

Date May 24, 2021

**RECEIVE AND FILE COMMUNICATION FROM THE PLAN AND ZONING COMMISSION
REGARDING APPROVAL OF PRELIMINARY PLAT AMENDMENT TO THE "SOUTHWOODS
ESTATES" PLAT FOR PROPERTY LOCATED IN THE VICINITY OF 5730 ROSE AVENUE**

WHEREAS, on May 6, 2021, the City of Des Moines Plan and Zoning Commission voted 12-0 to **APPROVE** a request from TK Development, LLC (owner), represented by Dan Kruse (officer), for the third major preliminary plat amendment to the "Southwoods Estates" plat for property located in the vicinity of 5730 Rose Avenue, to allow revision to the plat and provide for a Final Plat 3 showing seven development lots on a public street cul-de-sac, Maish Avenue, extending from Southwest 56th Street, and an 11.4-acre Outlot Z reserved for future platting, and to eliminate extensions of Rose Avenue and Watrous Avenue shown on the Preliminary Plat, as amended, subject to the following conditions:

- (1) compliance with all administrative review comments from the Development Services Department;
- (2) development of any lots within any further Final Plat phase of development shall demonstrate compliance with the Fire Code;
- (3) revised to show locations of future water main required by Des Moines Water Works within the future Watrous Avenue; and
- (4) any further Final Plat phase shall provide necessary Avigation easements for platted lots as determined necessary by the Des Moines Airport Authority; and

WHEREAS, the final subdivision plat will be submitted for City Council approval when completed.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, that the attached communication from the City Plan and Zoning Commission is hereby received and filed.

MOVED BY _____ to receive and file.

FORM APPROVED:

/s/ Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

(13-2021-1.38)

| COUNCIL ACTION | YEAS | NAYS | PASS | ABSENT |
|----------------|------|------|----------|--------|
| COWNIE | | | | |
| BOESEN | | | | |
| GATTO | | | | |
| GRAY | | | | |
| MANDELBAUM | | | | |
| VOSS | | | | |
| WESTERGAARD | | | | |
| TOTAL | | | | |
| MOTION CARRIED | | | APPROVED | |
| _____ Mayor | | | | |

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

_____ City Clerk



May 18, 2021

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their May 6, 2021 meeting, the following action was taken regarding a request from TK Development, LLC (owner) represented by Dan Kruse (officer) for review and approval of a 3rd Amendment to the Preliminary Plat "Southwoods Estates" on property in the vicinity of 5730 Rose Avenue, to provide for a Final Plat 3 that would have 19 development lots on a Maish Avenue cul-de-sac and an extended cul-de-sac for Rose Circle. The Plat would include the Right-Of-Way dedication for the north half of Watrous Avenue to extend along the southern border of the property.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 12-0 as follows:

| Commission Action: | Yes | Nays | Pass | Absent |
|--------------------|-----|------|------|--------|
| Francis Boggus | X | | | |
| Dory Briles | X | | | |
| Abby Chungath | X | | | |
| Kayla Berkson | X | | | |
| Jann Freed | X | | | |
| Johnny Alcivar | X | | | |
| Lisa Howard | X | | | |
| Carolyn Jenison | X | | | |
| Greg Jones | X | | | |
| William Page | X | | | |
| Rocky Sposato | X | | | |
| Steve Wallace | X | | | |
| Greg Wattier | | | | X |
| Emily Webb | | | | X |

APPROVAL of the submitted 3rd Amendment to the Southwoods Estates Preliminary Plat subject to the following conditions:

1. Compliance with all administrative review comments from the Development Services Department.
2. Development of any lots within any further Final Plat phase of development shall demonstrate compliance with the Fire Code.
3. Revised to show locations of future water main required by Des Moines Water Works within the future Watrous Avenue.
4. Any further Final Plat phase shall provide necessary Avigation easements for platted lots as determined necessary by the Des Moines Airport Authority.

(13-2021-1.38)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the submitted 3rd Amendment to the Southwoods Estates Preliminary Plat subject to the following conditions:

1. Compliance with all administrative review comments from the Development Services Department.
2. Development of any lots within any further Final Plat phase of development shall demonstrate compliance with the Fire Code.
3. Revised to show locations of future water main required by Des Moines Water Works within the future Watrous Avenue.
4. Any further Final Plat phase shall provide necessary Avigation easements for platted lots as determined necessary by the Des Moines Airport Authority.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to further subdivide the subject property. The proposed amendment would reconfigure the southern portion of the property for a projected 3rd Final Plat that would have 18 one-household living lots. The developer has approved Final Plats for Southwoods Estates Plat 1 & 2 that include 45 lots, many of which are already constructed.
2. **Size of Site:** The original Preliminary Plat was comprised of 39.94 acres. The proposed amendment area is 13.793 acres.
3. **Existing Zoning (site):** "N2b" Neighborhood District.
4. **Existing Land Use (site):** Undeveloped land with timber.
5. **Adjacent Land Use and Zoning:**

East - "EX"; Uses are three single-family dwellings and vacant land.

West – Airport Commerce Park West "PUD"; Uses are light industrial and vacant land.

North - Airport Commerce Park West "PUD"; Uses are light industrial and vacant land.

South - "EX"; Use is undeveloped land.

- 6. General Neighborhood/Area Land Uses:** The subject property is located in an area that contains light industrial uses, undeveloped land and some large-lot single-family dwellings. Southwoods Estates Plat 1 & 2 are currently being developed with one-household living homes.
- 7. Applicable Recognized Neighborhood(s):** The subject property is located within the Southwestern Hills Neighborhood. All neighborhood associations were notified of the public hearing meeting by mailing of the Preliminary Agenda on April 16, 2021. Notifications of the hearing for this specific item were mailed on April 26, 2021 (10 days prior to the original hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. A Final Agenda for the meeting was mailed to all the recognized neighborhood associations on April 30, 2021.

All agendas are mailed to the primary contact designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Southwestern Hills Neighborhood Association mailings were sent to George Davis, 3124 SW 29th Street, Des Moines, IA 50321.

- 8. Relevant Zoning History:** On December 4, 2017, the City Council amended the future land use designation from Business Park to Low Density Residential for the subject property and other undeveloped property north of the proposed Southwest Connector alignment and west of Southwest 56th Street.

Included in the motion of the City Council was direction to provide and secure a protection buffer on the residential development property to protect from previously approved business park areas to the north and west that are yet undeveloped. It was indicated that this should be considered as part of future development review. These business park areas were approved when the Comprehensive Plans for the City of that time (Land Use 2000) contemplated that the subject property was to be an extension of the business park and not residential development. Therefore, when the Council revised this with the December 2017 amendment to the PlanDSM, they wanted to ensure that the existing approved business park areas were not obligated to provide the residential protection, but rather the residential development would include the protection as development occurs.

On April 19, 2018 the Plan and Zoning Commission approved a Preliminary Plat of the subject property, "Southwood Estates" which included 23 lots for one-household living development. It also created two outlots to allow for extension of Watrous Avenue from the west in cooperation with development of adjoining property to the south and development of the currently planned Southwest Connector Part 2.

On July 19, 2018, the Plan and Zoning Commission approved the first Preliminary Plat amendment. This amendment specifically showed the originally approved Lot 32 being further divided into 27 additional one-household living lots on a cul-de-sac, including a large 6.678 acre lot containing an existing two-story one-household living dwelling.

On February 7, 2019 the Plan and Zoning Commission approved a second Preliminary Plat amendment redefining the same area that is the subject of the current consideration. This was approved with the following conditions:

- A) Compliance with all administrative review comments from the Permit and Development Center.
- B) Any further submitted Final Plat pursuant to this Preliminary Plat amendment shall dedicate all remaining street Rights-of-Way within the Preliminary Plat.
- C) The City shall be provided guarantee in a form approved by the City Engineer and City Legal Department, which may include an escrow agreement, surety or bonds, for the completion of all public improvements within the approved Preliminary Plat amendment as part of any further Final Plat phase of the development.
- D) Development of any lots within any further Final Plat phase of development shall demonstrate compliance with the Fire Code.
- E) Any further Final Plat phase shall provide necessary Avigation easements for platted lots as determined necessary by the Des Moines Airport Authority.

9. PlanDSM Land Use Plan Designation: Low Density Residential.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission shall determine if such Preliminary Plat conforms to the standards and requirements outlined in Chapter 354 of the Iowa Code, and the City Subdivision Ordinance and shall approve, conditionally approve or reject such Plat within 45 days after the date of submission to the City Permit and Development Center. Unless the applicant agrees in writing to an extension of time, the Preliminary Plat shall be deemed approved if the Commission does not act within such 45-day period. The Commission's action for approval or conditional approval shall be null and void unless the Final Plat is submitted to the City Permit and Development Center within 270 days after the date of such action; provided, however, that the Permit and Development Administrator may grant, upon written request of the applicant, up to a 90-day extension for submittal of the Final Plat to the City Permit and Development Center.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. PlanDSM Land Use Designation:** The subject property is designated as "Low Density Residential" on the Future Land Use Map. PlanDSM describes this designation as "areas developed with primarily single family and two family residential units with up to 6 dwelling units per net acre." The submitted Preliminary Plat would be in conformance with this designation.
- 2. Natural Site Features:** The overall development includes natural drainage areas and existing trees. The proposal is subject to the City's Tree Removal and Mitigation requirements in Article X Chapter 42 of the City Code. The applicant has provided a plan in accordance with Chapter 42 that is under administrative review.

- 3. **Utilities:** There are sanitary sewer and water mains nearby that will be extended to serve the development. These mains are shown within the proposed public street network. While the construction of Watrous Avenue extension would not be imminent with the build out of the Preliminary Plat, the document should demonstrate the location and general design of the public water main extension within the Watrous Avenue extension as it is to be built.
- 4. **Traffic/Street System:** Rose Avenue would be extended southwest from its current configuration. The extended street would create a new a new cul-de-sac to be called Rose Circle. Another cul-de-sac, Maish Avenue, would also be built and accessed from 56th Street. Additionally, Watrous Avenue would be extended east from its current configuration and intersect with 56th Street. This project would be constructed separately in conjunction with the dedication of the remaining Right-Of-Way (ROW) from the property to the south.

The Plat only includes half of the necessary ROW for extension of Watrous Avenue to be constructed. Staff notes that until Watrous Avenue is constructed, the City’s Fire Code may require the developer to provide fire sprinkler systems on final platted lots that are on a dead-end segment of street that is more than 750 feet in length even if the street would eventually connect to Watrous Avenue.

- 5. **Avigation:** Based on projected noise contours from future runway improvements to the Des Moines International Airport, it may be necessary for the developer to provide avigation easements recorded on final platted parcels in the development to protect the interests of the Airport from nuisance claims due to excessive sound and flight patterns. This will be reviewed with Plat reviews to be approved by the City Council.
- 6. **Industrial Uses:** There is land adjoining to the west of the amendment area which is approved for industrial use. With the previously approved Preliminary Plat amendment, the Plan and Zoning Commission required the provision of a note identifying the business park zoning and permitted uses for property adjacent to the north and west, and noise ordinance requirements pertaining thereto, to the satisfaction of the Planning Administrator. This previously required note has been carried forward and included on the submitted amendment.

SUMMARY OF DISCUSSION

Dory Briles asked if any member of the public or the commission desired to speak on the item. No one requested to speak.

COMMISSION ACTION:

Jann Freed made a motion for approval of the submitted 3rd Amendment to the Southwoods Estates Preliminary Plat subject to the following conditions:

- 1. Compliance with all administrative review comments from the Development Services Department.
- 2. Development of any lots within any further Final Plat phase of development shall demonstrate compliance with the Fire Code.

3. Revised to show locations of future water main required by Des Moines Water Works within the future Watrous Avenue.
4. Any further Final Plat phase shall provide necessary Avigation easements for platted lots as determined necessary by the Des Moines Airport Authority.

Motion passed: 12-0

Respectfully submitted,



Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

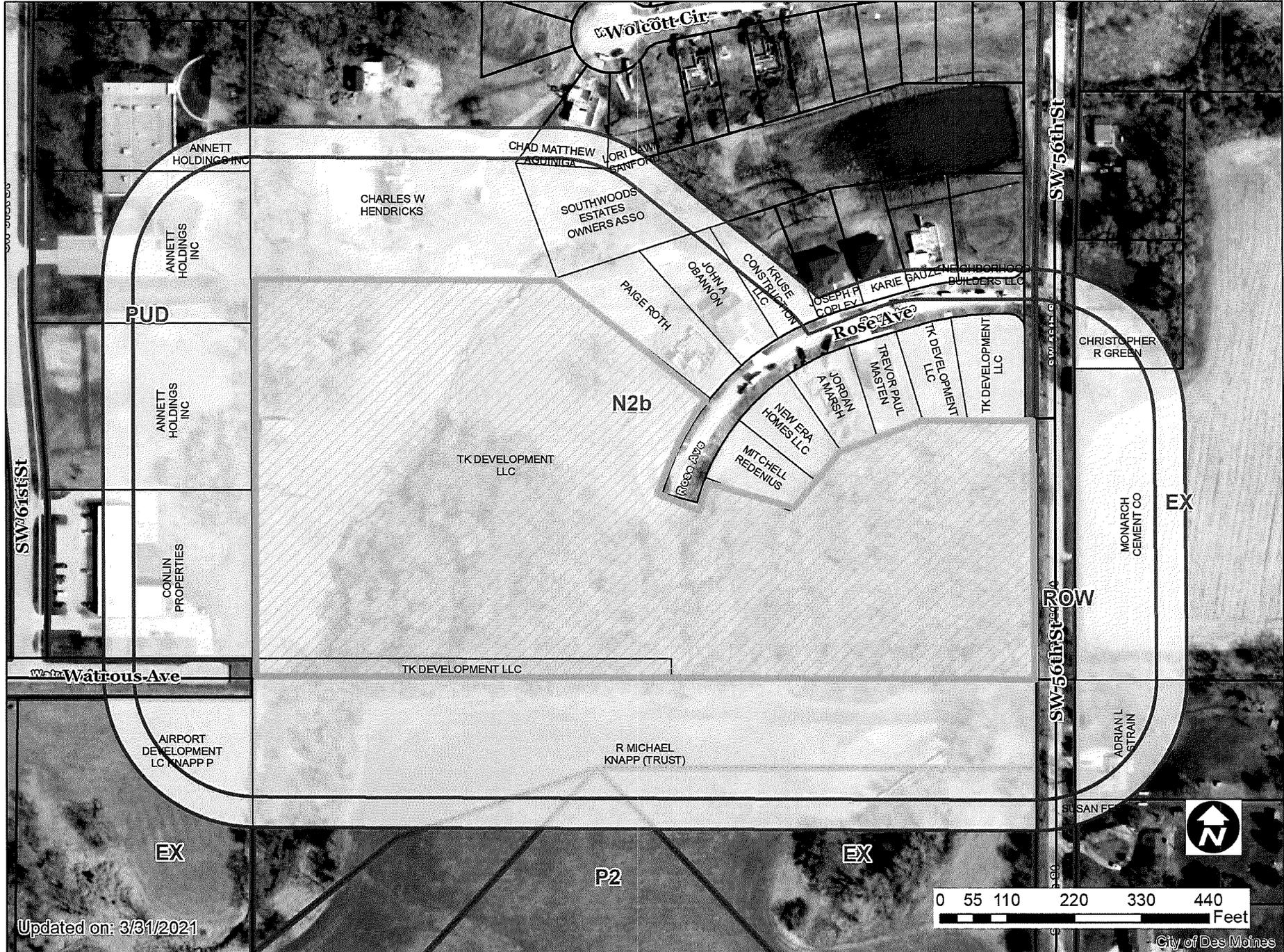
| | | | | | |
|--|---|--------------|--|--------------|---|
| Request from TK Development, LLC (owner) represented by Dan Kruse (officer) for property in the vicinity of 5730 Rose Avenue | | File # | | | |
| | | 13-2021-1.38 | | | |
| Description of Action | Review and approval of a 3 rd Amendment to the Preliminary Plat "Southwoods Estates" to provide for a Final Plat 3 that would have 19 development lots on a Maish Avenue cul-de-sac and an extended cul-de-sac for Rose Circle. The Plat would include the Right-Of-Way dedication for the north half of Watrous Avenue to extend along the southern border of the property. | | | | |
| PlanDSM Future Land Use | Current: Low Density Residential. Proposed: N/A. | | | | |
| Mobilizing Tomorrow Transportation Plan | No planned improvements. | | | | |
| Current Zoning District | "N2b" Neighborhood District. | | | | |
| Proposed Zoning District | N/A. | | | | |
| Consent Card Responses | In Favor | Not In Favor | Undetermined | % Opposition | |
| Outside Area (200 feet) | 0 | 0 | | | |
| Within Subject Property | | | | | |
| Plan and Zoning Commission Action | Approval | X | Required 6/7 Vote of the City Council | Yes | |
| | Denial | | | No | X |

TK Development, LLC, Southwoods Estates, Vicinity of Maish Ave. & Southwest 56th St. 13-2021-1.38



1 inch = 209 feet

TK Development, LLC, Southwoods Estates, Vicinity of Maish Ave. & Southwest 56th St. 13-2021-1.38



1 inch = 209 feet

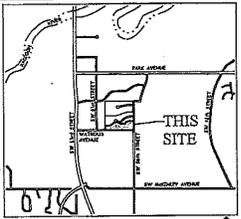
INDEX LEGEND
 LOCATION: SEC 14E3 SEC. 13-19-25
 REQUESTOR: TK LAND DEVELOPMENT
 PROPRIETOR: TK LAND DEVELOPMENT
 SURVIVOR: KEVIN J. CRAWFORD
 SURVEYOR: COOPER CRAWFORD & ASSOCIATES, LLC
 COMPANY: 475 S. 50th STREET, SUITE 800
 WEST DES MOINES, IOWA 50265
 COOPER CRAWFORD & ASSOCIATES, LLC
 RETURN TO:

FLOODWAY/FLOOD FRINGE
 THESE SITES WITHIN ZONE "X" ARE REQUIRED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN AS REFERENCED ON FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 190227 0008 D, MAP SCHEDULED SEPTEMBER 18, 2007.
BENCHMARK
 BM #2554
 400' SOUTH OF #8301 - WEATHER STATION, CUT TRIANGLE ON WEST EDGE OF CONCRETE BASE.
 ELEVATION: 113.223

NOTES
 1. A 5' SIDEWALK SHALL BE REQUIRED ON BOTH SIDES OF ALL STREETS.
 2. THIS PLAN CONTAINS 18 SINGLE-FAMILY LOTS.
 3. LOTS 8, 10, 11, 12 AND 13 SHALL BE DEDICATED TO THE CITY FOR R.O.W. PURPOSES.
 4. LOTS 1-7 SHALL BE SINGLE-FAMILY SWELLINGS ONLY.
 5. (1) STREET TREE IS REQUIRED FOR EACH LOT (PLACED IN THE R.O.W.) AT A MINIMUM 30' ON CENTER.
 6. 25' WATROUS AVENUE IS NOT REQUIRED TO BE EXTENDED AS PART OF THIS PLAN. THE HOUSES ON LOTS 8, 10 AND LOTS 10, 11, AND 12 (PLAT) SHALL BE SPINDLES.
 7. OUTLOT "Z" WILL BE KEPT BY THE CURRENT OWNER FOR FUTURE DEVELOPMENT.
 8. OUTLOT "Y" WILL EITHER BE DEEDED TO LOT 17 IN A LOT THE AGREEMENT OR MAINTAINED BY A HOME OWNERS ASSOCIATION.

ZONING
 R-2 ONE AND TWO FAMILY RESIDENTIAL
LAND USE
 EXISTING: VACANT
 PROPOSED: SINGLE FAMILY RESIDENTIAL
SETBACKS
 FRONT-30'
 REAR-30'
 SIDE-7' MIN. (15' TOTAL)
UTILITIES
 SANITARY SEWER - CITY OF DES MOINES
 WATER - DES MOINES WATER WORKS

OWNER/APPLICANT
 TK LAND DEVELOPMENT
 2309 EVERWOODS AVENUE
 DES MOINES, IOWA 50320
 ATTN: DAN KRUSE
 PH: 515-681-5088
SHEET INDEX
 1 DIMENSION PLAN
 2 GRADING PLAN
 3 UTILITY PLAN
 4 TREE REMOVAL PLAN
 5 LANDSCAPE PLAN



PRELIMINARY PLAT 2nd AMENDMENT TO SOUTHWOODS ESTATES Sheet 1 of 5

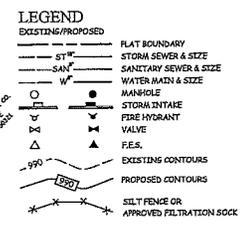
NOTES
 ADJACENT PROPERTIES TO THE NORTH AND WEST OF THE SOUTHWOODS ESTATES PRELIMINARY PLAT ARE LOCATED WITHIN THE AIRPORT COMMERCE PARK WEST PLANNED UNIT DEVELOPMENT (PUD). USE OF THESE ADJACENT PROPERTIES IS SUBJECT TO THE CITY'S PLANNED UNIT DEVELOPMENT DISTRICT RULES AND PROCEDURES IN THE DES MOINES MUNICIPAL CODE. COMPLIANCE WITH THE PUD DEVELOPMENT STANDARDS IDENTIFIED ON THE 7TH AMENDMENT TO THE AIRPORT COMMERCE PARK PUD CONCEPTUAL PLAN AS APPROVED BY THE DES MOINES CITY COUNCIL ON JANUARY 14, 2015 PURSUANT TO ROLL CALL 13-019, OR AS AMENDED PURSUANT TO CITY CODE, IS REQUIRED. THE 7TH AMENDMENT TO THE AIRPORT COMMERCE PARK PUD CONCEPTUAL PLAN AND ANY SUBSEQUENT AMENDMENTS ARE ON FILE WITH THE CITY OF DES MOINES COMMUNITY DEVELOPMENT DEPARTMENT AND MAY BE REVIEWED UPON REQUEST. NOISE CONTROL IS SUBJECT TO CHAPTER 42, ARTICLE IV OF THE DES MOINES MUNICIPAL CODE.

CURVE TABLE

| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD | CHORD BEARING |
|-------|------------|--------|--------|---------|--------|---------------|
| 01 | 104°32'37" | 100.00 | 120.00 | 102.20 | 202.16 | N67°41'47"E |

LEGAL DESCRIPTION

A part of the Southeast 1/4 of the Northeast 1/4 of Section 23, Township 78 North, Range 25 West of the 5th P.M., city of Des Moines, Polk County, Iowa, that is more particularly described as follows:
 Beginning on the East 1/2 corner of Section 23, Township 78 North, Range 25 West of the 5th P.M., city of Des Moines, Polk County, Iowa; thence N89°32'22"W, 1319.72 feet along the South line of the Southeast 1/4 of the Northeast 1/4 of said Section 23, to the East line of Airport Commerce Park West Plat 1, an official plat, city of Des Moines, Polk County, Iowa; thence N00°07'27"W, 653.17 feet along said East line; thence N00°00'00"E, 317.17 feet; thence S37°41'07"E, 224.94 feet to a 650.00 foot radius non-tangent curve concave to the Northwest; thence Southwesterly 193.74 feet along said curve, said curve having a chord length of 129.54 feet and a chord bearing of 33°27'22"E; thence a 30.00 foot radius reverse curve concave to the Southwest; thence Northwesterly 28.79 feet along said curve, said curve having a chord length of 24.89 feet and a chord bearing of N89°56'44"E; thence S68°13'30"E, 116.09 feet to a 25.00 foot radius curve concave to the Southwest; thence Southwesterly 16.24 feet along said curve, said curve having a chord length of 33.15 feet and a chord bearing of 33°12'43"E; thence S27°00'00"E, 40.00 feet to a 37.00 foot non-tangent curve concave to the Southwest; thence Northwesterly 44.13 feet along said curve, said curve having a chord length of 44.13 feet and a chord bearing of N89°25'30"E; thence S48°02'27"E, 100.00 feet; thence N45°55'47"E, 103.23 feet; thence N47°02'27"E, 144.28 feet; thence N90°00'00"E, 218.28 feet to the East line of the Southeast 1/4 of the Northeast 1/4 of said Section 23; thence S00°02'59"E, 419.21 feet along said East line to the Point of Beginning.
 Solid tract of land contains 13,793 acres more or less.
 Solid tract of land being subject to any and all easements of record.



PLAT NUMBER (13-19-1.25)

CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRADLEY R. COOPER
 12980
 IOWA
 ANY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
 PAGES OR SHEETS COVERED BY THIS SEAL: Sheet 1-5

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

KEVIN J. CRAWFORD
 13156
 IOWA
 ANY LICENSE RENEWAL DATE IS DECEMBER 31, 2022
 PAGES OR SHEETS COVERED BY THIS SEAL: Sheet 1-5

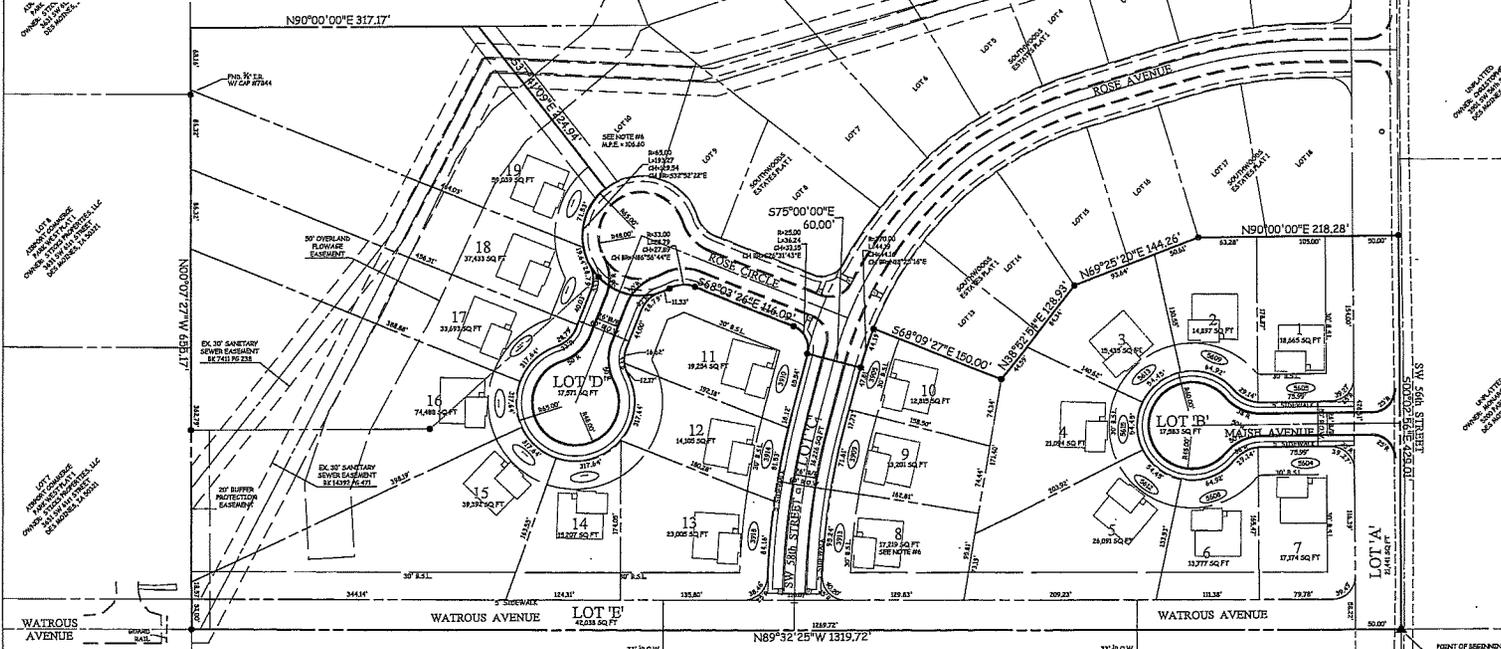
COOPER CRAWFORD & ASSOCIATES, L.L.C.
 CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1343

REVISIONS: 1-15-2019 DATE: 1-15-2019
 2-21-2019 DATE: 2-21-2019
 4-4-2021 DATE: 4-4-2021

CC 2156

APPROVED: [Signature] INITIALS: AS-BUILT: [Signature]
 DD BY TM/ND V BY AT



WATROUS AVENUE
 37' R.O.W.
 37' R.O.W.
 37' R.O.W.

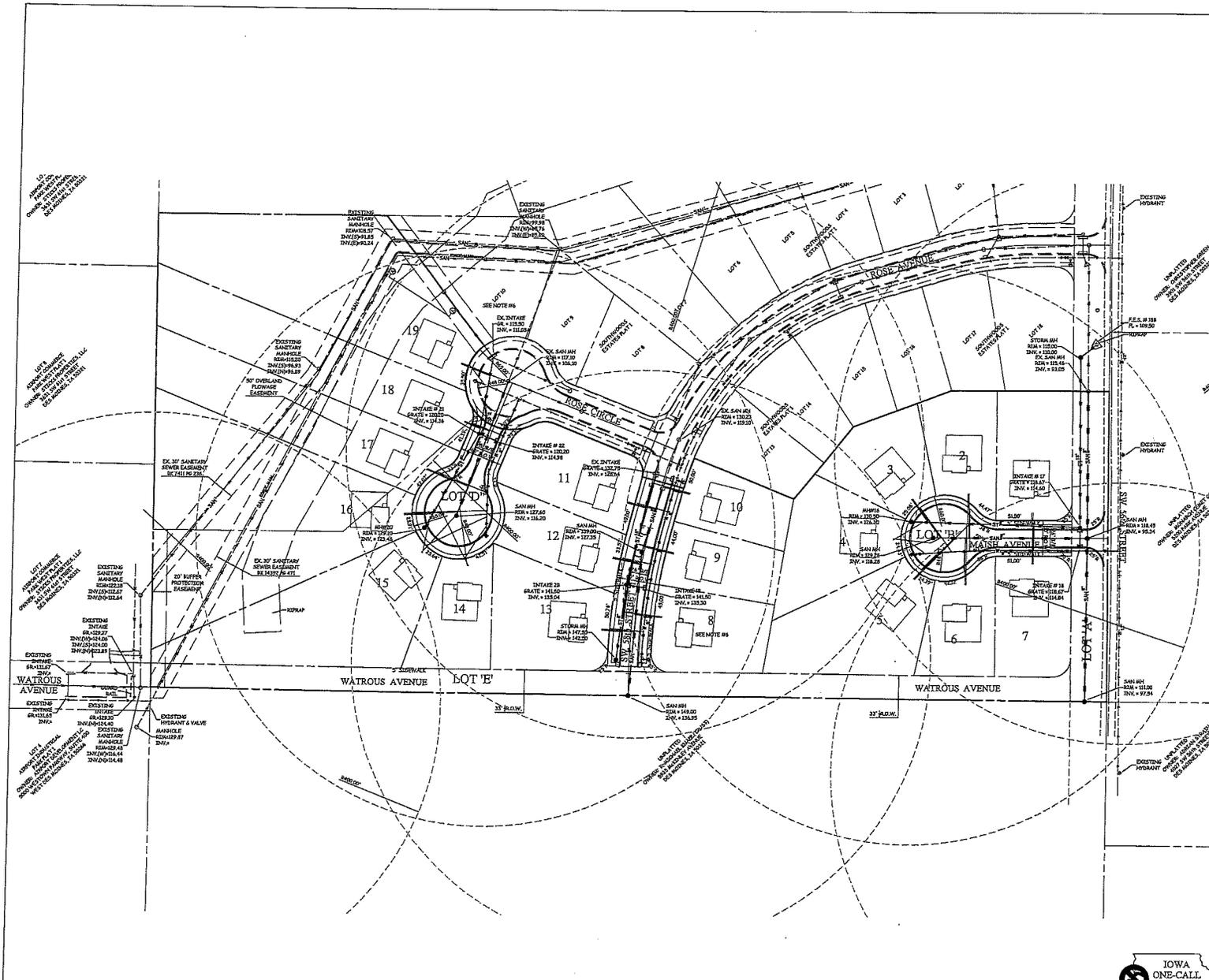
**P&Z COMMISSION
 CONDITIONS OF APPROVAL**

- COMPLIANCE WITH ALL ADMINISTRATIVE REVIEW COMMENTS OF THE PERMIT AND DEVELOPMENT CENTER.
- ANY FURTHER SUBMITTED FINAL PLAT PURSUANT TO THIS PRELIMINARY PLAT AMENDMENT SHALL DEDICATE ALL REMAINING STREET RIGHTS-OF-WAY WITHIN THE PRELIMINARY PLAT.
- THE CITY SHALL BE PROVIDED GUARANTEE IN A FORM APPROVED BY THE CITY ENGINEER AND CITY LEGAL DEPARTMENT, WHICH MAY INCLUDE AN ESCROW AGREEMENT, SURETY OR BONDS, FOR THE COMPLETION OF ALL PUBLIC IMPROVEMENTS WITHIN THE APPROVED PRELIMINARY PLAT AMENDMENT AS PART OF ANY FURTHER FINAL PLAT PHASE OF THE DEVELOPMENT.
- DEVELOPMENT OF ANY LOTS WITHIN ANY FURTHER FINAL PLAT PHASE OF DEVELOPMENT SHALL DEMONSTRATE COMPLIANCE WITH THE FIRE CODE.
- ANY FURTHER FINAL PLAT PHASE SHALL PROVIDE NECESSARY AVIATION EASEMENTS FOR PLATTED LOTS AS DETERMINED NECESSARY BY THE DES MOINES AIRPORT AUTHORITY.

PRELIMINARY PLAT APPROVED BY PLAN AND ZONING COMMISSION ON ____-____-2021.
 PRELIMINARY PLAT APPROVED BY CITY COUNCIL ON ____-____-2021.



PRELIMINARY PLAT
 2nd AMENDMENT
 TO SOUTHWOODS
 ESTATES
 Sheet 3 of 5



LEGEND

| | | | |
|-----|--------------------------|---|--------------------------|
| — | EXISTING/PROPOSED | — | PLAT BOUNDARY |
| ST | STORM SEWER & SIZE | — | STORM INTAKE |
| SAN | SANITARY SEWER & SIZE | — | FIRE HYDRANT |
| WF | WATER MAIN & SIZE | — | VALVE |
| ○ | MANHOLE | — | F.E.S. |
| ○ | STORM INTAKE | — | EXISTING CONTOURS |
| ▽ | FIRE HYDRANT | — | PROPOSED CONTOURS |
| ▽ | VALVE | — | SILT FENCE OR |
| △ | F.E.S. | — | APPROVED FILTRATION SOCK |
| — | EXISTING CONTOURS | | |
| — | PROPOSED CONTOURS | | |
| — | SILT FENCE OR | | |
| — | APPROVED FILTRATION SOCK | | |

COOPER CRAWFORD & ASSOCIATES, L.L.C.
 CIVIL ENGINEERS
 475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

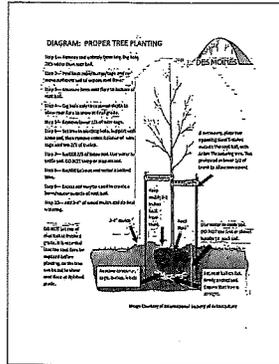
DATE: 11-12-2018
 REVISIONS: 1-12-2019
 2-22-2019
 4-12-2019
 4-4-2021

SCALE: 1"=60'

CC 2156



PRELIMINARY PLAT 2nd AMENDMENT TO SOUTHWOODS ESTATES Sheet 5 of 5

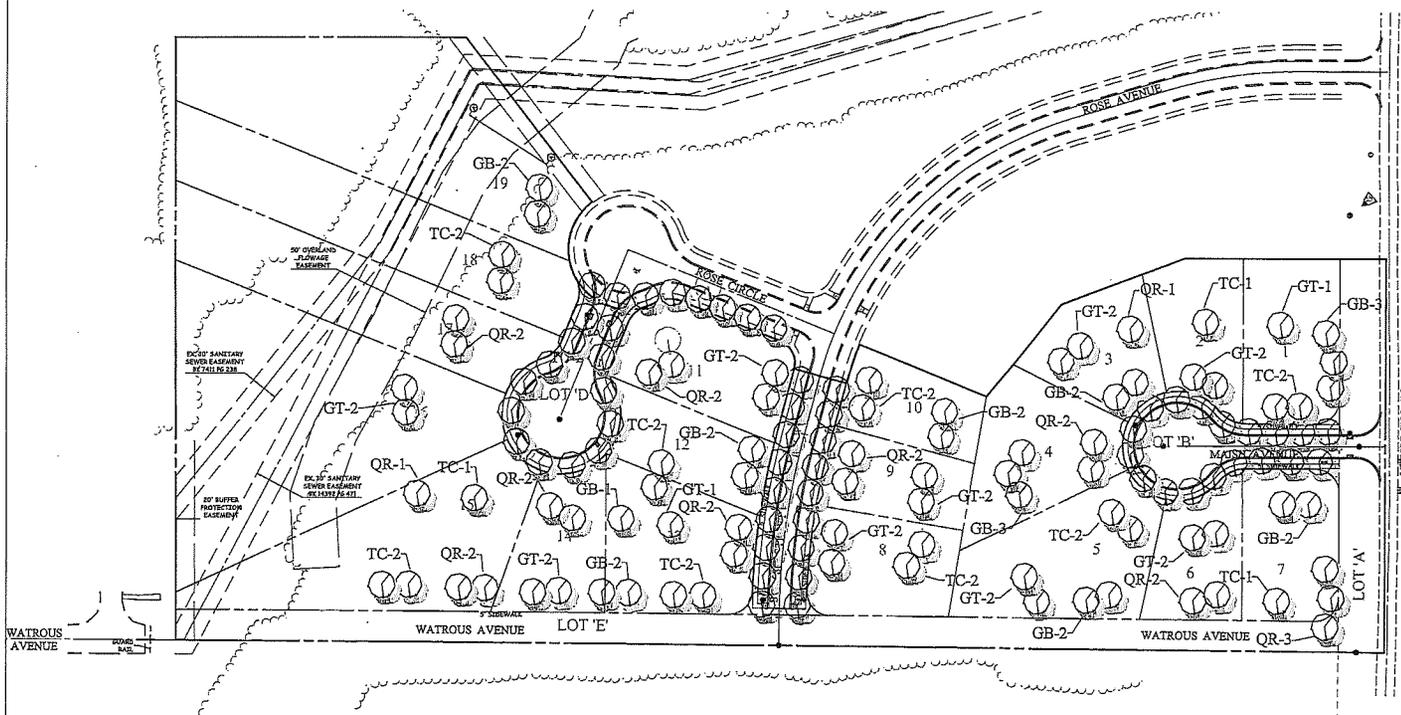


TREE PLANTING SCHEDULE

| QUANTITY | KEY | Botanical name / COMMON NAME | SIZE | CONDITION | REMARKS |
|----------|-----|--|-------------|-----------|----------|
| 20 | GT | Gladiolus triflorus 'Sylvia' | 1 1/2" cal. | TS / B&B | SEE PLAN |
| 21 | QR | REYNE HONEYLOCUST Quercus robur | 1 1/2" cal. | TS / B&B | SEE PLAN |
| 21 | GB | RED OAK Quercus rubra 'Autumn Gold' | 1 1/2" cal. | TS / B&B | SEE PLAN |

LANDSCAPING NOTES

1. ALL EXISTING AND PROPOSED LANDSCAPING SHALL BE MAINTAINED OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
2. ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH ORDINANCE.
3. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN ON THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1990).
4. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
5. THE CONTRACTOR SHALL REMOVE THE TREE STAKES ONE YEAR AFTER INSTALLATION.
6. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
7. ALL TREES, SHRUBS, BENS AND GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3 INCHES SHREDDED BARK MULCH.
8. ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT.
9. THE CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE SODDING HOLES.
10. ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 5 FEET FROM R.O.W. AND CONIFEROUS TREES AT LEAST 10 FEET FROM R.O.W.
11. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
12. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION / CONSTRUCTION.
13. ALL DISTURBED SITE AREA SHALL BE RESTORED BY SODDING.
14. CONTACT CITY FORESTER (515)383-4105 BEFORE ANY TREE INSTALLATION COMMENCES.
15. ONE STREET TREE IS REQUIRED FOR EACH LOT (ON THE R.O.W.) AT A MINIMUM OF 10' ON CENTER.
16. FOUNDATION PLANTINGS SHALL BE PROVIDED WITH EVERY HOUSE.



LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
- STORM SEWER & SIZE
- SANITARY SEWER & SIZE
- WATER MAIN & SIZE
- MANHOLE
- STORM INTAKE
- ▽ FIRE HYDRANT
- ▽ VALVE
- △ F.E.S.
- EXISTING CONTOURS
- PROPOSED CONTOURS
- STILT FENCE OR APPROVED FILTRATION SOCK

COOPER CRAWFORD & ASSOCIATES, L.L.C.
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 11-3-2018
REVISIONS: 1-15-2019
2-29-2019
3-27-2019
6-11-2019
4-8-2021

JOB NUMBER: CC 2156

APPROVED: _____ INITIALS: _____ AS BUILT: _____

