WATER SYSTEM, COORDINATE WITH PLUMBING PLANS.
- ELECTRICAL SERVICE AND SITE LIGHTING, COORDINATE WITH ELECTRICAL PLANS.
 - PARKING LOT AND DRIVE ISLE OVERHEAD LIGHTING SHALL CONSIST OF POLE MOUNTED LIGHTING NOT TO EXCEED 20' HEIGHT. LIGHT LOCATIONS SHOWN FOR COORDINATION PURPOSES, PLEASE REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - TRANSFORMER PAD COORDINATE SIZE AND REQUIREMENTS WITH UTILITY PROVIDER, CONTRACTOR TO PROVIDE CONCRETE PAD, SLEEVES, CONDUITS AND GRAVEL MOUNT AS PER UTILITY PROVIDER'S REQUIREMENTS.
 - EXISTING STREET LIGHTS ON SW 11TH STREET SHALL BE REPLACED WITH BLACK LED AUTOBAIN POLES AND FIXTURES.
- COORDINATE GAS SERVICE ROUTING AND CONNECTION WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
- GAS SERVICE BUILDING CONNECTION, COORDINATE WITH MECHANICAL PLANS FOR METER LOCATION AND SERVICE REQUIREMENTS.
- CONCRETE RETAINING WALL WITH DECORATIVE FENCE.
- CONCRETE STEPS WITH HANDRAIL.
- PEDESTRIAN RAMP WITH HANDRAILS AS PER ADAAG REQUIREMENTS.
- BIKE RACK AREA, PROVIDE 6 BIKE RACKS IN AREAS SHOWN (CAPACITY FOR 12 BIKES) SURFACE-MOUNTED TO PAVEMENT.
- DOG PARK AREA SURFACING AS PER OWNER (SYNTHETIC TURF).
- 4" HT. DECORATIVE METAL FENCING FOR DOG PARK WITH 5' WIDE PEDESTRIAN GATES, 6' HT. FENCE ON TOP OF ADJACENT RETAINING WALL.
- 4" HT. DECORATIVE METAL FENCING WITH 3' WIDE PEDESTRIAN GATE.
- SLATE MONUMENT SIGN.
- RETAINING WALL, SEE ARCHITECTURAL PLANS.
- THE PAVEMENT MARKINGS FOR THE CYCLE TRACK MUST BE COORDINATED WITH THE CITY TRAFFIC DEPARTMENT (255-263-4973) AND MUST MEET THE CITY OF DES MOINES SIGNING AND MARKING DESIGN STANDARDS AND POLICIES.
- CAR CHARGING STATION.

DIMENSION LEGEND



- NOTES:**
1. INSTALL MONTAGE RAIL PLUS 1/2" MONTAGE RAIL BY AMERICAN FENCE CO. 7416 N. IRISH AVE. #224 OK TIA, IA 50314-7229. WWW.AMERICANFENCE.COM
 2. POST SIZE DEPENDS ON WIND LOAD AND HEIGHT. SEE AMERICAN FENCE CO. WEBSITE FOR POST SIZING CHART.
 3. FOURTH RAIL OPTIONAL.

1 FENCE DETAIL
4 NO SCALE

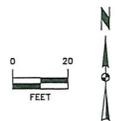
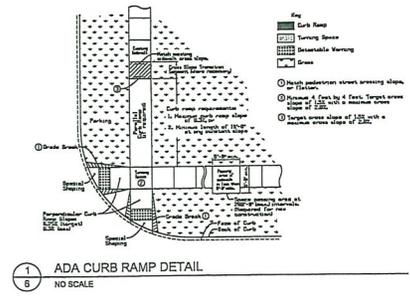
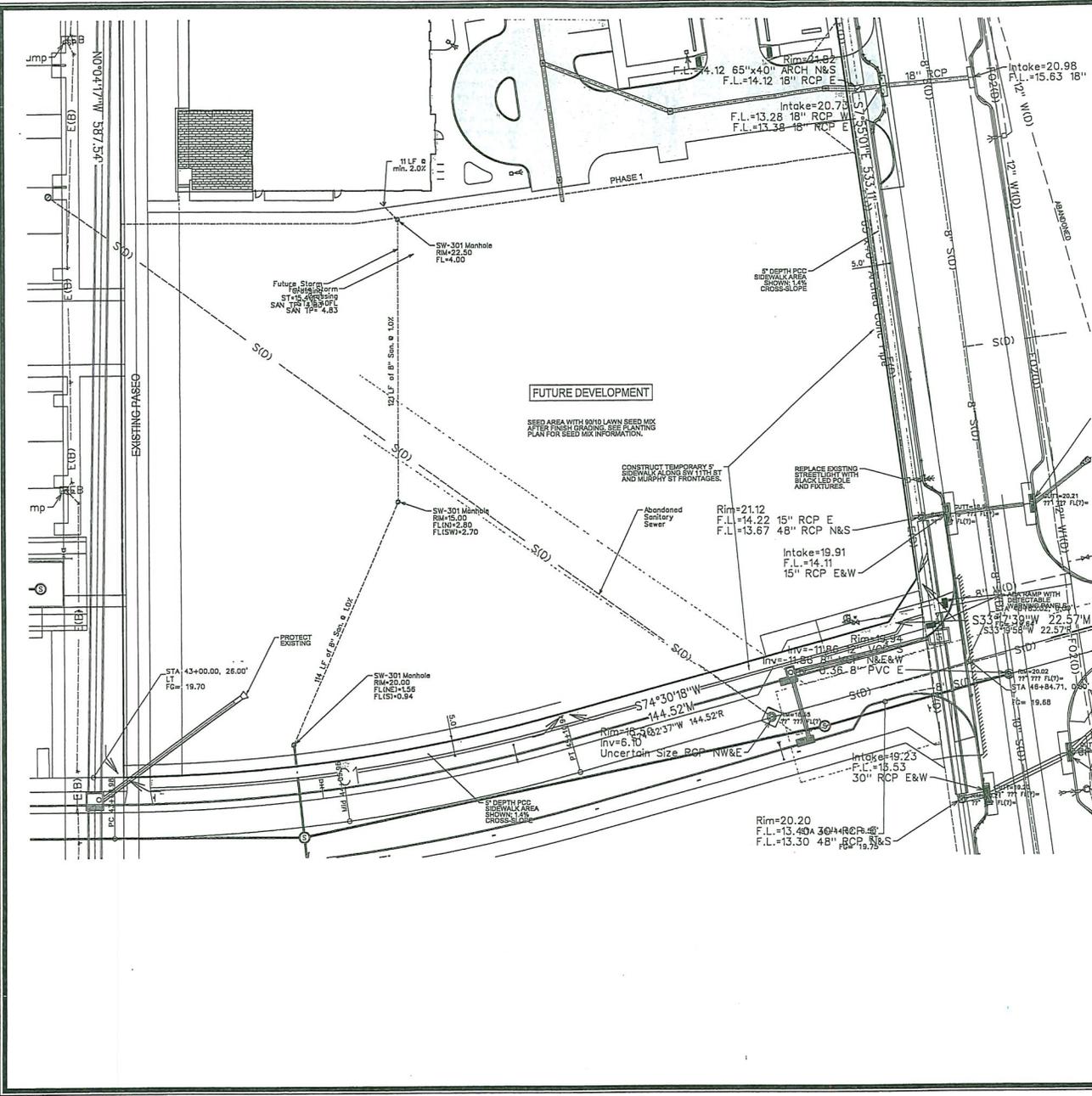
2 BIKE RACK DETAIL
4 NO SCALE

Slate at Gray's Landing
 SITE LAYOUT PLAN
SNYDER & ASSOCIATES, INC.

DES MOINES, IOWA
 2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-984-2020 | www.snyder-assoc.com

Project No: 1180793
 Sheet 4 of 12

DES MOINES, IOWA
 2777 S.W. SYNDER BLVD.
 ANKENY, IOWA 50023
 515-984-2020 | www.snyder-associates.com



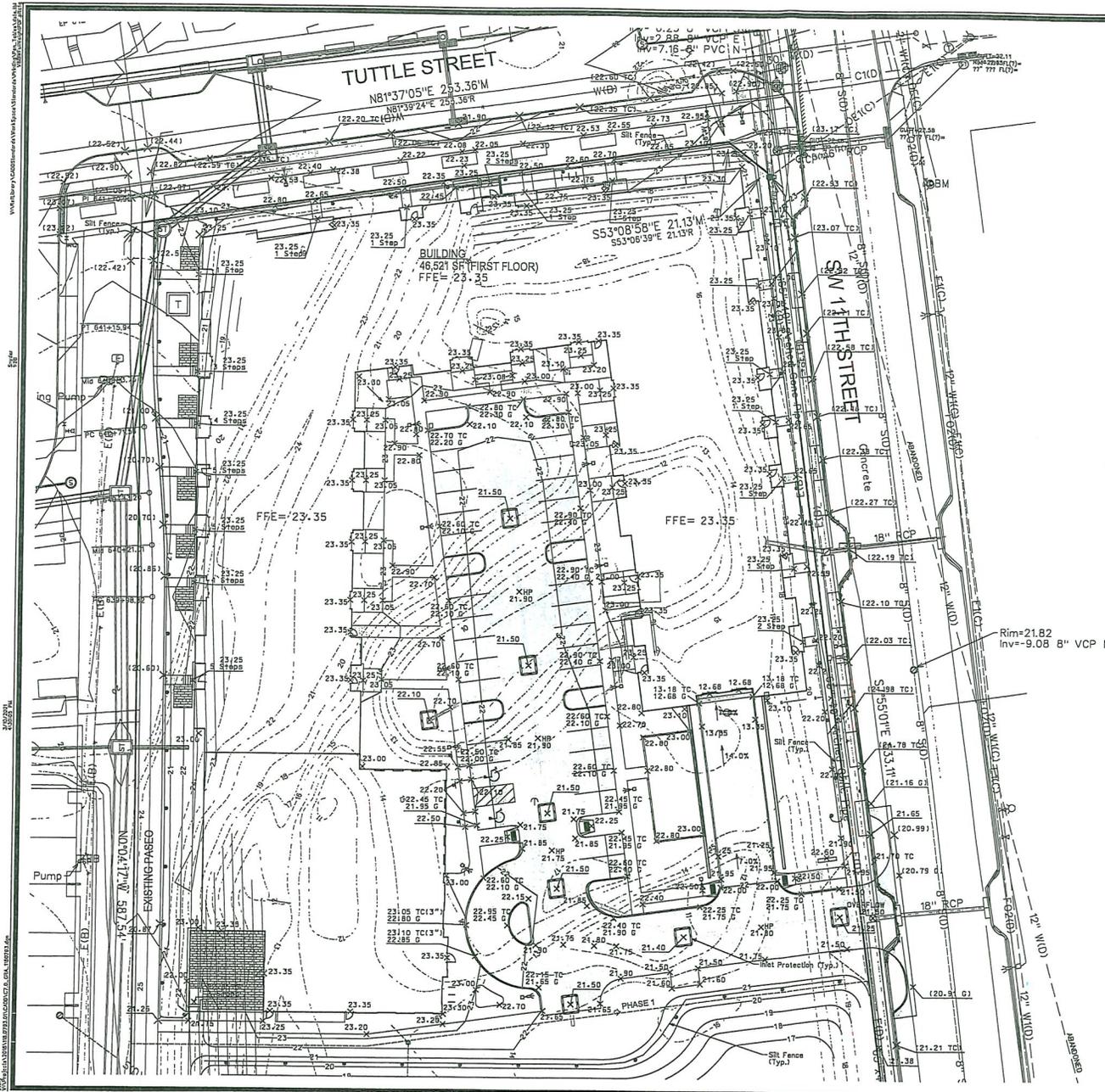
NO.	REVISION	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR PER CITY COMMENTS				

DES MOINES, IOWA
 2777 S.W. SYNDER BLVD.
 ANKENY, IOWA 50023
 515-984-2020 | www.snyder-associates.com

SLATE AT GRAY'S LANDING
SIDEWALK AND UTILITY PLAN - SOUTH
SNYDER & ASSOCIATES, INC.



Project No: 1180793
 Sheet 6 of 12



GRADING PLAN NOTES

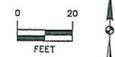
1. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPIREAD TO MINIMUM 6" DEPTH TO FINISH GRADE.
2. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
3. ALL DRAINAGE SWALES AND SLOPES 5% TO 10% GREATER TO BE SEEDED USING COMMERCIALY AVAILABLE EROSION CONTROL SEED MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
4. EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.

POLLUTION PREVENTION NOTES

- A. POLLUTION PREVENTION AND EROSION PROTECTION**
1. HOW COMPLIANCE THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION REQUIREMENTS OF THE IOWA CODE THE IOWA DEPARTMENT OF NATURAL RESOURCES (INDNR) PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BARRIERS OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.
 2. DAMAGE CLAIMS: THE CONTRACTOR SHALL HOLD THE OWNER AND ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OBTAIN PROPER IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMOTE PROPER EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY THE OWNER MAY BUT NEED NOT REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

- B. STORM WATER DISCHARGE PERMIT**
1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE DNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMIT NO. 2 AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 INCLUDING CONSTRUCTION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND FORMALLY OBTAINING THE GENERAL PERMIT COVERAGE FROM THE DNR.
 2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING BUT NOT LIMITED TO THE NOTICE OF INTENT, PROOF OF STABILIZATION OF THE DISTURBED SITE, SWPPP, SITE INSPECTION LOGS, AND OTHER ITEMS SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTION TO PROMOTE PROPER EARTH AND TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODES OF THE STATE OF IOWA.
 3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE DNR UPON FINAL STABILIZATION OF THE DISTURBED SITE. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES, ALL PLANS, INSPECTION REPORTS AND OTHER DOCUMENTS MUST BE RETAINED FOR THE LIFE OF THE PROJECT AND OTHER PROJECT COMPLETION THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

- C. POLLUTION PREVENTION PLAN**
1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLANS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.
 2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMPs) FOR COMPLIANCE WITH THE NPDES PERMIT COVERAGE. ALL BMPs AND EROSION CONTROL MEASURES REQUIRED AS A CONDITION OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, MAINTAIN, AND IMPLEMENT. ADDITIONAL BMPs FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.
 3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.
 4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMPs UNLESS FEASIBLE OR NOT APPLICABLE:
 - a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MANAGE STORM WATER INFILTRATION AND MINIMIZE SOIL COMPACTION.
 - b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SEDIMENTATION BASINS, DOWNSTREAM CHECK DAMS, OR OTHER MEASURES PRIOR TO SITE CLEANING AND GRADING OPERATIONS.
 - c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
 - d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER INCLUDING CLEANING, REPAIRING, REPLACEMENT AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
 - e. INSPECT THE PROJECT AREA AND CONTROL DEVICES BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP. CONSTRUCTION MUST BE STOPPED IMMEDIATELY IF ANY EROSION CONTROL MEASURES WITHIN 7 DAYS.
 - f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.
 - g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MESH, SLOTTED CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTIGUOUS RUNOFF FROM THE OWNER OR ENGINEER DESIGN MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.
 - h. RESPIREAD A MINIMUM OF 4 INCHES OF TOPSOIL INCLUDING TOPSOIL FOUND IN SOIL ON ALL DISTURBED AREAS EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
 - i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, OR SOIL AS SOON AS PRACTICAL UPON COMPLETION OR DELAY OF GRADING OPERATION INSTANT STABILIZATION MEASURES NO LATER THAN 14 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY HAS FINISHED OR IS PLANNED TO BE DELAYED MORE THAN 21 CALENDAR DAYS.
 - j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP UNLESS NECESSARY. STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING, WASTE OILING AREAS, TEMPORARY SANITARY FACILITIES, WASTE STORAGE, WASTE MAINTENANCE AREA, TEMPORARY CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BARRIERS AND/OR SILT BARRIERS AND DIRECT TO A DEDICATED BASIN OR DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ON-SITE.
 - k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".



NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	12/17/20	JTB
2	REVISED AS PER CITY COMMENTS	12/17/20	JTB

DES MOINES, IOWA
 DES MOINES, IOWA
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SLATE AT GRAY'S LANDING
GRADING, POLLUTION PREVENTION, AND EROSION CONTROL PLAN - NORTH
SNYDER & ASSOCIATES, INC.

Project No: 180793
 Sheet 7 of 12



Project No.: 180793

SNYDER & ASSOCIATES

SLATE AT GRAY'S LANDING

SITE ACCESSIBILITY PLAN

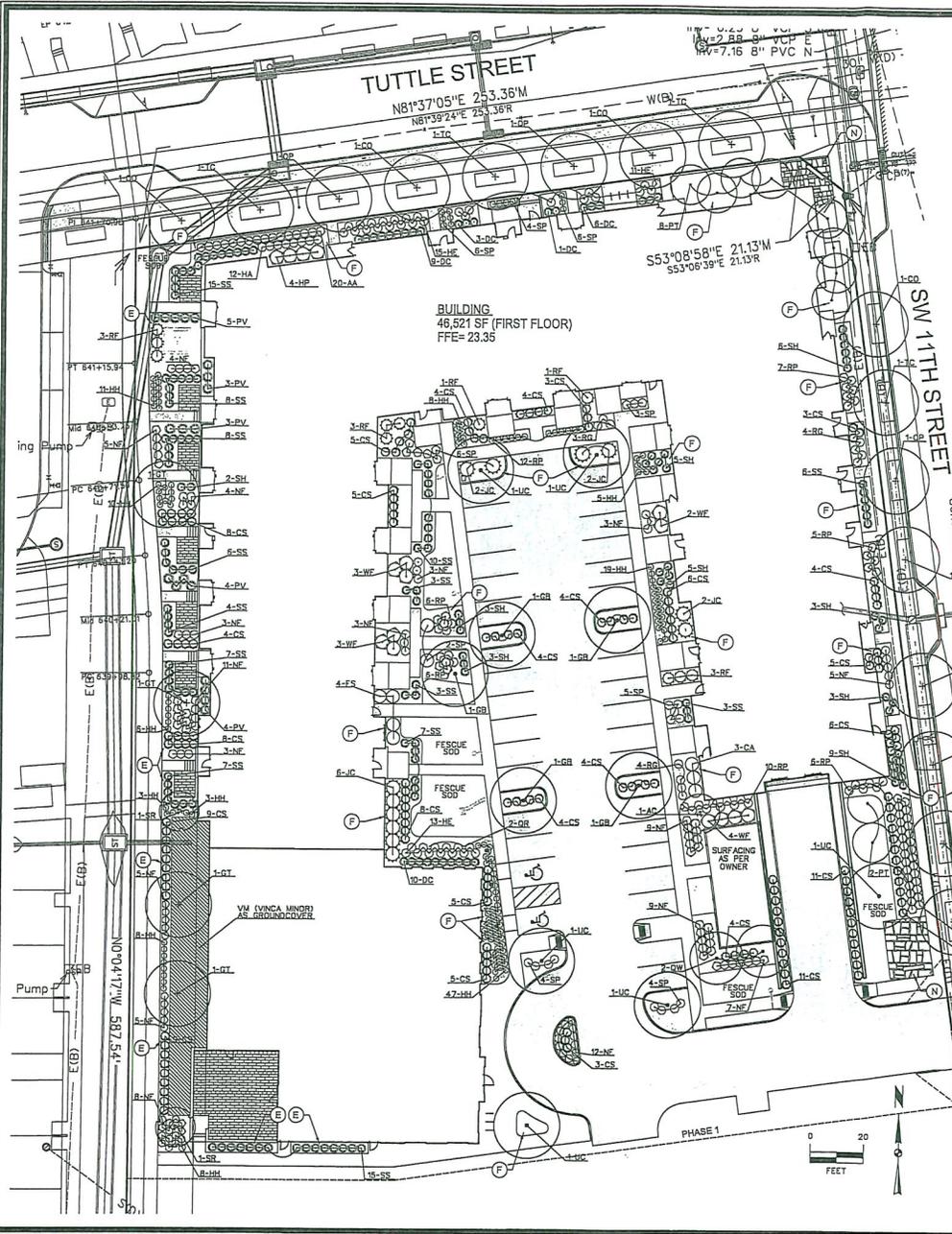
DES MOINES, IOWA

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-984-2020 | www.snyder-associates.com

1	REVISED AS PER CITY COMMENTS	03/10/21	STT
MARK	REVISION	DATE	BY
Engineer: EDC	Checked By: TLW	Scale: 1"=20'	
Technician: STT	Date: 12/17/20	Field Bk:	Pg:
Project No: 180793		Sheet 9 of 12	

DES MOINES, IOWA
 515-684-2020 | www.snyderandassociates.com
 11/11/2020



PLANTING REQUIREMENTS:

20X OPEN SPACE REQUIRED
 178,720 SF TOTAL LOT X 20X = 35,744.0 SF REQUIRED
 101,175 SF OPEN SPACE PROVIDED 56.6%

SITE TREES:
 178,720 SF x 0.15 = 26,808 SF CANOPY COVERAGE REQUIRED
 27 SHADE TREES REQUIRED
 38 SHADE TREES PROVIDED x 1,000 SF = 38,000 SF
 3 ORNAMENTAL TREES PROVIDED x 700 SF = 2,100 SF
 41,000 SF CANOPY COVERAGE PROVIDED

PARKING LOT - INTERIOR PLANTINGS:
 150% OF THE C-2 REQUIREMENT IS PROVIDED TO QUALITY AS A SUSTAINABILITY REQUIREMENT FOR TAX ABATEMENT

1 OVERSTORY TREE REQUIRED IN EACH LANDSCAPE ISLAND REQUIRED EVERY 9TH PARKING SPACE

EACH PARKING SPACE LOCATED WITHIN 50 FOOT OF A CANOPY SHADE TREE

ONE SHADE TREE REQUIRED PER 3 PARKING SPACES WHEN PARKING AREA EXCEEDS 40 STALLS (OVERALL FUTURE SITE PLAN TO SOUTH WILL SURPASS 40 STALLS)
 37/3 x 7.4 TREES REQUIRED (8 PROVIDED)

PARKWAY PLANTING:
 REQUIRED ALONG SW TUTTLE STREET AND SW 11TH STREET
 1 OVERSTORY DECIDUOUS TREE PER 30 LF.

-- NORTH PARKWAY
 240 LF / 30 LF = 8 TREES REQUIRED (8 PROVIDED)

-- EAST PARKWAY
 240 LF / 30 LF = 8 TREES REQUIRED (8 PROVIDED)

FRONTAGE BUFFER:
 1 OVERSTORY SHADE TREE EVERY 40 LINEAR FEET AND A CONTIGUOUS ROW OF SHRUBS/ORNAMENTAL GRASSES AT MINIMUM 3' O.C.

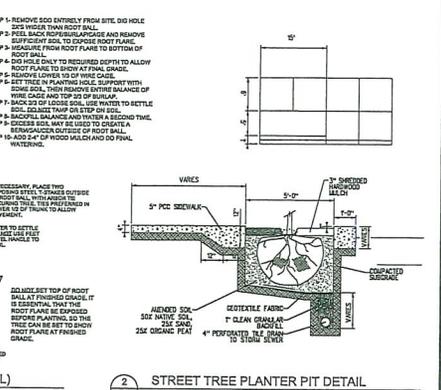
1 LF BUFFER x 40 LF = 2 SHADE TREES REQ. (3 PROVIDED) 80 LF / 3 = 26.67 SHRUBS REQ. (27 PROVIDED)

TREE MITIGATION REQUIREMENTS:
 26 TREES REQUIRED, 26 PROVIDED

UNIVERSITY	COMMON NAME	SIZE	COMMENTS
12H1	Botanical Name		
CD	Celtis occidentalis 'Prairie Pride'	PRINCE PRIDE HACKBERRY	7 1/2" CAL. BAB
CB	Claytonia sibirica 'Golden Caliente'	GOLDEN CALIENTE WARDENWATER TREE	7 1/2" CAL. BAB (BAUER)
GT	Quercus macrocarpa var. 'Fernald's Shiloh'	OKTICE HICKORY	7 1/2" CAL. BAB
PT	Populus tremuloides	QUAKING ASPEN	7 1/2" CAL. BAB
1C	The cordata 'Fragrant'	FRAGRANT LITTLE LEAF LINDEN	7 1/2" CAL. BAB
OR	Quercus macrocarpa 'F.S. Kelly' P22318	ORONIA PRINCE OAK	7 1/2" CAL. BAB
OR	Quercus robur x Q. alba 'Grimschmidt'	CRUCIATION SPIKE OAK	7 1/2" CAL. BAB
DW	Quercus x wrightii 'Lans'	PRINCE PRINCE OAK	7 1/2" CAL. BAB
1M	Amelanchier alnifolia 'Princess of Wales'	PRINCESS OF WALES	7 1/2" CAL. BAB
AC	Amelanchier x canadensis 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	7 1/2" CAL. BAB
SR	Syringa reticulata 'Honey Silk'	HONEY SILK LAUR	7 1/2" CAL. BAB

SHRUBS	COMMON NAME	SIZE	COMMENTS
CA	Cornus alba 'Shiloh'	RED-TIDY DOORWOOD	36" HI. CONT. (P. O.C.)
1F	Forsythia 'Forsyth'	RAMBLE FORSYTHIA	36" HI. CONT. (P. O.C.)
1E	Lonicera x albata 'Sea Grand'	SEA GRAND AMERICA	36" HI. CONT. (P. O.C.)
1P	Hydrangea arborescens 'Limelight'	LEUCODONT WHITE HYDRANGEA	36" HI. CONT. (P. O.C.)
1F	Thunbergia 'Framed The Window'	FRAME BUCKCHORN	36" HI. CONT. (P. O.C.)
1F	Syringa reticulata 'Honey Silk'	HONEY SILK LAUR	36" HI. CONT. (P. O.C.)
1V	Viburnum x chinensis 'Compactum'	COMPACT AMERICAN VIBERNUM	36" HI. CONT. (P. O.C.)
1F	Wickstroemia 'Alexander'	WINE & ROSES VIBERNA	36" HI. CONT. (P. O.C.)

PERENNIALS & GRASSES	COMMON NAME	SIZE	COMMENTS
AA	Aster x grandiflorus	ASTER MIX	12-24" HT. CONT. (P. O.C.)
HA	Hieracium sp.	CORAL BELL MIX	12-24" HT. CONT. (P. O.C.)
HE	Hebe sp.	HORITA MIX	12-24" HT. CONT. (P. O.C.)
HM	Hemerocallis 'Shirley Returns'	HAPPY RETURNS DAYLILY	8-12" HT. CONT. (P. O.C.)
1E	Hebe x laevis 'Vivid's Love'	WALKER'S LOW CANTARY	12" HT. CONT. (P. O.C.)
1R	Rudbeckia 'Golden Meisstrum'	BLACK EYED SUSAN	12" HT. CONT. (P. O.C.)
1R	Rudbeckia 'Goldstrum'	PRINCE CONFESSIONER	12" HT. CONT. (P. O.C.)
1S	Sedum 'Purple Emperor'	PURPLE EMPEROR SEDUM	12" HT. CONT. (P. O.C.)
1M	Miscanthus 'Dante's Eye'	DANTE'S EYE PERENNIAL	3-5' HT. CONT. (P. O.C.)
1S	Colymbasella x confertiflora 'Wolf Ears'	KARL FOERSTER FEATHER REED GRASS	24" HT. CONT. (P. O.C.)
1C	Stachytaraxa cernua	TIFFIN MARE GRASS	36" HT. CONT. (P. O.C.)
1F	Festuca arvensis 'Chardonnay'	CHARDONNAY PERENNIAL	36" HT. CONT. (P. O.C.)
1S	Sporobolus heterostachyus	PRINCE DISPOSED	36" HT. CONT. (P. O.C.)
1S	Stachytaraxa arvensis 'Stendro Ovalis'	STANDING OVATION LITTLE BLUESTEM	36" HT. CONT. (P. O.C.)



PLANTING PLAN GENERAL NOTES

A. NOTIFY UTILITY COMPANIES PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE OF EXACT LOCATION AND DEPTH OF ALL UTILITIES. ANY DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

B. CONTRACTOR SHALL FLAG ALL PLANT MATERIAL LOCATIONS IN THE FIELD FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1 LATEST EDITION). ALL PLANTS ARE TO BE INSPECTED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ANY PLANTS NOT MEETING THE SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR THE DURATION OF THE ESTABLISHMENT AND WARRANTY PERIOD AS SPECIFIED. THE ESTABLISHMENT PERIOD SHALL BEGIN AT THE DATE OF PROJECT ACCEPTANCE. A PLANT INSPECTION SHALL BE MADE PRIOR TO THE END OF THE ESTABLISHMENT PERIOD AND AGAIN PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD. REPLACEMENTS OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS.

E. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS ALONG THE PERIMETER. CONTIGUOUS MULCH BEDS AROUND ALL ADJACENT SHRUBS AND PERENNIAL PLANTINGS. PROVIDE SAMPLE FOR LANDSCAPE ARCHITECT REVIEW PRIOR TO INSTALLATION.

F. PRIOR TO INSTALLATION, CONTRACTOR SHALL PROVIDE A DARK GRAY TRAP ROCK (1 TO 1-1/2 INCH SIZE) MULCH IN LANDSCAPE AREAS LOCATED ON THE NORTH, EAST AND COURTYARD SIDES OF THE BUILDING.

G. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED LANDSCAPING ON SITE FOR THE DURATION OF THE ESTABLISHMENT AND WARRANTY PERIOD. ONCE WARRANTY PERIOD HAS EXPIRED THE OWNER SHALL MAINTAIN THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.

H. CONTRACTOR TO SOO ALL AREAS DISTURBED BY CONSTRUCTION, UNLESS OTHERWISE NOTED FOR SHRUBS.

I. CONTRACTOR TO PROVIDE AND INSTALL COMMERCIAL-GRADE LANDSCAPE EDGING AS SELECTED BY OWNER TO DEFINE THE PLANTING BED LIMITS.

J. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM UTILITIES, PROPERTY LINES, FIRE HYDRANTS AND PAVEMENTS. NOTIFY THE LANDSCAPE ARCHITECT IF FIELD ADJUSTMENTS ARE NEEDED.

K. CONTACT MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4105.

L. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.

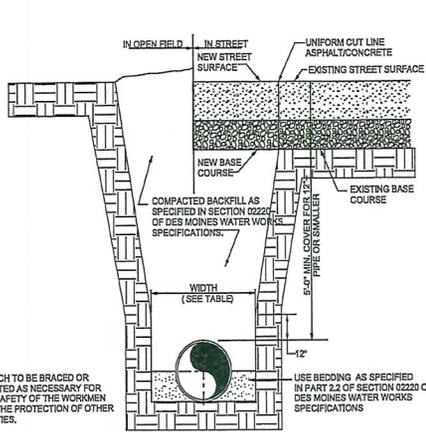
M. NO STAKING OF TREES IS ALLOWED.

N. PROVIDE SLATE SPECIALTY LANDSCAPE FEATURE AS PER OWNER.

O. ALL SOO AREAS TO BE LOW MOW NATIVE FESCUE VARIETY. SEE PLAN FOR LOCATIONS.

P. ALL PLANTING AREAS TO BE IRRIGATED. CONTRACTOR TO PROVIDE IRRIGATION SCHEMATIC PLAN FOR REVIEW BY OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

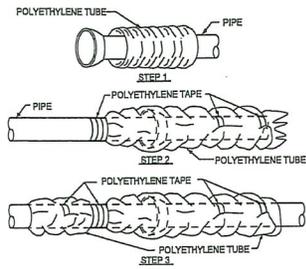
SLATE AT GRAY'S LANDING
 PLANTING PLAN
SNYDER & ASSOCIATES, INC.
 Project No: 180793
 Sheet 11 of 12



TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES.

PIPE DIAMETER	MINIMUM WIDTH	MAXIMUM WIDTH
4"	1'-4"	2'-4"
6"	1'-6"	2'-6"
8"	1'-8"	2'-8"
12"	2'-0"	3'-0"
16"	2'-4"	3'-4"
20"	2'-8"	3'-8"

TYPICAL TRENCH SECTION
Not to Scale



FIELD INSTALLATION - POLYETHYLENE WRAP

- Step 1 - Place tube of polyethylene material on pipe prior to lowering it into the trench.
- Step 2 - Pull the tube over the length of pipe. Tape tube to pipe at joint. Field material around the adjacent spigot end and wrap with tape to hold the plastic tube in place.
- Step 3 - Overlap first tube with adjacent tube and secure with plastic adhesive tape. The polyethylene tube covering the pipe shall be loose. Excess material shall be neatly drawn up around the pipe barrel, folded on top and taped in place.
- Note: Iron pipe fittings, including valves and hydrants shall be wrapped with two layers of polyethylene material. The wrapping shall extend at least 1' beyond the fitting joints onto the adjoining pipe and shall be fastened to the pipe with plastic tape. Tape shall be used as needed to hold wrap in place. Either polyethylene sheets or roll tubing may be used.

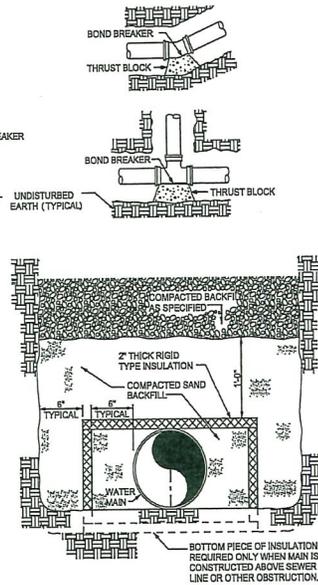
POLYETHYLENE WRAP DETAIL
Not to Scale

SIZE OF PIPE	VOLUME IN CUBIC YARDS			
	11 1/4"	22.5"	45"	90"
4"	0.18	0.43	0.9	1.35
6"	0.18	0.43	0.9	1.35
8"	0.3	0.78	1.57	2.33
12"	0.65	1.63	3.33	4.90
16"	1.18	2.85	5.8	8.55
20"	1.78	4.37	8.91	13.14
24"	2.47	6.17	12.63	18.64
30"	3.82	9.51	19.43	28.66

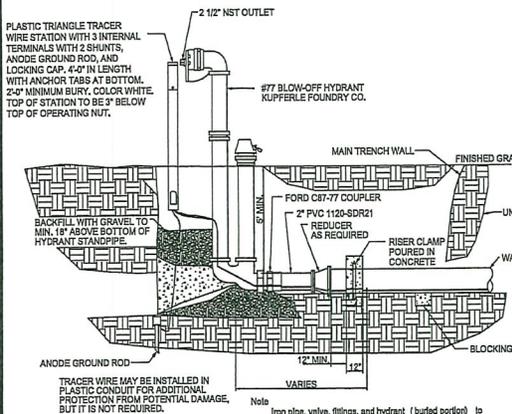
VOLUME OF GRAVITY BLOCK
Not to Scale

SIZE OF PIPE	MINIMUM BEARING SURFACE (IN SQ. FT.)			
	11 1/4"	22.5"	45"	90"
4"	1.00	1.25	2.25	4.50
6"	1.00	2.00	4.00	7.50
12"	2.00	4.25	8.25	18.00
16"	8.00	15.25	28.00	48.00
20"	8.50	16.50	32.00	57.00
24"	9.00	18.00	35.00	65.00

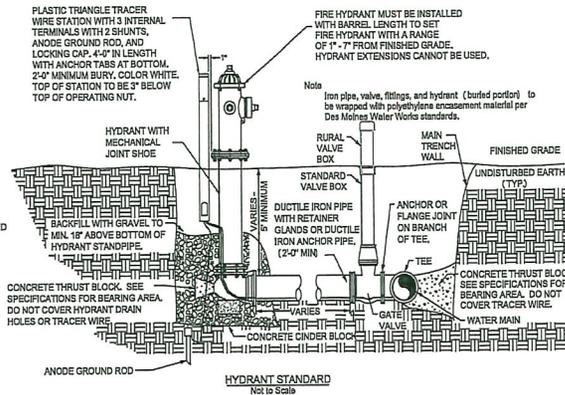
STANDARD CONCRETE THRUST BLOCKS
Not to Scale



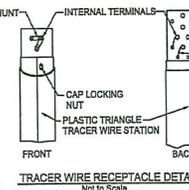
PIPE INSULATION DETAIL
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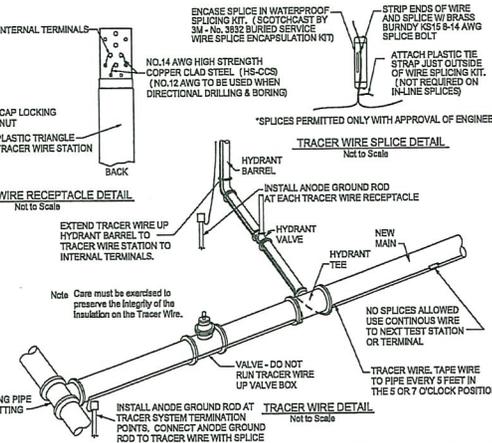
STANDARD BLOWOFF DETAIL
Not to Scale



HYDRANT STANDARD
Not to Scale



TRACER WIRE RECEPTACLE DETAIL
Not to Scale



STANDARD DETAILS

DRAWN BY:	NO.	DATE	REVISIONS
DESIGNED BY:			
CHECKED BY:			
APPROVED BY:			
DATE:			

Des Moines Water Works
Water You Can Trust for Life
ENGINEERING DEPARTMENT
Des Moines, Iowa

FILE NUMBER
SHEET 1
OF 4
DATE
SCALE
PROJECT NUMBER

SNYDER & ASSOCIATES

Project No: 1180793

Sheet 12 of 12

SLATE AT GRAY'S LANDING

DES MOINES WATER WORKS DETAILS

SNYDER & ASSOCIATES, INC.

DES MOINES, IOWA

2777 S.W. SNYDER BLVD.
ANKENY, IOWA 50003

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DESIGNED BY: T.L.W. HANSON

CHECKED BY: EDC

DATE: 12/17/20

PROJECT NO: 1180793

SHEET 12 OF 12



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PROJECT
State of Gray's Landing

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Project Number: 18042
Date: 3/20/21
Sheet By: PAC
Checked By:

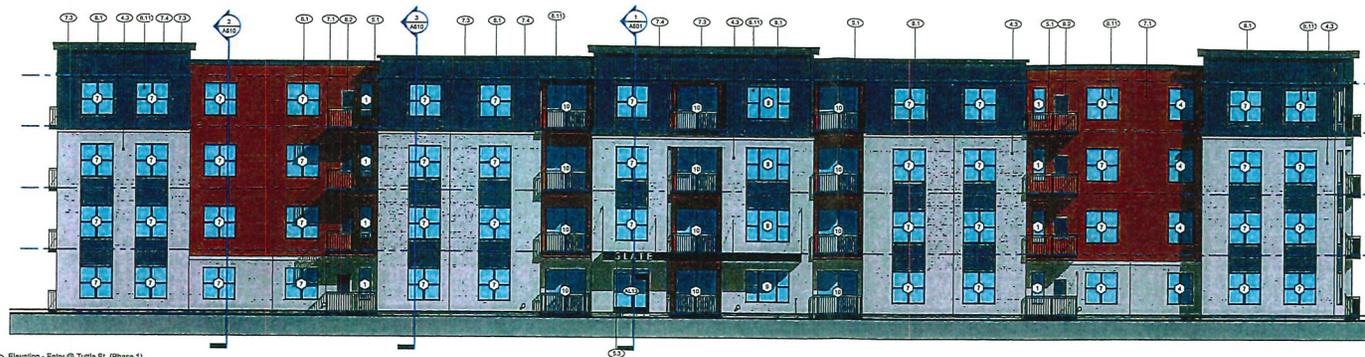
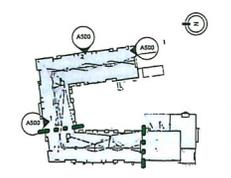
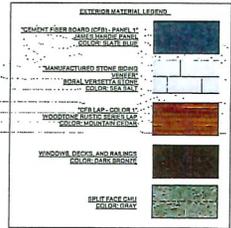
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Date: _____
By: _____
For: _____

Exterior Elevations
As indicated
A500

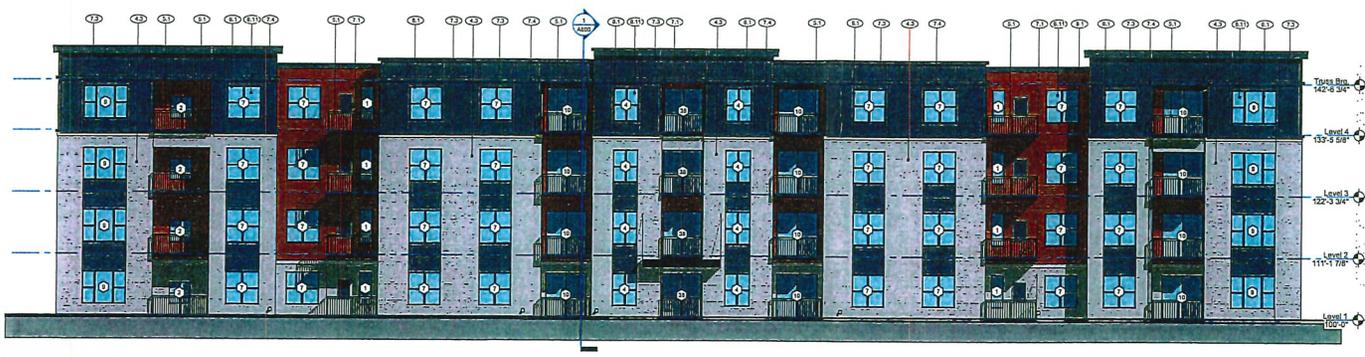
- EXTERIOR ELEVATION GENERAL NOTES:**
- SEE DRAWING SHEETS A101 FOR WINDOW, DOOR AND SILL DETAILS.
 - SEE ASSUMED FOOTING FOUNDATION DETAIL.
 - SEE SHEETS A101 FOR EXTERIOR WALL TYPES.
 - SEE SHEET A101 FOR ROOF DETAILS INCLUDING FLASHING REQUIREMENTS.
 - SEE ADD FOR WINDOW AND WINDOW SILL/POSTER ELEVATIONS AND STILES.
 - SEE ADD FOR GUTTER DETAILS.
 - FINISH CONCRETE JOISTS AND WALL TOPS TO FINISH GRADE UNLESS OTHERWISE NOTED ON ANOTHER DRAWING.
 - PROVIDE BACKER ROD & CAULK FOR JOINTS OF PRECAST PANEL CONCRETE. PROVIDE VENT TILES UNDER GUTTER SCAFF.
 - FINISH INTERIOR WALLS TO FINISH GRADE AT EXTERIOR FINISH WALL GRADE UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR CORNERS AT LAP JOINTS SHALL RECEIVE VERTICAL CORNER BONDING, BOTH SIDES OF CORNER JOINT.
 - ALL HORIZONTAL TRIM BANDS AND/OR REVEALS THAT OCCUR ON THE FACE OF AN ITEM TO RETURN BACK TO THE MAIN BODY OF THE BUILDING.
 - FOR VERTICAL JOINTS OF BRICK/MASONRY INCLUDING TOP COURSE:
 - JOINTS OF ALL STEEL SHALL BE WELDED AND FILLED WITH COLOR MATCHED SUGAR.
 - ALL JOINTS TO BE EQUALING RAINING AT EXTERIOR FINISH TO 1/4" OF JOINTS. ALL JOINTS SHALL BE WELDED AND FILLED WITH COLOR MATCHED SUGAR. JOINTS SHALL NOT PASS THROUGH ANY OPENING.
 - SEE DETAIL A101 FOR DETAIL OF RAISING ELEVATION DETAIL.
 - PROVIDE IMPROVISED CONCRETE BUILDING JOINTS AS SHOWN ON ELEVATIONS.
 - IF ANY EXTERIOR WALL BONDAGE THAT HAS A TYPICAL SURFACE BELOW THIS SHALL HAVE NO PORTION OF THE BONDAGE LOCATED UNDER THIS BONDAGE PROJECTS OR IS LESS FROM THE WALL SURFACE.
 - ALL MECHANICAL COVERINGS SHALL BE FINISHED TO MATCH THE ADJACENT WALL COLOR. COLORS TO BE SELECTED BY ARCHITECT.
 - INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL JOINTS/SEAMS TO CONNECT TO THE STORMWATER SYSTEM.
 - FINISH OF CURB/STAIR/ELEVATION PREFERRED METAL DRIP EAP AT ALL EXTERIOR FINISH LINE. SEE SHEET A101 FOR WINDOW SILL/POSTER DETAILS.
 - TOPGRAPHY SHOWN IN ELEVATIONS IS FOR INFORMATIONAL PURPOSES ONLY. SEE OTHER DRAWINGS FOR GRADING INFORMATION.

MATERIAL KEY

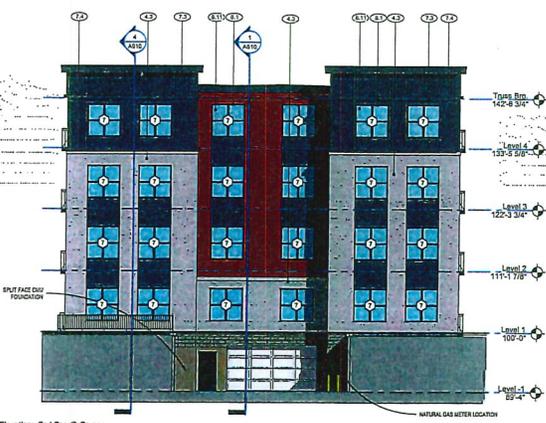
Material Mark	Description
4.1	ROCK FACE CHU - COLOR: GRAY
4.3	MANUFACTURED STONE VENEER - COLOR: SEA-SALT
5.1	ALUMINUM BALCONY - COLOR: BLDG
5.3	CONCRETE
7.1	CFB LAF - COLOR: 1
7.2	CFB TRIA - COLOR: 1
7.3	CFB PANEL SIDING COLOR: 2
7.4	CFB TRIA - COLOR: 2
8.1	WINDOW - COLOR: BLACK
9.3	HAND LIGNER - COORDINATED GLAZING



1 Elevation - Entry @ Tuttle St (Phase 1)
1/8" = 1'-0"



2 Elevation - SW 11th St (Phase 1)
1/8" = 1'-0"



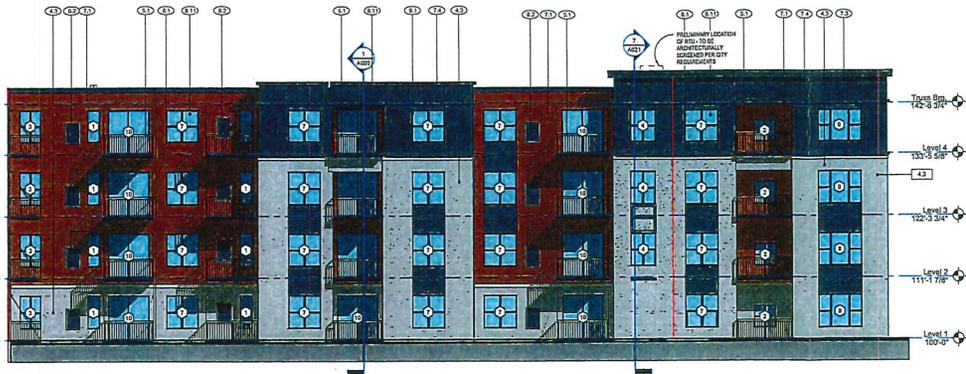
3 Elevation - End Cap @ Garage
1/8" = 1'-0"



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Architect: Sherman Associates

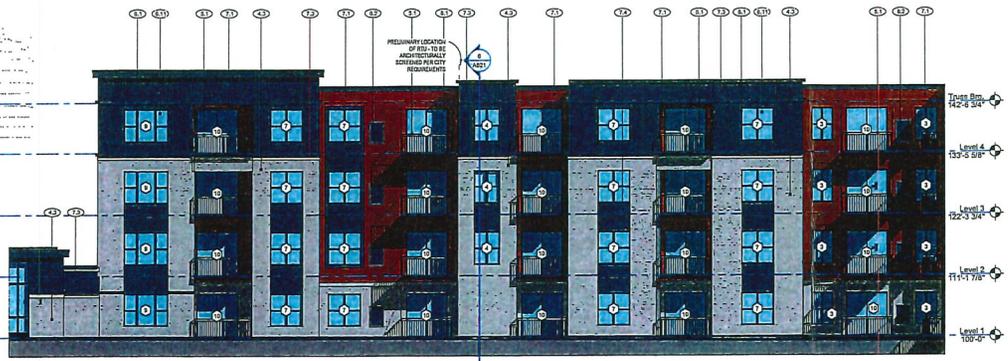


1 Elevation - Courtyard 2
1/8" = 1'-0"

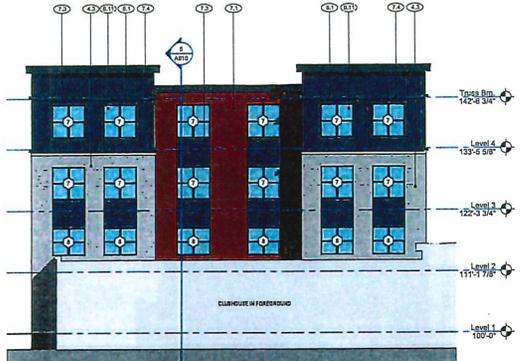


2 Elevation - Main Entry
1/8" = 1'-0"

3 Elevation - Monument Sign 1
1/8" = 1'-0"



4 Elevation - Courtyard 1
1/8" = 1'-0"

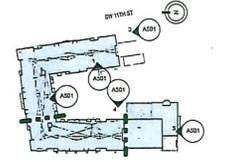


5 Elevation - South Above Chubbhouse
1/8" = 1'-0"

Material Mark	Description
1.1	PODSFACE CLAU - COLOR: GRAY
1.2	MANUFACTURED STONE VENEER - COLOR: SEA-SALT
1.3	ALUMINUM BALCONY - COLOR: BLACK
1.4	SIGNAGE
1.5	CFE LAY - COLOR 1
1.6	CFE TRIM - COLOR 1
1.7	CFE PANEL SIDING COLOR: 2
1.8	CFE TRIM - COLOR 2
1.9	WIREMESH - COLOR: BLACK
1.10	FRAC EQUIVER - COLOR: TRD
1.11	GLAZING

EXTERIOR MATERIAL LEGEND	
MANUFACTURED STONE VENEER COLOR: SEA-SALT	
CFE LAY - COLOR 1	
CFE TRIM - COLOR 1	
CFE PANEL SIDING COLOR: 2	
CFE TRIM - COLOR 2	
FRAC EQUIVER - COLOR: TRD	
GLAZING	

- EXTERIOR ELEVATION GENERAL NOTES**
- SEE GENERAL CONTRACTOR FOR WINDOW SIZES AND SILL DETAILS.
 - SEE ARCHITECT FOR EXTERIOR WALL DETAILS.
 - SEE SHEETS A501 FOR EXTERIOR WALL TYPES.
 - SEE SHEET A501 FOR EXTERIOR WALL TYPES AND FINISHING FABRIC REQUIREMENTS.
 - SEE SHEET A501 FOR WINDOW AND ALUMINUM STOCKING ELEVATION AND FINISHES.
 - SEE A501 FOR CANOPY DETAILS.
 - PROVIDE CONTROLS JOISTS IN GUY WALLE TOP OF 2ND FLOOR PROVIDED BY GENERAL CONTRACTOR OR NOT SHOWN ON ELEVATION.
 - PROVIDE SCAFFOLD TO SUPPORT BOTH SIDES OF PRECAST PANEL CONSTRUCTION. PROVIDE VENT TILES THROUGH WATER REPLENISHMENT EXTERIOR PRECAST WALLS AS SPECIFIED.
 - ALL EXTERIOR CORNERS AT LAP JOINTS SHALL BECEDED VERTICAL CORNER MOULDING. PROVIDE CORNER MOULDING TO THE EXTERIOR FACE OF ANY BAY TO RETURN BACK TO THE EXTERIOR FACE OF THE BUILDING.
 - FOR VERTICAL JOINTS OF SIMILAR MATERIALS VERIFY WITH ARCHITECT.
 - JOINTS OF ALL STONE PANELS SHALL BE RAVED AND PAINTED TO COLOR MATCHED STONE.
 - ALL BALCONIES TO BE ALUMINUM BALCONY SYSTEMS SHALL BE SUCH THAT A QUARTER SPECIFIC CANOPY SHALL BE PROVIDED.
 - SEE DETAIL A501 FOR EXTERIOR WALL ELEVATION DETAILS.
 - NUMBER SPECIFIC MATERIALS AND FINISHES LISTED AS SHOWN ON ELEVATIONS.
 - ANY EXTERIOR WALL JOINTS THAT HAVE A FINISHING SURFACE FROM SHALL HAVE AN PORTION OF THE JOINT LOCATED LOWER THAN THE FINISHING SURFACE UNLESS THE PROJECT'S PROGRAM SPECIFICALLY CALLS FOR OTHERWISE.
 - ALL METALLIC JOINTS SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR. JOINTS TO BE SELECTED BY ARCHITECT.
 - SEE METALLIC WORKING FOR MEMBER SPECIFICATIONS AND RECOMMENDATIONS.
 - ALL DOWNPOUTS TO CONNECT TO THE FOUNDATION DETAIL.
 - PROVIDE AN CFE BRACKETING BLOCK WITH THROUGH METAL BRUSH AS ALL THROUGH-OUTLET LIGHT FIXTURES WALL JOINTS WITH PODS SEE A501.
 - TOPOGRAPHY SHOWN ON SHEETS A501 IS FOR INFORMATIONAL PURPOSES ONLY. SEE CIVIL DRAWINGS FOR GRADING INFORMATION.



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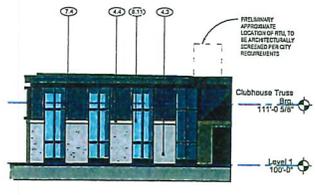
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Date: 3/2/2021
Drawn By:
Checked By:

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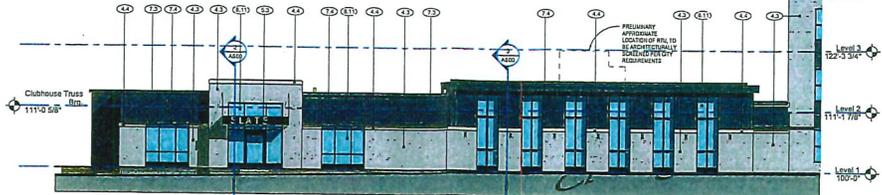
Rev. No. _____
Date _____
Revision _____

Exterior Elevations
As Indicated
A501

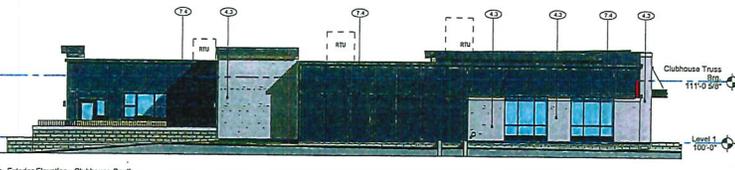
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13/02/2021 2:00:29 PM
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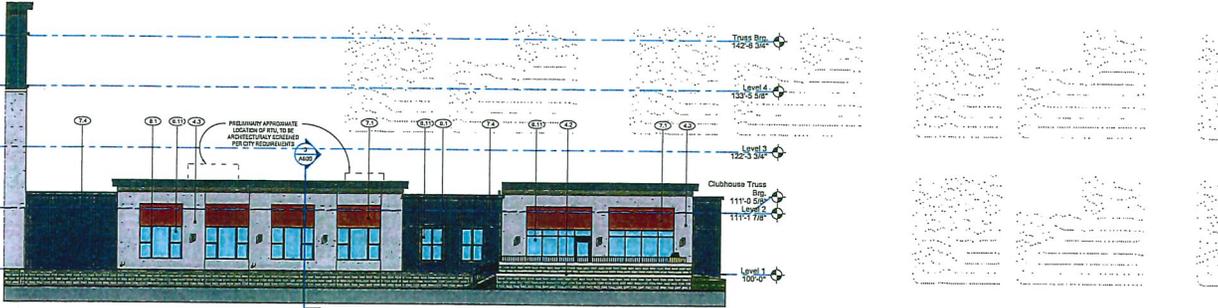
1 Exterior Elevation - Clubhouse North
1/8" = 1'-0"



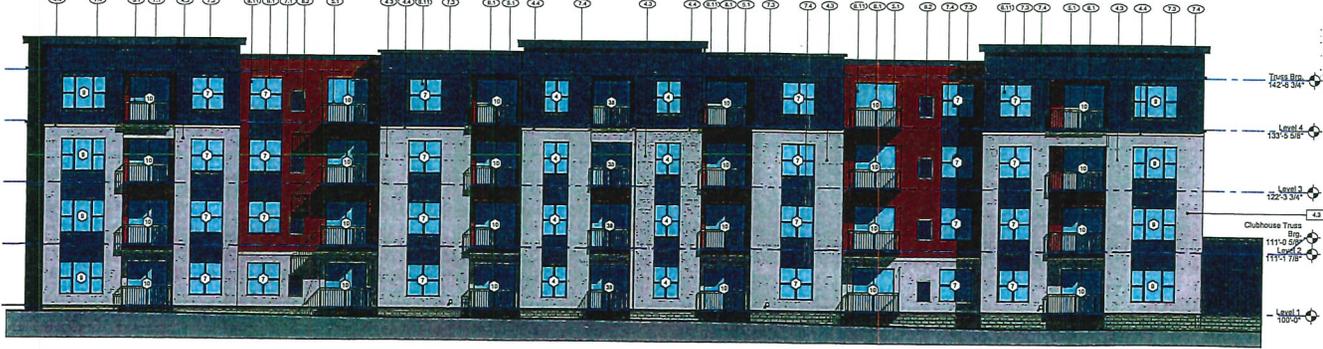
2 Clubhouse East Elevation
1/8" = 1'-0"



3 Exterior Elevation - Clubhouse South
1/8" = 1'-0"



4 Elevation - West (Pedestrian Trail)
1/8" = 1'-0"

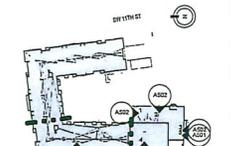
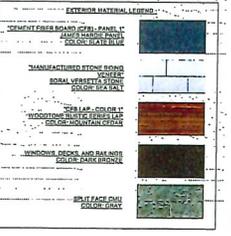


5 Elevation - West (Pedestrian Trail) Copy 1
1/8" = 1'-0"

- EXTERIOR ELEVATION GENERAL NOTES**
- SEE DRAWING SHEETS ADD FOR WINDOW/DOOR AND AIRS ASSEMBLY.
 - SEE AIRS ASSEMBLY FOR EXTERIOR WALL DETAILS.
 - SEE SHEETS ADD FOR EXTERIOR WALL TYPES.
 - SEE SHEETS ADD FOR ROOF DETAILS INCLUDING FLASHING REQUIREMENTS.
 - SEE ADD FOR WINDOW AIR ASSEMBLY WINDOW FRAME TYPES AND STILES.
 - SEE ADD FOR CANOPY DETAILS.
 - PROVIDE EXTERIOR LIGHTS AT CURB WALLS EVERY 20' AND INTERMEDIATE SPACES THEREBETWEEN OR NOT SHOWN ON ELEVATION.
 - PROVIDE SCAFFOLD BOSS & SEAMANT BUSH BOLTS OF PROTECT PANEL CONNECTIONS. PROVIDE VENT TUBES UNDER A GUTTER DRAIN.
 - PROVIDE VERTICAL FINISH WALLS FOR EXTERIOR PRECAST WALLS AS SPECIFIED.
 - ALL OUTSIDE CORNERS AT WALL JOINTS SHALL RECEIVE VERTICAL CORNER REINFORCING BOLTS OF CORNER IRB AT WALL JOINTS AND BOLTS THAT OCCUR ON THE FACE OF ANY BAY TO RECEIVE BACK TO THE INSIDE SURFACE OF THE BUILDING.
 - FOR VERTICAL JOINTS OF PRECAST WALLS, MATCHES VERIFY WITH ARCHITECT.
 - JOINTS OF ALL EXTERIOR WALLS SHALL BE RAISED AND FLASHED THROUGH MATCHING SCAFFOLD.
 - ALL RAISING TO BE A MINIMUM RAISING AT JOINTS AND TO BE AT LEAST 1/2" MINIMUM SPACING SHALL BE SUCH THAT A CRACKLES SPACE CAN BE MADE PROBABLY OPENING.
 - SEE DETAIL ADD FOR OCCUPANT RAILING ELEVATION DETAIL.
 - PROVIDE EXTERIOR LIGHTING AS SHOWN IN ELEVATIONS.
 - IF ANY EXTERIOR WALL JOINTS THAT HAVE A FINISH SURFACE EXPOSED THIS SHALL BE AS 8" ABOVE THE FINISH SURFACE UNLESS THE JOINT PRODUCTS OR USE LESS FROM THE FINISH SURFACE.
 - ALL INTERIOR LIGHTING SHALL BE FINISHED TO MATCH THE ADJACENT WALL FINISH UNLESS TO BE SELECTED BY ARCHITECT.
 - ALL METALS AS SHOWN FOR FABRICATIONS RECOMMENDATIONS.
 - ALL DOWNPOUTS TO CONNECT TO THE TERMINAL SYSTEM.
 - PROVIDE 1/2" CFB AIRING BLOCK WITH PROPOSED METAL SHIP LAP ALL EXTERIOR EXTERIOR LIGHT FIXTURES & WALL MOUNTED FIXTURES SEE AIRS ASSEMBLY.
 - TOPOGRAPHY SHOWN IN ELEVATIONS IS FOR INFORMATIONAL PURPOSES ONLY. SEE CIVIL DRAWINGS FOR EXACT WORKMANSHIP.

MATERIAL KEY

Material Mark	Description
4.1	ROCK FACE CMU - COLOR: GRAY
4.2	MANUFACTURED STONE VENEER - COLOR: SEA 542
5.1	ALUMINUM BALCONY - COLOR: ROUGE
2.3	SIGNAGE
1.1	CFB LAF - COLOR 1
1.2	CFB TEHA - COLOR 1
1.3	CFB PANEL SIGNING COLOR: 2
1.4	CFB TRIM - COLOR: 2
8.1	WINDOW - COLOR: BLACK
8.2	HVAC COVER - COLOR: TRD QUAILING
8.3	



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Project Number: 18042
Date: 3/20/21
Drawn By: Author
Checked By: Checker

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Exterior Elevation
As indicated
A502

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VIEW FROM CORNER OF 11TH ST. AND TUTTLE ST.



TUTTLE ST. ENTRANCE



PASSEO AT TUTTLE



11TH STREET FACADE AND SITE ENTRANCE



CLUBHOUSE AT PASSEO FROM SOUTH



CLUBHOUSE AT PASSEO FROM NORTH

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Project Number	18042
Date	1/15/2021
Drawn By	PAC
Checked By	Checker

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Date: _____
Revision: _____
Rev. No. _____

Conceptual
Renderings
12" = 1'-0"
A900