



Date May 24, 2021

**RESOLUTION SETTING HEARING ON REQUEST FROM WESLEY RETIREMENT SERVICES, INC. FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN
"WESLEY ACRE – SITE IMPROVEMENT PLAN" FOR PROPERTY AT
3520 GRAND AVENUE AND 401 37TH STREET**

WHEREAS, on May 6, 2021, the City of Des Moines Plan and Zoning Commission voted 12-0 to **APPROVE** a request from Wesley Retirement Services, Inc. (owner), represented by Rob Kretzinger (officer), to approve the PUD Final Development Plan "Wesley Acre – Site Improvement Plan" on property located at 3520 Grand Avenue and 401 37th Street (collectively "Property") to allow the construction of building additions and site revisions that are allowed by the recently approved amendment to the Wesley Acres Legacy PUD Conceptual Plan, including building additions for the north and west entries with reconfiguration of the adjacent parking lot areas including extension of parking to the north toward Grand Avenue, a building addition for swimming pool and auditorium use on the west, a terrace/pond landscape feature in the north side of the Property, and renovation of the central courtyard area, subject to compliance with all administrative review comments; and

WHEREAS, the Property is legally described as follows:

LOT 1 OFFICIAL PLAT OF LOT 5 OF PIERCE'S SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 78, RANGE 24 WEST OF THE 5TH P.M. AND LOTS 3 AND 4 OF THE OFFICIAL PLAT OF LOTS 1 THROUGH 24 OF SECTION 7, TOWNSHIP 78, RANGE 24 WEST OF THE 5TH P.M., EXCEPT THAT PART AS DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 00° (DEGREES) 09' (MINUTES) 57" (SECONDS) EAST ALONG THE EASTERLY LINE OF SAID LOT 1, A DISTANCE OF 617.54 FEET; THENCE SOUTH 89°45'23" EAST ALONG THE NORTHERLY LINE OF SAID LOT 1, A DISTANCE OF 165.15 FEET; THENCE SOUTH 00°04'49" EAST ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 333.0 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00°04'49" EAST ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 325.15 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 89°26'27" WEST ALONG THE SOUTH LINE OF SAID LOT 1 A DISTANCE OF 263.37 FEET; THENCE NORTH 00°15'28" WEST, 259.0 FEET; THENCE NORTH 45°00'00" EAST 91.12 FEET; THENCE NORTH 89°45'23" EAST, 199.64 FEET TO THE POINT OF BEGINNING; AND THAT PART OF THE SOUTH 200.0 FEET OF THE NORTH 540.0 FEET OF LOT 5 (EXCEPT THE WEST 33 FEET THEREOF) OF THE OFFICIAL PLAT LOTS 1 THROUGH 24 OF SECTION 7, TOWNSHIP 78 NORTH, RANGE 24 WEST OF THE 5TH P.M.; AND ALL OF LOT 1 IN PORTLAND PLACE, AN OFFICIAL PLAT, ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and



Roll Call Number

Agenda Item Number

25

Date May 24, 2021

filed.

2. That the meeting of the City Council at which the proposed PUD Final Development Plan is to be considered shall be held at the Council Chambers, City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa, at 5:00 p.m. on June 14, 2021, at which time the City Council will hear both those who oppose and those who favor the proposals.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposals in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

MOVED BY _____ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank

Glenna K. Frank, Assistant City Attorney

(10-2021-7.56)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED	APPROVED			

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

Mayor

City Clerk



May 18, 2021

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their May 6, 2021 meeting, the following action was taken regarding a request from Wesley Retirement Services Inc (owner) represented by Rob Kretzinger (officer) for review and approval of a PUD Final Development Plan "Wesley Acre – Site Improvement Plan" on property located at 3520 Grand Avenue, to allow building additions for the north and west entries with reconfiguration of the adjacent parking lot areas including extension of parking to the north toward Grand Avenue, a building addition for swimming pool and auditorium use on the west, a terrace/pond landscape feature in the north side of the site, and renovation of the central courtyard area.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 12-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier				X
Emily Webb				X

APPROVAL of the proposed Wesley Acres "PUD" Final Development Plan, subject to compliance with all administrative review comments (10-2021-7.56)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed Wesley Acres "PUD" Final Development Plan, subject to compliance with all administrative review comments.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed "PUD" Final Development Plan would allow for construction of building additions and site revisions that are allowed by the amendment to the Wesley Acres Legacy "PUD" Conceptual Plan.
2. **Size of Site:** Approximately 12 acres.
3. **Existing Zoning (site):** "Wesley Acres PUD" Planned Unit Development District.
4. **Existing Land Use (site):** High-density residential retirement living campus, to include a healthcare facility and adult and children daycare centers.
5. **Adjacent Land Use and Zoning to Site of Amendment:**

North - "NX3"; Use is high density residential.

South - "N2a"; Uses included undeveloped land owned by the applicant and large lot single-family residential.

East - "P1" & "P2"; Use is Des Moines University.

West - "NX3"; Uses are high-density residential and Sisterhood of the PEO.

6. **General Neighborhood/Area Land Uses:** The surrounding neighborhood uses primarily consist of high density residential and institutional uses along Grand Avenue with large lot estate single-household residential to the south and a timbered landscape in between.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Greenwood Historic Neighborhood. The neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on April 16, 2021 and by the Final Agenda on April 30, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on April 26, 2021 (10 days prior to the public hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Greenwood Historic Neighborhood Association notices were mailed to Nicholas Larson, 127 34th Street, Des Moines, IA 50312.

8. **Relevant Zoning History:** On June 2, 1986, the City Council approved the original "PUD" Conceptual Plan. On March 19, 1990, the City Council approved an amendment to expand the area of the "PUD". On April 9, 2012, the City Council approved another amendment to the "PUD" Conceptual Plan to allow beer and wine sales for on-site consumption as part of the food service for residents as a permitted use, made revision to the allowed signage program to accommodate new branding, and defined the permitted exterior design for a 5,470-square foot adult daycare building addition.

On March 8, 2021, the City Council approved an amendment to the Wesley Acres "PUD" Conceptual Plan, to allow low building additions for the north and west entries with reconfiguration of the adjacent parking lot areas including extension of parking to the north toward Grand Avenue, to allow a building addition for resident swimming pool and auditorium use on the west, to allow a terrace/pond landscape feature in the north side of the site, to allow expansion of the existing parking lot within the front yard area along 37th Street, to allow renovation of the central courtyard area, to allow expansion of beer, wine and liquor service within the Chamberlain Mansion and within all other dining service areas, to remove Children's Garden and Preschool use as a permitted use, and to revise list of permitted accessory uses to include restaurant, assembly/event space, residential support service, studio or instructional service, adult daycare, and indoor sports/recreation.

The Council's approval on March 8, 2021 included the following conditions:

1. All stucco shown on the building elevations shall meet the standards necessary to be considered "Major Façade Material", as contained in City Code Chapter 135;
2. All brick shown on the building elevations shall be full-dimensional brick and not thin brick;
3. Provision of a note to state that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate;
4. The off-street parking lot within the western portion of the "PUD" Conceptual Plan shall not extend any closer to the front property line along 37th Street than the existing "Wesley Bolton" building and shall not include a drive approach from 37th Street;
5. All lighting used to illuminate off-street parking areas shall use full-cutoff directional lighting to prevent glare and light spillover onto streets and abutting N-zoned lots;
6. Any new parking area shall be landscaped with the buffer being reviewed and approved by the Plan and Zoning Commission during the Development Site Plan review. This requires side and rear buffer plantings to lessen the impact of any parking on adjoining residential properties;
7. Any future PUD Final Development Site Plan for the site shall require certification by a licensed engineer that the stormwater basin on the southern portion of the site functions as designed;
8. Provision of a note that states any sale or service of alcoholic liquor, wine and/or beer shall be in accordance with the necessary permit or license obtained through the Office of the City Clerk as approved by the City Council; and

9. Compliance with all administrative review comments of final "PUD" Conceptual Plan documents; and
10. The property owner shall be required to annually submit a storm water detention maintenance report to the City Storm Water Utility to demonstrate continued functional operation of the approved storm water management improvements. In the event that said report does not demonstrate continued functional operation, the property owner shall comply with City recommendations to repair or maintain said improvements within a timeline approved by the City's Public Works Director or be subject to public nuisance or similar legal action by the City and the landscaping plan will be executed in advance of any Certificate of Occupancy.

9. PlanDSM Creating Our Tomorrow Designation: High Density Residential.

- 10. Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Urban Design:** The proposed elevations comply with the elevations contained on the approved "PUD" Conceptual Plan. The proposed building additions would be constructed to blend with the current surrounding building materials. It indicates that the additions would be sided with a combination of prefinished metal flashing, synthetic stucco, facebrick, and aluminum storefront. The "PUD" Final Development Plan states that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a "Major Façade Material", as regulated in City Code Chapter 135 and that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.
2. **Off-Street Parking:** The proposed "PUD" Final Development Plan demonstrates that existing off-street parking lots would be slightly reconfigured to accommodate the proposed building additions. It does not propose any modifications to the parking area to the north of the Bolton Building, as the approved "PUD Conceptual Plan includes a statement that off-street parking lot within the western portion of the "PUD" Conceptual Plan shall not extend any closer to the front property line along 37th Street than the existing "Wesley Bolton" building and shall not include a drive approach from 37th Street. The proposed "PUD" Final Development Plan also includes a note stating that all lighting used to illuminate off-street parking areas must use full-cutoff directional lighting to prevent glare and light spillover onto streets and abutting N-zoned lots.
3. **Landscaping:** The proposed "PUD" Final Development Plan demonstrates significant landscaping and plantings throughout the site.

The approved "PUD" Conceptual Plan includes a condition requires that any new parking area to be landscaped with the buffer that is reviewed and approved by the Plan and Zoning Commission during this current "PUD" Final Development Plan review. This requires side and rear buffer plantings to lessen the impact of any parking on adjoining residential properties.

In order to minimize impacts to the properties adjacent to the west at 315 and 321 37th Street, the proposed "PUD" Final Development Plan provides a mix of 8 shade streets and 31 evergreen trees along the 285 feet of property line that the applicant shares with these two properties. This equates to 3.40 shade trees and 10.88 evergreen trees per 100 linear feet. This is in excess of the standards applicable for a "Heavy Landscape Buffer", which requires 2 shade trees and 6 evergreen trees per 100 linear feet. Staff believes that the proposed placement, quantity, and variety of species will ensure that a substantial buffer is provided in this area.

4. **Drainage/Grading:** The proposed "PUD" Final Development Plan demonstrates that improvements will be made to the existing south detention basin and a new north pond will be constructed to ensure that the future storm water runoff will not exceed the existing runoff rate.

The "PUD" Development Plan states that the proposed design of the south detention basin has been designed to be in compliance with current City Codes and specifications, and certified by an Iowa-licensed engineer. The owner shall have Bishop Engineering perform an as-built survey for the improvements made to the south detention basin and storm sewer after construction is completed to certify that the basin and associated infrastructure has been constructed in accordance with the approved site plan and storm water management plan. Certification by a licensed engineer that the south detention basin functions as designed shall be provided to the City prior to issuance of a Certificate of Occupancy for any site improvements allowed by this PUD Development Site Plan.

The "PUD" Development Plan also states that the property owner is required to annually submit a storm water detention maintenance report to the City storm water utility to demonstrate continued functional operation of the approved stormwater management improvements. In the event that said report does not demonstrate continued functional operation, the property owner shall comply with City recommendations to repair or maintain said improvements within a timeline approved by the City's Public Works Director or be subject to the public nuisance or similar legal actions by the City and the landscaping plan will be executed in advance of any Certificate of Occupancy. The first of these annual reports shall be submitted to, reviewed by, and approved by the City Storm Water Utility prior to issuance of a Certificate of Occupancy for any site improvements allowed by this PUD Development Site Plan. The annual stormwater reports will be submitted to NID (Neighborhood Inspections Division) for compliance review via email at NID@DMgov.org.

SUMMARY OF DISCUSSION

Bert Drost presented staff report and recommendation.

Darren Schlapkohl 5508 NW 88th Street, Johnston, IA representing Wesley Life stated they have done a lot of work to make sure they are exceeding the recommendations and requests of everyone involved. They have had conversation with Kevin Macfee about their landscape plans and also plan to have more conversation with Scott Carlson to go through the same exercise with him as they did with Mr. Macfee.

CHAIRPERSON OPENED THE PUBLIC HEARING

None were present or requested to speak.

CHAIRPERSON CLOSED THE PUBLIC HEARING

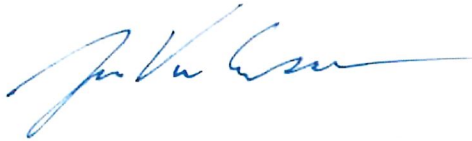
Jann Freed stated this has been a very controversial development within the neighborhood so it's great to see collaboration and accommodations regarding the neighbors' concerns.

COMMISSION ACTION:

Rocky Sposato made a motion for approval of the proposed Wesley Acres "PUD" Final Development Plan, subject to compliance with all administrative review comments

Motion passed: 12-0

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jason Van Essen", is written over a horizontal line.

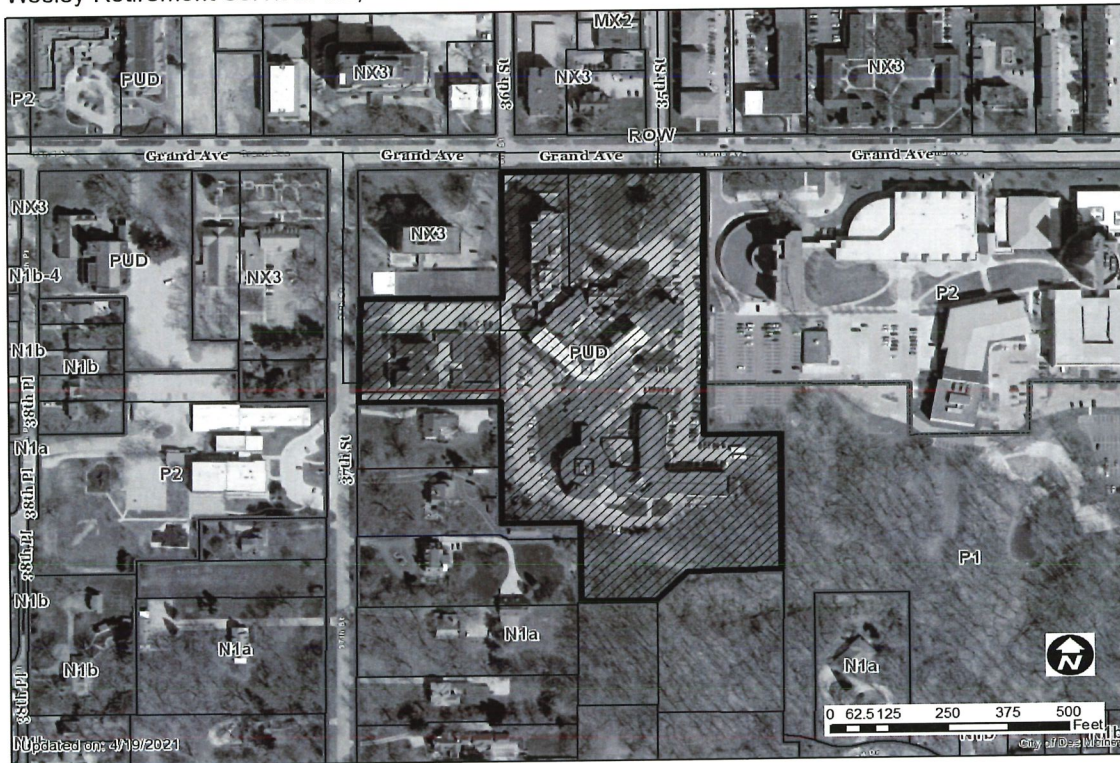
Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

Request from Wesley Retirement Services Inc (owner) represented by Rob Kretzinger (officer) for property located at 3520 Grand Avenue					File #
					10-2021-7.56
Description of Action	Review and approval of a PUD Final Development Plan "Wesley Acre – Site Improvement Plan" to allow building additions for the north and west entries with reconfiguration of the adjacent parking lot areas including extension of parking to the north toward Grand Avenue, a building addition for swimming pool and auditorium use on the west, a terrace/pond landscape feature in the north side of the site, and renovation of the central courtyard area.				
PlanDSM Future Land Use	Current: High Density Residential and Low Density Residential. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No planned improvements.				
Current Zoning District	Wesley Acres Legacy "PUD" Planned Unit Development.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	0	0			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

Wesley Retirement Services Inc, 3520 Grand Avenue

10-2021-7.56



1 inch = 235 feet



City of Des Moines

WESLEY ACRES SITE IMPROVEMENT PLAN

SHEET INDEX:

- C0.1 COVER SHEET
- C0.2 GENERAL NOTES
- C1.1 EXIST. CONDITIONS
- C1.2 DEMO PLAN
- C1.3 DEMO PLAN
- C1.4 DEMO PLAN
- C2.1 OVERALL LAYOUT PLAN
- C2.2 LAYOUT PLAN
- C2.3 LAYOUT PLAN
- C3.1 GRADING PLAN
- C3.2 GRADING PLAN
- C3.3 SOUTH BASIN PLAN
- C4.1 UTILITY PLAN
- C4.2 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C5.2 LANDSCAPE PLAN
- C5.3 LANDSCAPE PLAN
- C5.4 LANDSCAPE PLAN
- C5.5 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 SWPPP
- C7.2 SWPPP
- C7.3 SWPPP

PROPERTY DESCRIPTION:

WESLEY ACRES 300 GRAND AVE LOT 1 OFFICIAL PLAT OF LOT 5 OF PIERCE'S SUBDIVISION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 7N, RANGE 24 WEST OF THE 5TH P.M. AND LOT 3 AND 4 OF THE OFFICIAL PLAT OF LOT 1 THROUGH 24 OF SECTION 7, TOWNSHIP 7N, RANGE 24 WEST OF THE 5TH P.M. EXCEPT THAT PART AS DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 89° 42' 00" (DEGREES) 59' (MINUTES) 50" (SECONDS) EAST ALONG THE EASTERN LINE OF SAID LOT 1, A DISTANCE OF 812.54 FEET; THENCE SOUTH 89° 42' 00" EAST ALONG THE NORTHERLY LINE OF SAID LOT 1, A DISTANCE OF 181.9 FEET; THENCE SOUTH 89° 42' 00" EAST ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 233.3 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89° 42' 00" EAST ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 325.15 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 89° 22' 00" WEST ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 233.3 FEET; THENCE NORTH 89° 22' 00" WEST, 233.3 FEET; THENCE NORTH 45° 00' 00" EAST 15.12 FEET; THENCE NORTH 89° 42' 00" EAST, 181.9 FEET TO THE POINT OF BEGINNING; AND THAT PART OF THE SOUTH 20.0 FEET OF THE NORTH 50.0 FEET OF LOT 3 (EXCEPT THE WEST 22 FEET THEREOF) OF THE OFFICIAL PLAT OF LOT 1 THROUGH 24 OF SECTION 7, TOWNSHIP 7N, RANGE 24 WEST OF THE 5TH P.M.; AND ALL OF LOT 1 IN PORTLAND PLACE, AN OFFICIAL PLAT, ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

ADDRESS:
300 GRAND AVE
DES MOINES, IOWA

LAND OWNER / APPLICANT:

WESLEY RETIREMENT SERVICES INC
CONTACT: ROB KRETZINGER
300 GRAND AVE
DES MOINES, IA 50312
PH: (515) 271-6700

CONTACT (PREPARED BY):

BISHOP ENGINEERING
CONTACT: DAVID BENTZ
3001 104TH STREET
URBANA, IL 62502
PH: (312) 724-6407

SIZE OF SITE:
PUD AREA = 12.01 ACRES

EXISTING ZONING:

PUD - PLANNED UNIT DEVELOPMENT (WESLEY ACRES PUD)

PARKING REQUIREMENTS:

PARKING REQUIRED = 108 STALLS
PER WESLEY ACRES PUD
PROPOSED PARKING = 281 STALLS (INCL. 13 ADA)
(INCL. 09 UNDERGROUND STALLS)

OPEN SPACE / IMPERVIOUS AREA:

TOTAL SITE AREA = 923,395 SF (13.01 AC)

EXISTING IMPERVIOUS = 202,446 SF (2.91 AC)

EXISTING OPEN SPACE = 720,949 SF (10.39 AC)

PROPOSED IMPERVIOUS = 274,357 SF (3.95 AC)

PROPOSED OPEN SPACE = 246,588 SF (3.56 AC)

EXISTING PERMITTED LAND USE:

PRIMARY LAND USE:
HIGH-DENSITY RESIDENTIAL RETIREMENT LIVING CAMPUS
(COMPRISING OF 114 UNITS, 102 ASSISTED LIVING UNITS, 10 HEALTHCARE CENTER
SEDS AND 45 ADULT DAY SERVICE PROGRAM)

ACCESSORY LAND USES:

ONLY ALLOWED AS LONG AS PRIMARY USE CONTINUES
ALL ACCESSORY USES ARE AVAILABLE TO RESIDENTS & NON-RESIDENTS (NON-RESIDENT MEMBERSHIP REQUIRED FOR FITNESS AREA, MAXIMUM 200 MEMBERSHIPS)

1. RESTAURANT - LIMITED TO ALL DINING AREAS ON CAMPUS (INCLUDING THE BISTRO, THE OAKS, CHAMBERLAIN HOUSE, COMMUNITY ROOM & OUTDOOR PATIO AREAS)
2. SMALL ASSEMBLY/RENTAL CENTER - LIMITED TO CHAMBERLAIN HOUSE, COMMUNITY ROOM, GREENWOOD ROOM & DINING CLASSROOM
3. RESIDENTIAL SUPPORT SERVICE - SMALL RETAIL OR SERVICE USE, MUST BE ON GROUND FLOOR & LIMITED TO 2ND FLOOR GROUND FLOOR AREA
4. STUDIO OR INSTRUCTIONAL SERVICE - LIMITED TO WELLNESS AREA (UPPER POOL FLOOR)
5. ADULT DAYCARE - LIMITED TO ADULT DAYCARE FACILITY (APPROX. 45 ADULTS, 7 STAFF)
6. INDOOR SPORTS/RECREATION - POOL & WELLNESS AREA (UPPER POOL FLOOR)

ANY SMALL ASSEMBLY/RENTAL CENTER SELLING OR SERVING ALCOHOLIC LIQUOR, WINE, AND/OR BEER SHALL COMPLY WITH THE FOLLOWING:

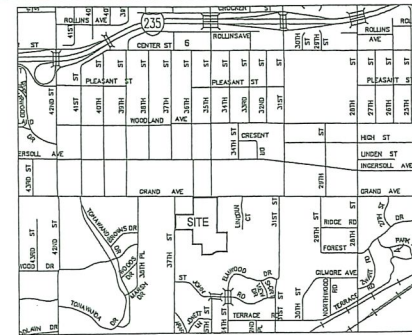
- ANY SALE OR SERVICE OF ALCOHOLIC LIQUOR, WINE, AND/OR BEER SHALL OPERATE IN ACCORDANCE WITH THE APPROPRIATE LICENSES AND/OR PERMITS OBTAINED THROUGH THE OFFICE OF THE CITY CLERK AS APPROVED BY THE CITY COUNCIL.
- THE BUSINESS SHALL COMPLY WITH ARTICLE IV OF CHAPTER 42 OF THE CITY CODE PERTAINING TO NOISE CONTROL. THE BUSINESS SHALL HAVE NO OUTSIDE SPEAKERS OR AMPLIFIED SOUND EXCEPT WHEN USED IN COMPLIANCE WITH A TYPE B SOUND PERMIT.
- THE BUSINESS SHALL CONSPICUOUSLY POST 24 HOUR CONTACT INFORMATION FOR A MANAGER OR OWNER OF THE BUSINESS NEAR THE MAIN PUBLIC ENTRANCE.
- THE BUSINESS SHALL INSTITUTE A STRICT NO LOITERING POLICY. CONSPICUOUSLY POST ONE OR MORE "NO LOITERING" SIGNS, AND COOPERATE WITH POLICE IN ADDRESSING LOITERING ON THE PREMISES.
- LITTER AND TRASH RECEPTACLES SHALL BE LOCATED AT CONVENIENT LOCATIONS INSIDE AND OUTSIDE THE PREMISES, AND OPERATORS OF THE BUSINESS SHALL REMOVE ALL TRASH AND DEBRIS FROM THE PREMISES AND ADJACENT PUBLIC AREAS ON A DAILY BASIS.
- IF THE CITY ZONING ENFORCEMENT OFFICER DETERMINES AT ANY TIME THAT THE OPERATION OF THE BUSINESS BECOMES A NUISANCE OR EXHIBITS A PATTERN OF VIOLATING THE CONDITIONS SET FORTH IN THE PUD CONCEPTUAL PLAN, THE ZONING ENFORCEMENT OFFICER MAY APPLY TO THE PLAN & ZONING COMMISSION TO RECONSIDER THE ALLOWANCE OF "SMALL ASSEMBLY/RENTAL CENTER" AS A PERMITTED ACCESSORY USE.

UTILITY MAPS PROVIDED BY:

1. ELECTRIC (INDIANAPOLIS / 315-252-6902)
2. STORM AND SANITARY (CITY OF DES MOINES / 315-237-1339)
3. FIBER OPTIC (CENTURY LINK / 202-453-9927)
4. CABLE (BOB / 515-258-4700)
5. GAS (INDIANAPOLIS / 315-252-6902)
6. WATER (DES MOINES WATER WORKS / 315-252-6720)
7. FIBER OPTIC (AT&T / 315-252-4510)
8. FIBER OPTIC (AUREON / 315-430-0445)
9. FIBER OPTIC (VERIZON / 815-723-1000)

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- TEL — TELEPHONE LINE
- FO — FIBER OPTIC
- CATV — CABLE TV
- ST — STORM MANHOLE
- CURB — CURB
- SURF — SURFACE INTRUSION
- FES — FLARED END SECTION
- SM — SANITARY MANHOLE
- CLEAN — CLEANOUT
- FHY — FIRE HYDRANT
- SP — SPRINKLER
- ICS — IRRIGATION CONTROL VALVE
- WM — WATER MANHOLE
- W — WELL
- WV — WATER VALVE
- WSH — WATER SHUT OFF
- YH — YARD HYDRANT
- EM — ELECTRIC MANHOLE
- E — ELECTRIC METER
- ER — ELECTRIC RISER
- EV — ELECTRIC VAULT
- PP — POWER POLE
- TP — TRANSFORMER POLE
- LP — LIGHT POLE
- ELJ — ELECTRIC JUNCTION BOX
- EP — ELECTRIC PANEL
- TR — TRANSFORMER
- GL — GROUND LIGHT
- GW — GUY WIRE
- EMH — ELECTRIC MANHOLE
- OM — GAS METER
- GV — GAS VALVE
- ACU — AIR CONDITIONING UNIT
- TRR — TELEPHONE RISER
- TMH — TELEPHONE MANHOLE
- TRSMH — TRAFFIC SIGNAL MANHOLE
- FOMH — FIBER OPTIC MANHOLE
- FOR — FIBER OPTIC RISER
- FOF — FIBER OPTIC FAULT
- CTR — CABLE TV RISER
- SIGN — SIGN
- BOLL — BOLLARD
- DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- SECTION CORNER - FOUND AS NOTED

BENCHMARK:

BASED ON BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY OF DES MOINES DATUM

POINT #608
NORTHING = 576878.58
EASTING = 155078.89
ELEVATION = 154.43
DESCRIPTION: SET OUT "A"

POINT #612
NORTHING = 57674.17
EASTING = 155078.28
ELEVATION = 155.90
DESCRIPTION: SET "A" IRON PIPE W/ RCP

PUD FINAL DEVELOPMENT PLAN APPROVAL:

☐ APPROVED ☐ APPROVED WITH CONDITIONS - SEE EXHIBIT "A"

IN ACCORDANCE WITH SECTION 135-2.2.3, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.

PLAN & ZONING COMMISSION MEETING DATE: _____

CITY COUNCIL APPROVAL DATE: _____

COMMUNITY DEVELOPMENT DIRECTOR: _____ DATE: _____



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: DAVID B. BENTZ, PE, 17743 DATE: _____

LICENSE RENEWAL DATE: DEC. 31, 2021

PAGES OR SHEETS COVERED BY THIS SEAL: _____

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50325-3035
Phone: (515) 272-6407 Fax: (515) 272-6427

Civil Engineering & Land Surveying
Established 1959

WESLEY ACRES
SITE IMPROVEMENT PLAN

COVER SHEET

REFERENCE NUMBER:

DRAWN BY: EWM

CHECKED BY: DBB

REVISION DATE: 2020-12-04 DO SET

2020-12-23 CITY SUBMITTAL

2021-03-17 CITY SUBMITTAL

2021-03-31 100% CD SET

2021-04-15 CITY PAZ

PROJECT NUMBER:

190388

SHEET NUMBER:

C0.1

COPYRIGHT 2023 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED MAY NOT BE REPRODUCED OR EXCEPTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING. UNAUTHORIZED COPYING OR DISCLOSURE OF CONSTRUCTION USE ARE PROHIBITED BY COPYRIGHT LAW.

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH SDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT D.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRE-CONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF DES MOINES.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS FILLED INTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION. AT THE END OF EACH WORK DAY.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED INTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. EXPOSED OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

1. THE PAVING/GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF DES MOINES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SDAS.
2. SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBGRADE PRIOR TO ANY PAVEMENT BEING PLACED.
3. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
5. ALL VALETS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOP OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-975-5487) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN CONDOED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOP SURVEYS UNTIL ISSUES HAVE BEEN RESOLVED.
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
5. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, RELOCATED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH IN-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
7. ALL RCP RAY CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING PAPER.
8. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 18" OF THE CROSSING.
9. MANHOLE AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVIEWING OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
10. WATERMANS SHALL BE 60% SIZE OF WATERMAIN AS SHOWN ON PLANS.
11. THROUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
12. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF DES MOINES.
13. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
14. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF DES MOINES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
15. THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC.
2. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVIENIENCE.
3. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

1. BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY.

SURVEY NOTES:

1. SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 08/10/2020. SEE EXISTING CONDITIONS SHEET PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

CITY OF DES MOINES NOTES:

1. ALL LIGHTING USED TO ILLUMINATE OFF-STREET PARKING AREAS SHALL USE FULL-CUTOFF DIRECTIONAL LIGHTING TO PREVENT GLARE AND LIGHT SPOILOVER ONTO STREETS AND ABUTTING N-ZONED LOTS.
2. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
3. ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUIVALENT TO THE HEIGHT OF THE EQUIPMENT.
4. MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD, AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
5. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
6. LIGHTING MUST BE LOW GLARE OUT-OF-TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
7. THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
8. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SOODOING.
9. ALL BUILDING ELEVATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE PUD.
10. ANY SALE OR SERVICE OF ALCOHOLIC LIQUOR, WINE AND/OR BEER SHALL BE IN ACCORDANCE WITH THE NECESSARY PERMIT OR LICENSE OBTAINED THROUGH THE OFFICE OF THE CITY CLERK AS APPROVED BY THE CITY COUNCIL.

CITY COUNCIL PUD APPROVAL:

CITY COUNCIL MEETING DATE: MARCH 8, 2021 (ROLL CALL NO. 31403)

CONDITIONS OF APPROVAL:

1. ALL STUCCO SHOWN ON THE BUILDING ELEVATIONS SHALL MEET THE STANDARDS NECESSARY TO BE CONSIDERED "ALTAZ FACADE MATERIAL" AS CONTAINED IN CITY CODE CHAPTER 126.
2. ALL BRICK SHOWN ON THE BUILDING ELEVATIONS SHALL BE FULL-DIMENSIONAL BRICK AND NOT TON BRICK.
3. ANY REFUSE COLLECTION CONTAINER WILL BE WITHIN AN ENCLOSURE CONSTRUCTED OF MASONRY WALLS THAT MATCH THE PRIMARY BUILDING AND STEEL DATE.
4. THE OFF-STREET PARKING LOT WITHIN THE WESTERN PORTION OF THE "PUD" CONCEPTUAL PLAN SHALL NOT EXTEND ANY CLOSER TO THE FRONT PROPERTY LINE ALONG 37TH STREET THAN THE EXISTING "WESLEY BOLTON" BUILDING AND SHALL NOT INCLUDE A DRIVE APPROACH FROM 37TH STREET.
5. ALL LIGHTING USED TO ILLUMINATE OFF-STREET PARKING AREAS SHALL USE FULL-CUTOFF DIRECTIONAL LIGHTING TO PREVENT GLARE AND LIGHT SPOILOVER ONTO STREETS AND ABUTTING N-ZONED LOTS.
6. ANY NEW PARKING AREA SHALL BE LANDSCAPED WITH THE BUFFER BEING REVIEWED AND APPROVED BY THE PLAN AND ZONING COMMISSION DURING THE DEVELOPMENT SITE PLAN REVIEW. THIS REQUIRES SIDE AND REAR BUFFER PLANTINGS TO LESSEN THE IMPACT OF ANY PARKING ON ADJACING RESIDENTIAL PROPERTIES.
7. ANY FUTURE PUD FINAL DEVELOPMENT SITE PLAN FOR THE SITE SHALL REQUIRE CERTIFICATION BY A LICENSED ENGINEER THAT THE STORMWATER BASIN ON THE SOUTHERN PORTION OF THE SITE FUNCTIONS AS DESIGNED.
8. PROVISION OF A NOTE THAT STATES ANY SALE OR SERVICE OF ALCOHOLIC LIQUOR, WINE AND/OR BEER SHALL BE IN ACCORDANCE WITH THE NECESSARY PERMIT OR LICENSE OBTAINED THROUGH THE OFFICE OF THE CITY CLERK AS APPROVED BY THE CITY COUNCIL.
9. COMPLIANCE WITH ALL ADMINISTRATIVE REVIEW COMMENTS OF FINAL "PUD" CONCEPTUAL PLAN DOCUMENTS.
10. PROPERTY OWNER SHALL BE REQUIRED TO ANNUALLY SUBMIT A STORM WATER DETENTION MAINTENANCE REPORT TO THE CITY STORM WATER UTILITY TO DEMONSTRATE CONTINUED FUNCTIONAL OPERATION OF THE APPROVED STORM WATER MANAGEMENT IMPROVEMENTS. IN THE EVENT THAT SAID REPORT DOES NOT DEMONSTRATE CONTINUED FUNCTIONAL OPERATION, THE PROPERTY OWNER SHALL COMPLY WITH CITY RECOMMENDATIONS TO REPAIR OR MAINTAIN SAID IMPROVEMENTS WITHIN A TIMEFRAME APPROVED BY THE CITY PUBLIC WORKS DIRECTOR OR BE SUBJECT TO PUBLIC NUISANCE OR SIMILAR LEGAL ACTION BY THE CITY AND THE LANDSCAPING PLAN WILL BE EXECUTED IN ADVANCE OF ANY CERTIFICATE OF OCCUPANCY

PUD NOTES:

1. THERE SHALL BE NO FUTURE BUILDING OR PARKING IMPROVEMENTS SOUTH OF THE "DEVELOPMENT RESTRICTION LINE" LOCATED 850 FEET SOUTH OF THE GRAND AVENUE RIGHT-OF-WAY. ANY AMENDMENT TO THIS PLAN THAT WOULD NORMALLY BE ALLOWED ADMINISTRATIVELY SOUTH OF THE "DEVELOPMENT RESTRICTION LINE" REQUIRES NOTICE TO THE SURROUNDING PROPERTY OWNERS AND THE NEIGHBORHOOD ASSOCIATION IN ACCORDANCE WITH THE PLE STANDARD NOTIFICATION PROCEDURES FOR REDRAWING A 30-DAY TIME PERIOD WILL BE ALLOWED FOR COMMENT FROM NEIGHBORS PRIOR TO APPROVAL OF THE ADMINISTRATIVE AMENDMENT BY THE PLANNING DIRECTOR.
2. EXTERIOR LIGHTING IS TO BE SHIELDED AND DIRECTED DOWNWARD SO AS NOT TO PRODUCE GLARE ON ADJACENT PROPERTIES.
3. EXISTING SIGNAGE SHALL REMAIN PER PREVIOUS APPROVED PUD CONCEPT, EXCEPT WHERE NEW CONSTRUCTION CALLS FOR SIGNS TO BE REMOVED.
4. EXISTING LIQUOR LICENSE AGREEMENT SHALL REMAIN IN PLACE PER PREVIOUS APPROVED PUD CONCEPT, ZONING 4-6000.
5. DESIGN / RENOVATION OF CENTRAL COURTYARD AREA HAS NOT YET BEEN DETERMINED AND WILL BE ADDRESSED WITH THE SITE PLAN SUBMITTAL. RENOVATIONS WILL MEET ALL PUD REQUIREMENTS.

ARCHITECTURAL GUIDELINES:

THE PROPOSED ADDITIONS MAY INCLUDE A COMBINATION OF PREFINISHED METAL FLASHING, SYNTHETIC STUCCO, FACEBRICK AND ALUMINUM STOREFRONT. THE ADDITION WILL BE CONSTRUCTED TO BLEND WITH THE CURRENT SURROUNDING BUILDING MATERIALS.

TREE MITIGATION & PROTECTION REQUIREMENTS:

ONE REPLACEMENT TREE WILL BE PROVIDED FOR EACH 2,000 SF OF EXISTING CANOPIED AREA REMOVED, OR

REPLACEMENT TREES SHALL BE PROVIDED FOR EACH MATURE TREE TO BE REMOVED BASED UPON THE DIAMETER AT BREAST HEIGHT (DBH) OF THE REMOVED TREE IN THE FOLLOWING RATIO:

DBH OF REMOVED TREE	RATIO OF REPLACEMENT TREES TO REMOVED TREES
AT LEAST 18 AND LESS THAN 18	1:1
AT LEAST 18 AND LESS THAN 24	2:1

FOR EACH INCREMENT OF 8 INCHES OF DBH ABOVE 24 INCHES, ONE ADDITIONAL REPLACEMENT TREE SHALL BE PROVIDED

LANDSCAPE NOTES:

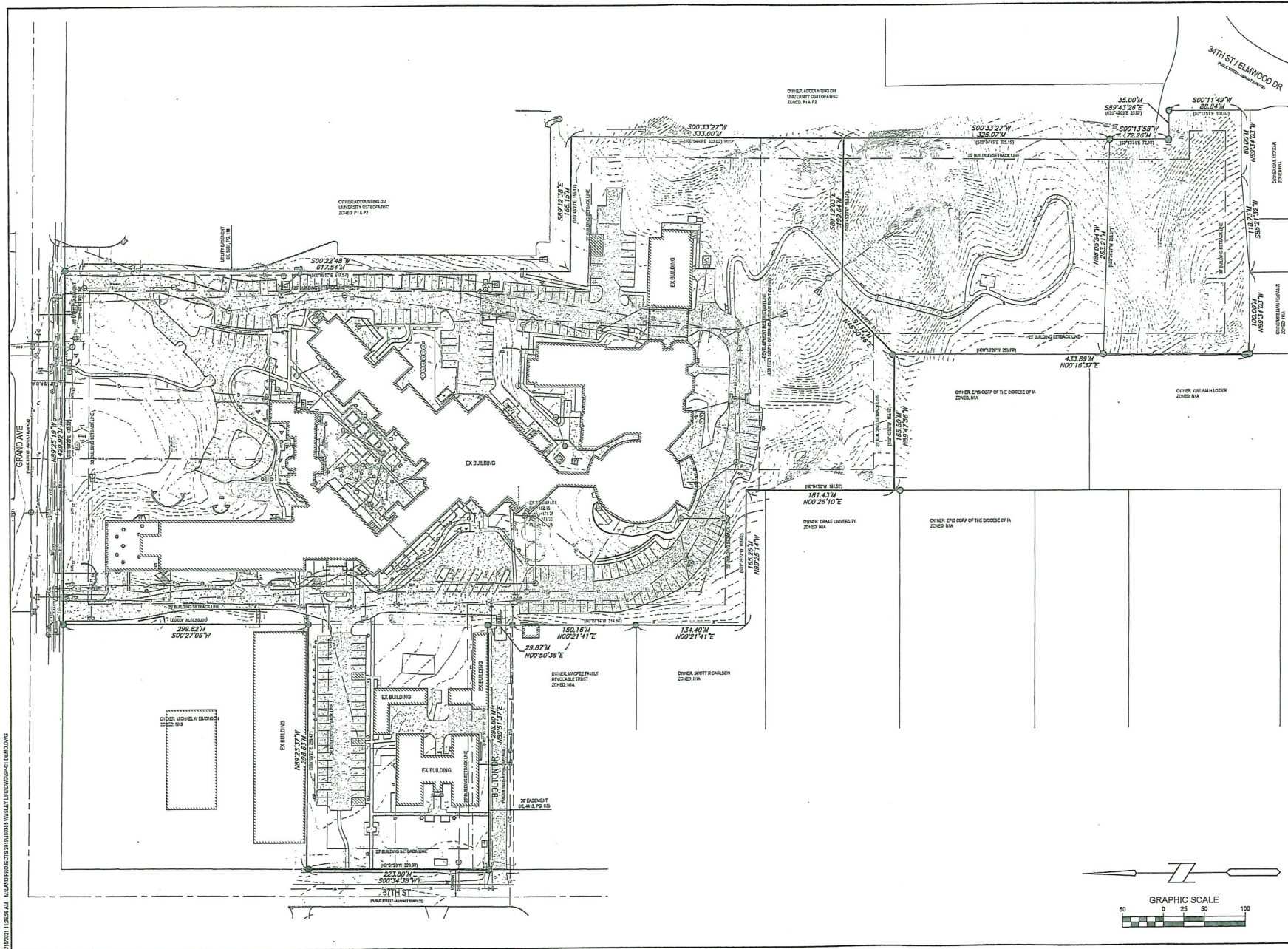
1. STREET TREES AS OUTLINED IN CHAPTER 126-7 (LANDSCAPE AND STREETSCAPE - STREETSCAPE REQUIREMENTS) WERE PREVIOUSLY INSTALLED BY CITY OF DES MOINES. NO ADDITIONAL STREET TREES WILL BE INCLUDED WITH THIS PUD.
2. FRONTAGE BUFFER AS OUTLINED IN CHAPTER 126-7 (LANDSCAPE AND STREETSCAPE - FRONTAGE BUFFER) IS SPECIFICALLY EXCLUDED FROM THIS PUD.
3. EXISTING PARKING AREAS TO REMAIN WILL FOLLOW PREVIOUSLY APPROVED PLANS RELATING TO PARKING LOT ISLANDS. PROPOSED AND FUTURE PARKING AREAS WILL MEET CURRENT CITY OF DES MOINES DRAINAGE FOR PARKING LOT ISLANDS.



WESLEY ACRES
SITE IMPROVEMENT PLAN

GENERAL NOTES

REFERENCE NUMBER:	
DESIGN BY:	DBM
CHECKED BY:	DBM
REVISION DATE:	2020-12-04 DD SET 2020-12-29 CITY SUBMITTAL 2021-03-17 CITY SUBMITTAL 2021-03-31 100% CD SET 2021-04-19 CITY P&Z
PROJECT NUMBER:	190388
SHEET NUMBER:	C0.2



WESLEY ACRES
SITE IMPROVEMENT PLAN

EXISTING CONDITIONS

DEPENDENCE NUMBER

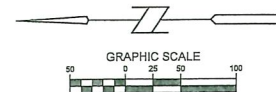
CROWN EC:

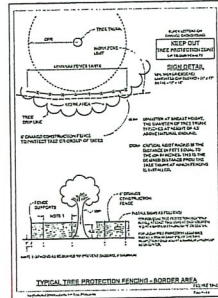
CHECKED BY _____

REVISION DATE:
2020-12-04 DD SET
2020-12-23 CITY SUBMITTAL
2021-03-17 CITY SUBMITTAL
2021-03-31 100% CD SET
2021-04-15 CITY P&Z

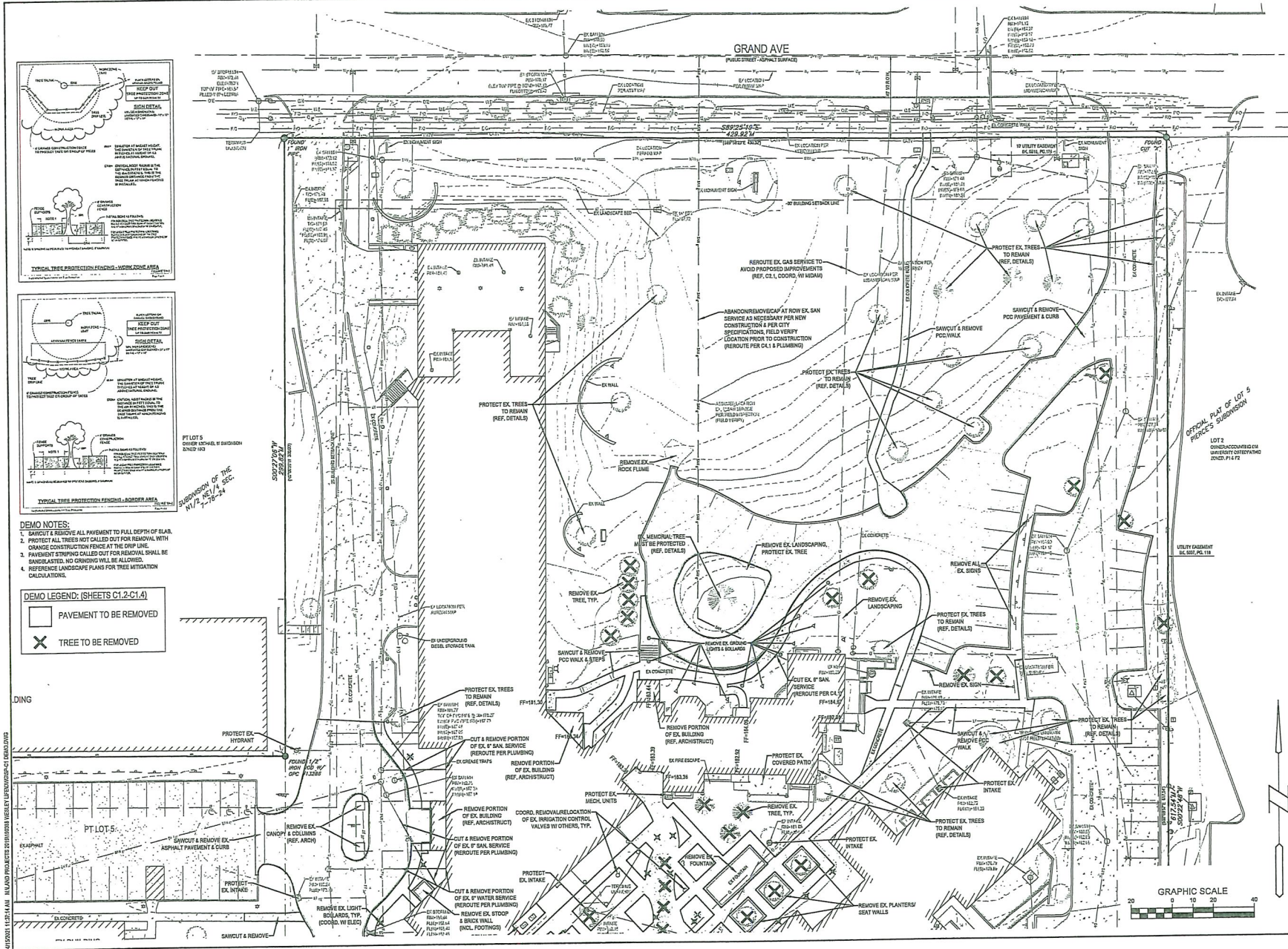
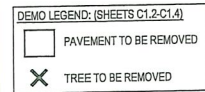
PROJECT NUMBER:
190388

SHEET NUMBER:
C1.1





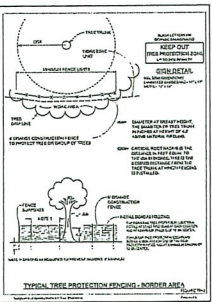
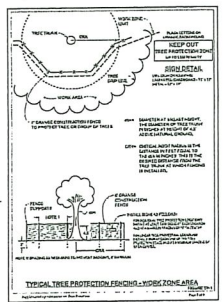
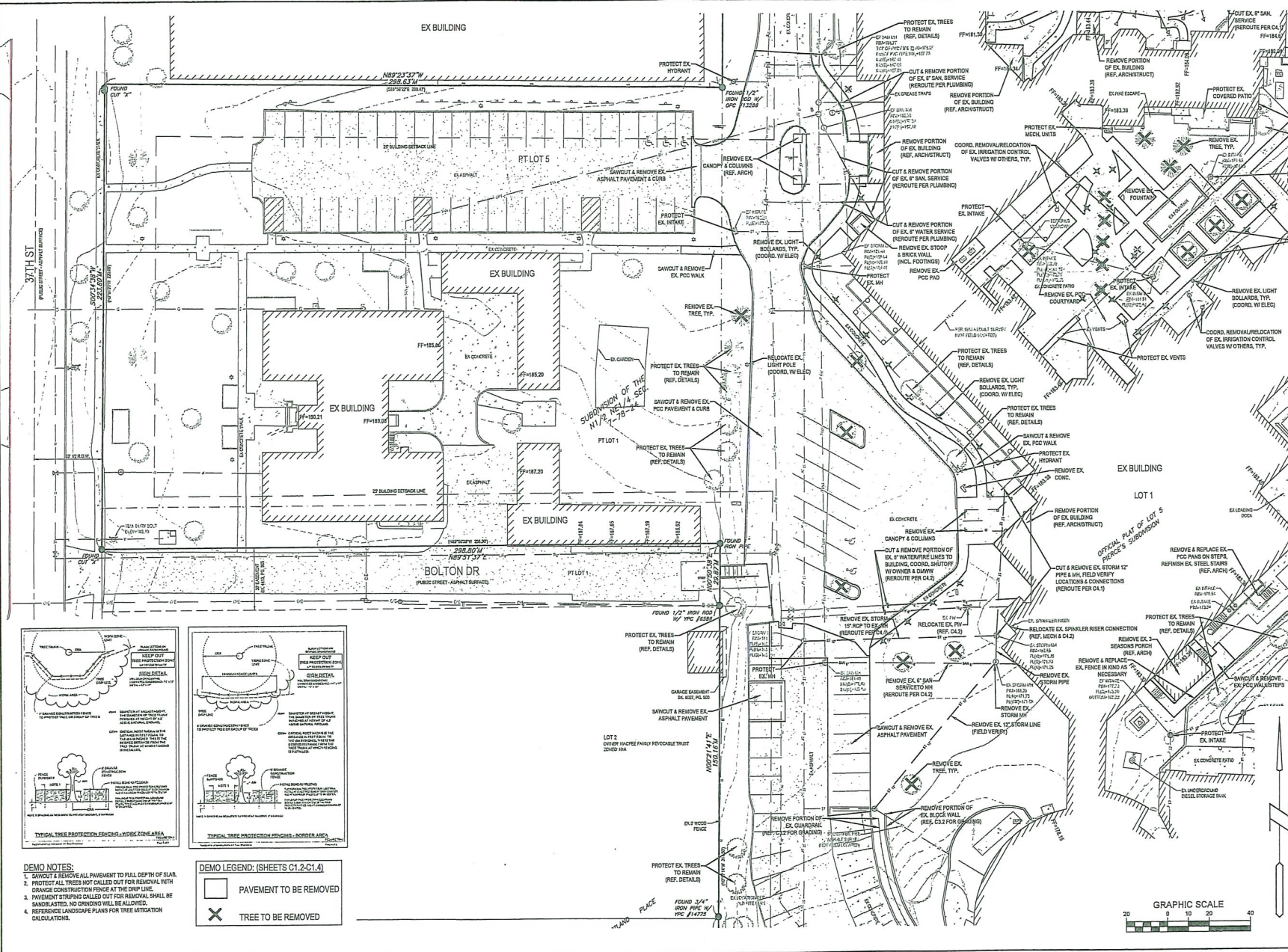
- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
 4. REFERENCE LANDSCAPE PLANS FOR TREE MITIGATION CALCULATIONS.



WESLEY ACRES
SITE IMPROVEMENT PLAN

DEMO PLAN

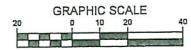
REFERENCE NUMBER:
DESIGN BY: EWM
CHECKED BY: DBB
REVISION DATE: 2020-12-04 DD SET 2020-12-23 CITY SUBMITTAL 2021-03-17 CITY SUBMITTAL 2021-03-31 100% CD SET 2021-04-15 CITY P&Z
PROJECT NUMBER: 190388
SHEET NUMBER: C1.2



- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCING AT THE SHIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SAWCUTTED. NO GRADING WILL BE ALLOWED.
 4. REFERENCE LANDSCAPE PLANS FOR TREE MITIGATION CALCULATIONS.

DEMO LEGEND: (SHEETS C1.2-C1.4)

PAVEMENT TO BE REMOVED
X TREE TO BE REMOVED

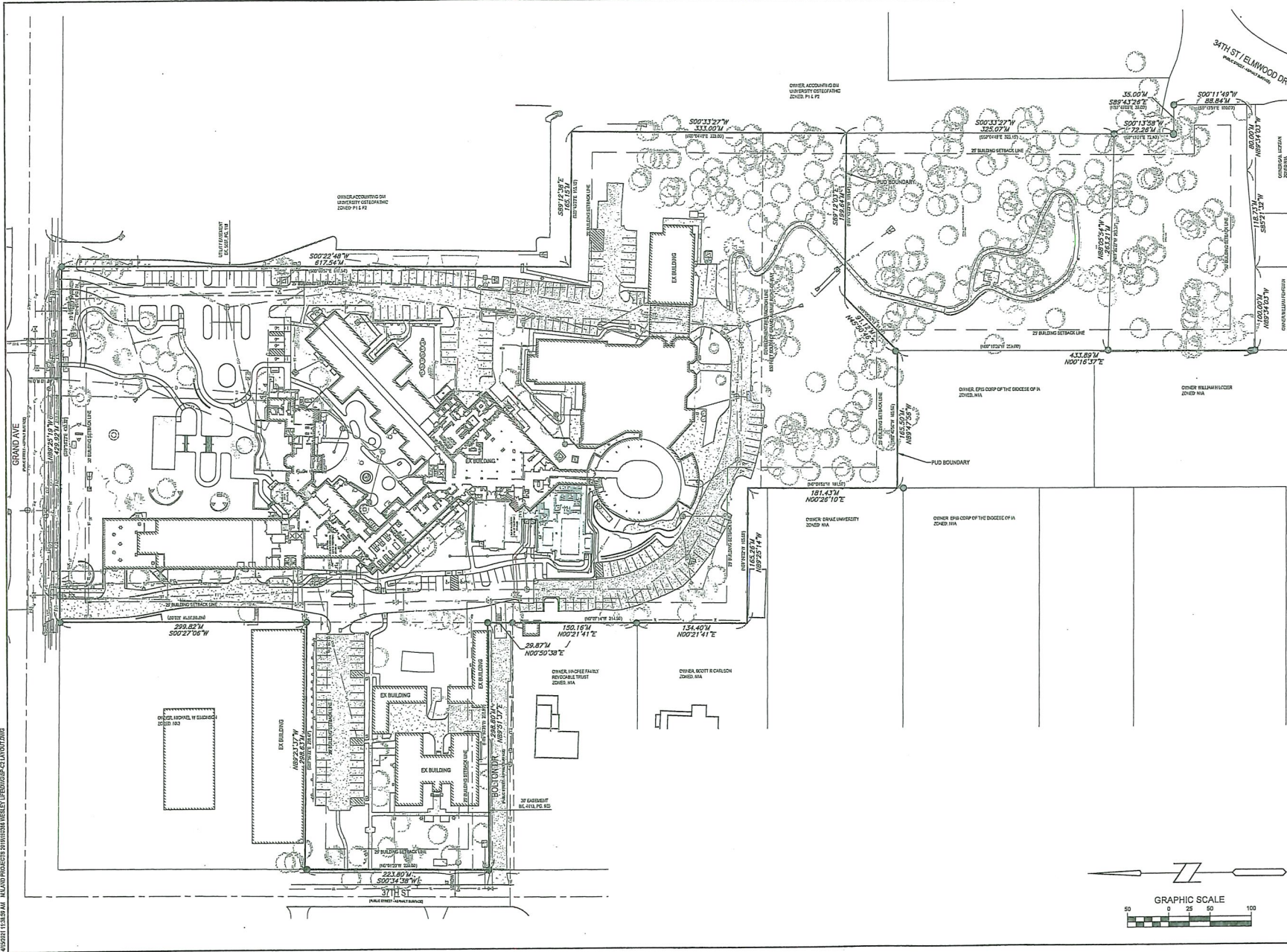


Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50325-3825
 Phone (515) 281-4447 Fax (515) 281-0337
 Civil Engineering & Land Surveying Established 1959

WESLEY ACRES
 SITE IMPROVEMENT PLAN
DEMO PLAN

REFERENCE NUMBER:	
DESIGNED BY:	BWM
CHECKED BY:	DBB
REVISION DATE:	
2020-12-04 DO SET	
2020-12-23 CITY SUBMITTAL	
2021-03-17 CITY SUBMITTAL	
2021-03-31 100% CD SET	
2022-04-15 CITY PAZ	
PROJECT NUMBER:	
190388	
SHEET NUMBER:	
C1.3	

4/25/2021 11:28:39 AM PLAND PROJECTS D:\PROJECTS\WESLEY IMPROVEMENT\WESLEY LAYOUT.DWG



WESLEY ACRES
SITE IMPROVEMENT PLAN

OVERALL LAYOUT PLAN

Bishop Engineering
Training Your Tomorrow's Engineer

501 104th Street
Des Moines, IA 50315
Phone: (515) 264-4447 Fax: (515) 264-6337

Civil Engineering & Land Surveying
Established 1959

REFERENCE NUMBER

DRAWN BY:

CHECKED BY:

REVISION DATE:

2020-12-04 DD SET
2020-12-03 CITY SUBMITTAL
2021-03-17 CITY SUBMITTAL
2021-03-31 100% CD SET
2021-04-15 CITY P&Z

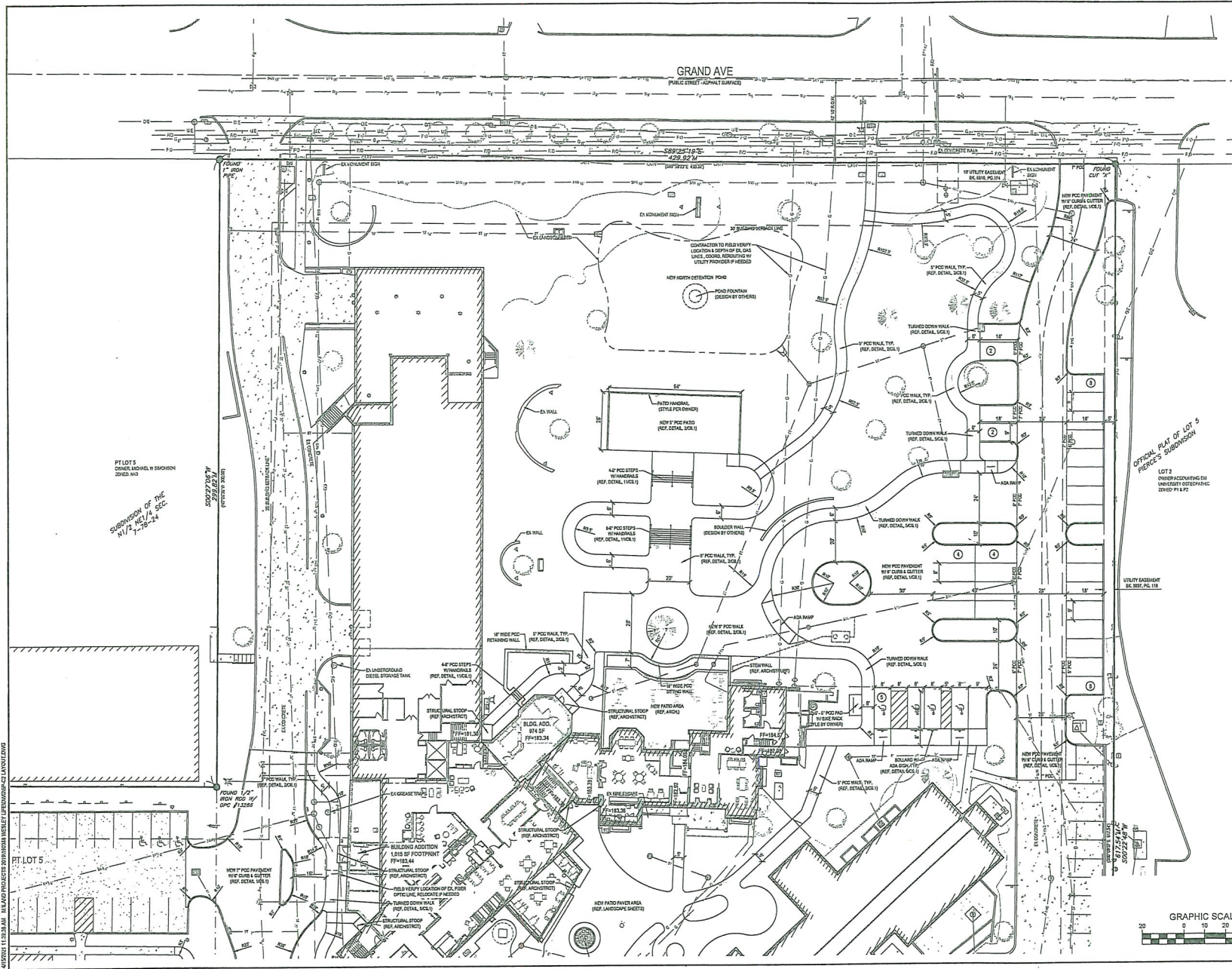
PROJECT NUMBER

190388

SHEET NUMBER

C2.1

4/25/2020 11:33:34 AM PLAND PROJECTS 20 WINDOM WESLEY LAYOUT/CD/CA LAND/DOCS



WESLEY ACRES
SITE IMPROVEMENT PLAN

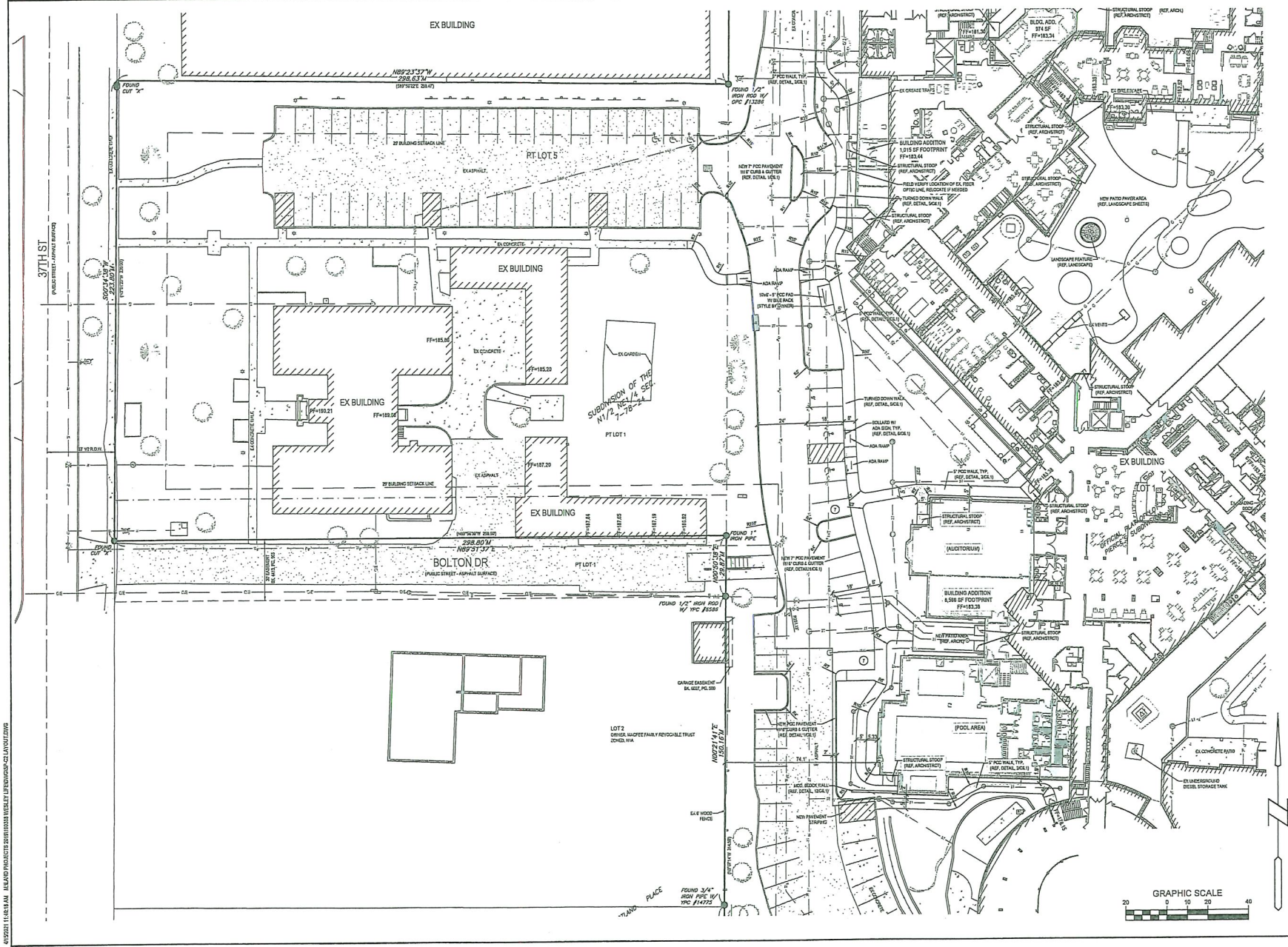
LAYOUT PLAN

REFERENCE NUMBER	
DESIGN BY	ENM
CHECKED BY	ENM
REVISION DATE	2020-12-04 DD SET 2020-12-23 CITY SUBMITTAL 2021-03-17 CITY SUBMITTAL 2021-03-31 100% CD SET 2021-04-15 CITY P&Z
PROJECT NUMBER	190388
SHEET NUMBER	C2.2

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50325-5825
Phone (515) 281-4407 Fax (515) 281-4317
Civil Engineering & Land Surveying
Established 1959

4/25/2021 11:48:13 AM B/LAND PROJECT SITE BY/IN/ISSA WESLEY L/PROF/SPACE LAYOUT/ING



WESLEY ACRES
SITE IMPROVEMENT PLAN

REFERENCE NUMBER

DRAWN BY:
EWM

CHECKED BY:
DBS

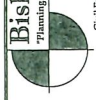
REVISION DATE:
2020-12-04 DD SET
2020-12-25 CITY SUBMITTAL
2021-03-17 CITY SUBMITTAL
2021-03-31 100% CD SET
2021-04-15 CITY FAX

PROJECT NUMBER:
190388

SHEET NUMBER

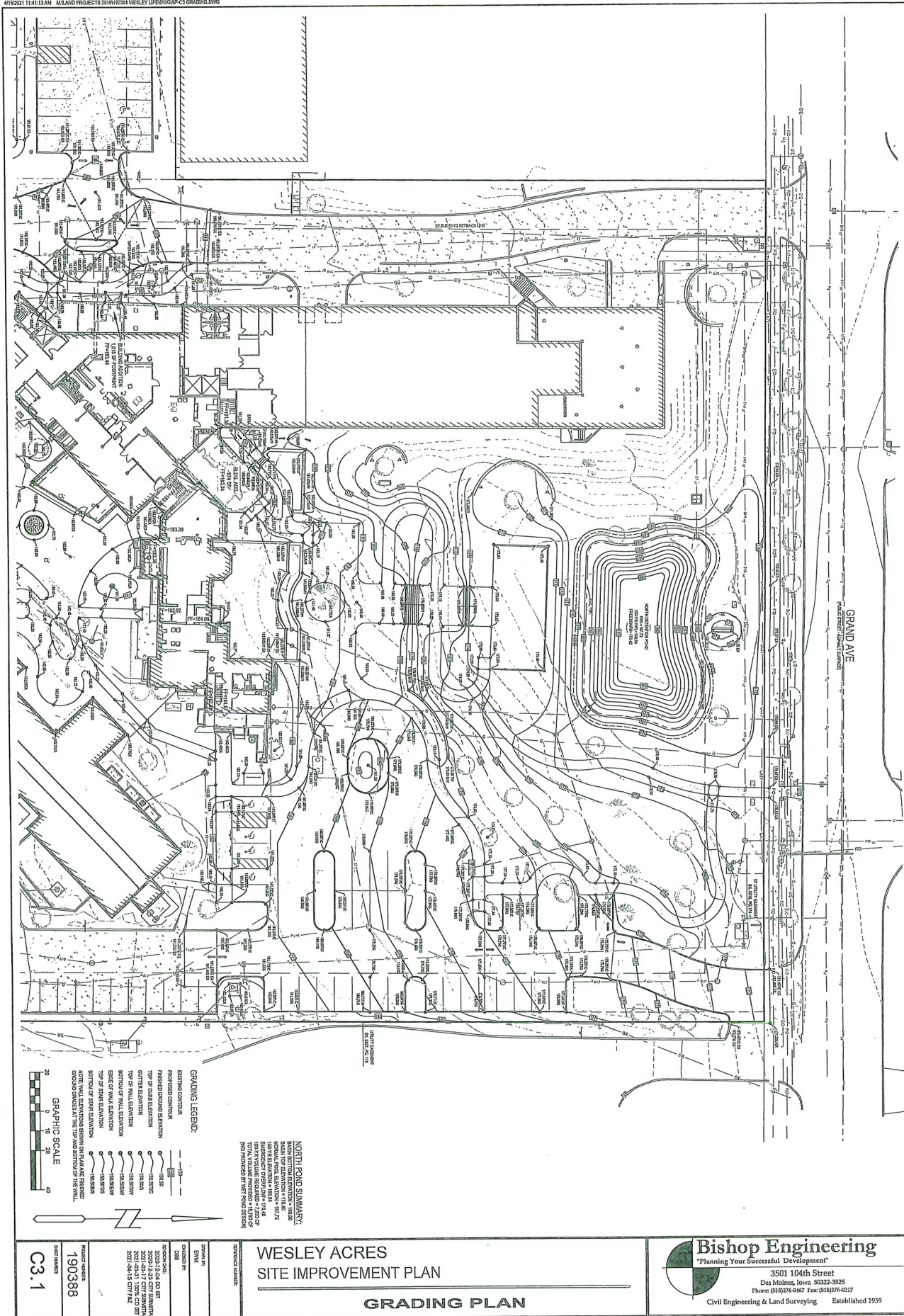
C2.3

Bishop Engineering
"Planning Your Successful Development"

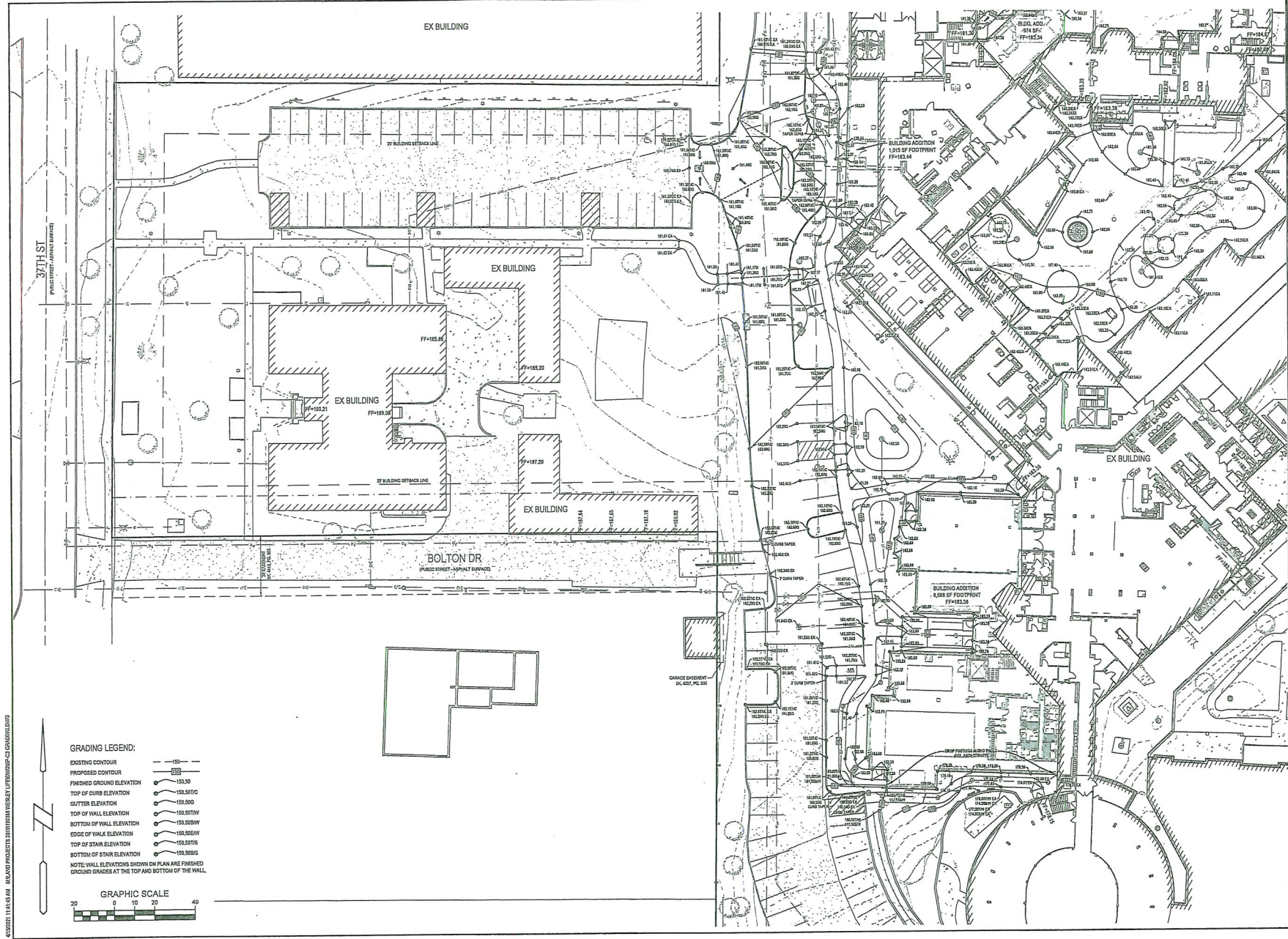


3501 104th Street
Des Moines, Iowa 50325-3625
Phone: 619.926.4497 Fax: 619.926.4217
Civil Engineering & Land Surveying
Established 1959

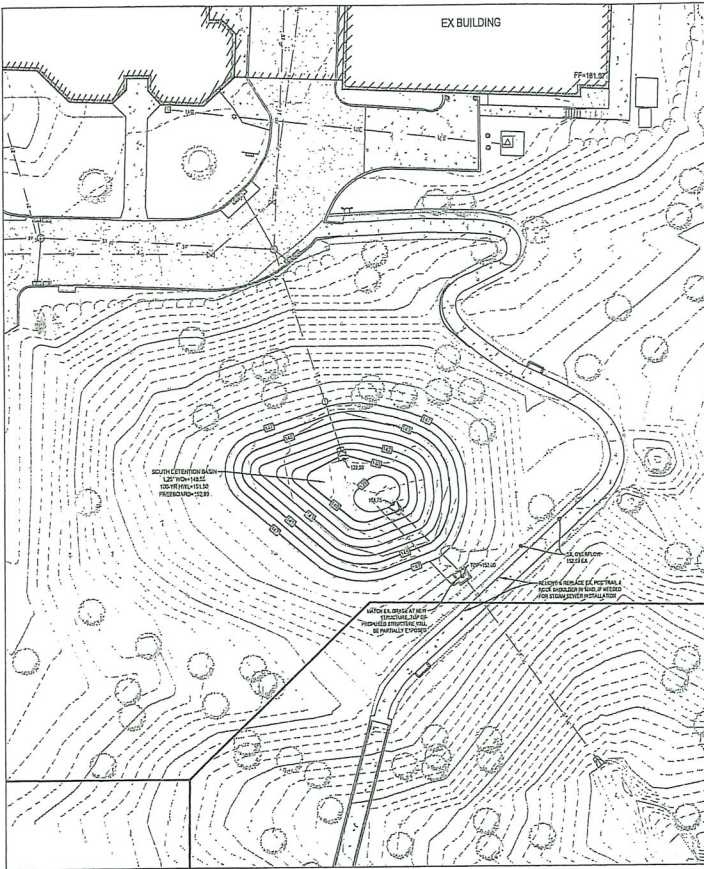
LAYOUT PLAN



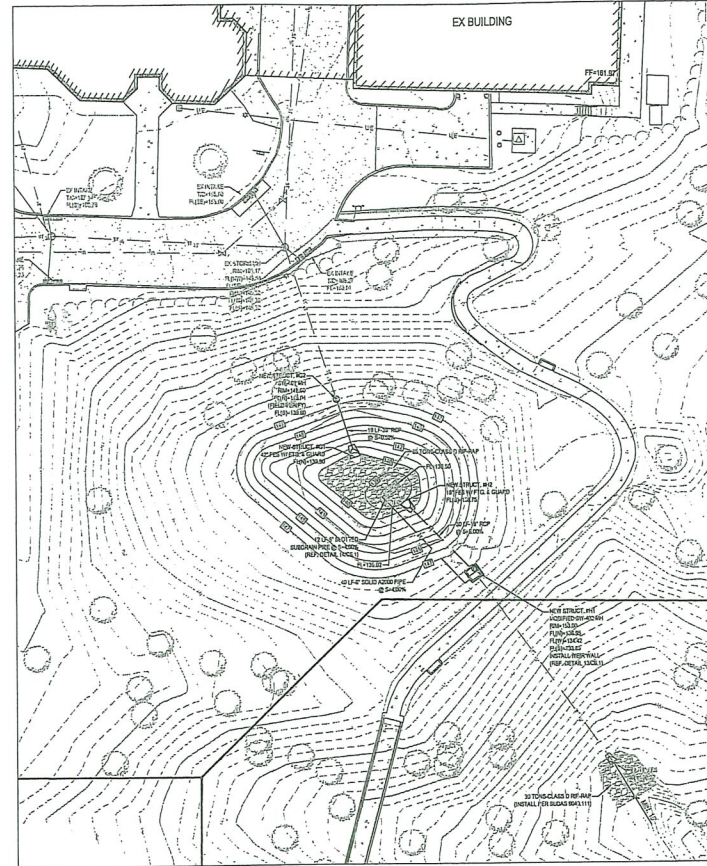
4/25/2021 11:41:45 AM I:\LAND PROJECTS\2019\190338 WESLEY LIFEWORSHIP\CD\CONV\CD.DWG



Bishop Engineering "Transforming Your Geospatial Data"	
1501 104th Street Des Moines, Iowa 50325-3825 Phone: (515) 274-4467 Fax: (515) 274-0217 Civil Engineering & Land Surveying Established 1959	
WESLEY ACRES SITE IMPROVEMENT PLAN GRADING PLAN	
REFERENCE NUMBER:	
DRAWN BY:	EWM
CHECKED BY:	DBB
REVISION DATE:	2020-12-04 DO SET 2020-12-23 CITY SUBMITTAL 2021-03-17 CITY SUBMITTAL 2021-03-31 100% CD SET 2021-04-15 CITY PAZ
PROJECT NUMBER:	1903388
SHEET NUMBER:	C3.2



SOUTH BASIN - GRADING PLAN



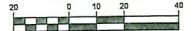
SOUTH BASIN - UTILITY PLAN

GRADING LEGEND:

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
FINISHED GROUND ELEVATION	---
TOP OF CURB ELEVATION	---
GUTTER ELEVATION	---
TOP OF WALL ELEVATION	---
BOTTOM OF WALL ELEVATION	---
EDGE OF WALK ELEVATION	---
TOP OF STAIR ELEVATION	---
BOTTOM OF STAIR ELEVATION	---

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

GRAPHIC SCALE



SOUTH BASIN SUMMARY:

BASIN BOTTOM ELEVATION = 158.75
BASIN TOP ELEVATION = 158.75
150-YR ELEVATION = 151.50
100-YR ELEVATION = 148.50
EMERGENCY OVERFLOW = 152.25
100-YR VOLUME REQUIRED = 45,383 CF
TOTAL VOLUME PROVIDED = 55,400 CF
VOLUME REQUIRED = 23,338 CF
VOLUME PROVIDED = 23,338 CF

SOUTH BASIN DESIGN & MAINTENANCE NOTES:

1. THE PROPOSED DESIGN OF THE SOUTH DETENTION BASIN HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH CURRENT CITY CODES AND SPECIFICATIONS AND CERTIFIED BY AN EIR LICENSED ENGINEER. REFERENCE SHALL BE MADE TO THE STORM WATER MANAGEMENT PLAN PREPARED BY BISHOP ENGINEERING.
2. THE OWNER SHALL HAVE BISHOP ENGINEERING PERFORM AN AS-BUILT SURVEY FOR THE IMPROVEMENTS MADE TO THE SOUTH DETENTION BASIN AND STORM SEWER AFTER CONSTRUCTION IS COMPLETED TO CERTIFY THAT THE BASIN AND ASSOCIATED INFRASTRUCTURE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED SITE PLAN AND STORM WATER MANAGEMENT PLAN. CERTIFICATION BY A LICENSED ENGINEER THAT THE SOUTH DETENTION BASIN FUNCTIONS AS DESIGNED SHALL BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY SITE IMPROVEMENTS ALLOWED BY THIS PUD DEVELOPMENT SITE PLAN.
3. THE PROPERTY OWNER IS REQUIRED TO ANNUALLY SUBMIT A STORM WATER DETENTION MAINTENANCE REPORT TO THE CITY STORM WATER UTILITY TO DEMONSTRATE CONTINUED FUNCTIONAL OPERATION OF THE APPROVED STORM WATER MANAGEMENT IMPROVEMENTS. IN THE EVENT THAT SAID REPORT DOES NOT DEMONSTRATE CONTINUED FUNCTIONAL OPERATION, THE PROPERTY OWNER SHALL COMPLY WITH CITY RECOMMENDATIONS TO REPAIR OR MAINTAIN SAID IMPROVEMENTS WITHIN A TIMELINE APPROVED BY THE CITY'S PUBLIC WORKS DIVISION OR BE SUBJECT TO PUBLIC NUISANCE OR SIMILAR LEGAL ACTION BY THE CITY AND THE LANDSCAPING PLAN WILL BE EXECUTED IN ADVANCE OF ANY CERTIFICATE OF OCCUPANCY. THE FIRST OF THESE ANNUAL REPORTS SHALL BE SUBMITTED TO, REVIEWED BY, AND APPROVED BY THE CITY STORM WATER UTILITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY SITE IMPROVEMENTS ALLOWED BY THIS PUD DEVELOPMENT SITE PLAN. THE ANNUAL STORMWATER REPORTS SHALL BE SUBMITTED TO NO (NEIGHBORHOOD INSPECTIONS DIVISION) FOR COMPLIANCE REVIEW VIA EMAIL AT nid@nigdm.org.

WESLEY ACRES
SITE IMPROVEMENT PLAN
SOUTH BASIN PLAN

REFERENCE NUMBER

DESIGN BY:

DESIGNED BY:

REVISION DATE:

2020-12-04 DD SET

2020-12-25 CITY SUBMITTAL

2021-03-17 CITY SUBMITTAL

2021-03-31 100% CD SET

2021-04-15 CITY PER

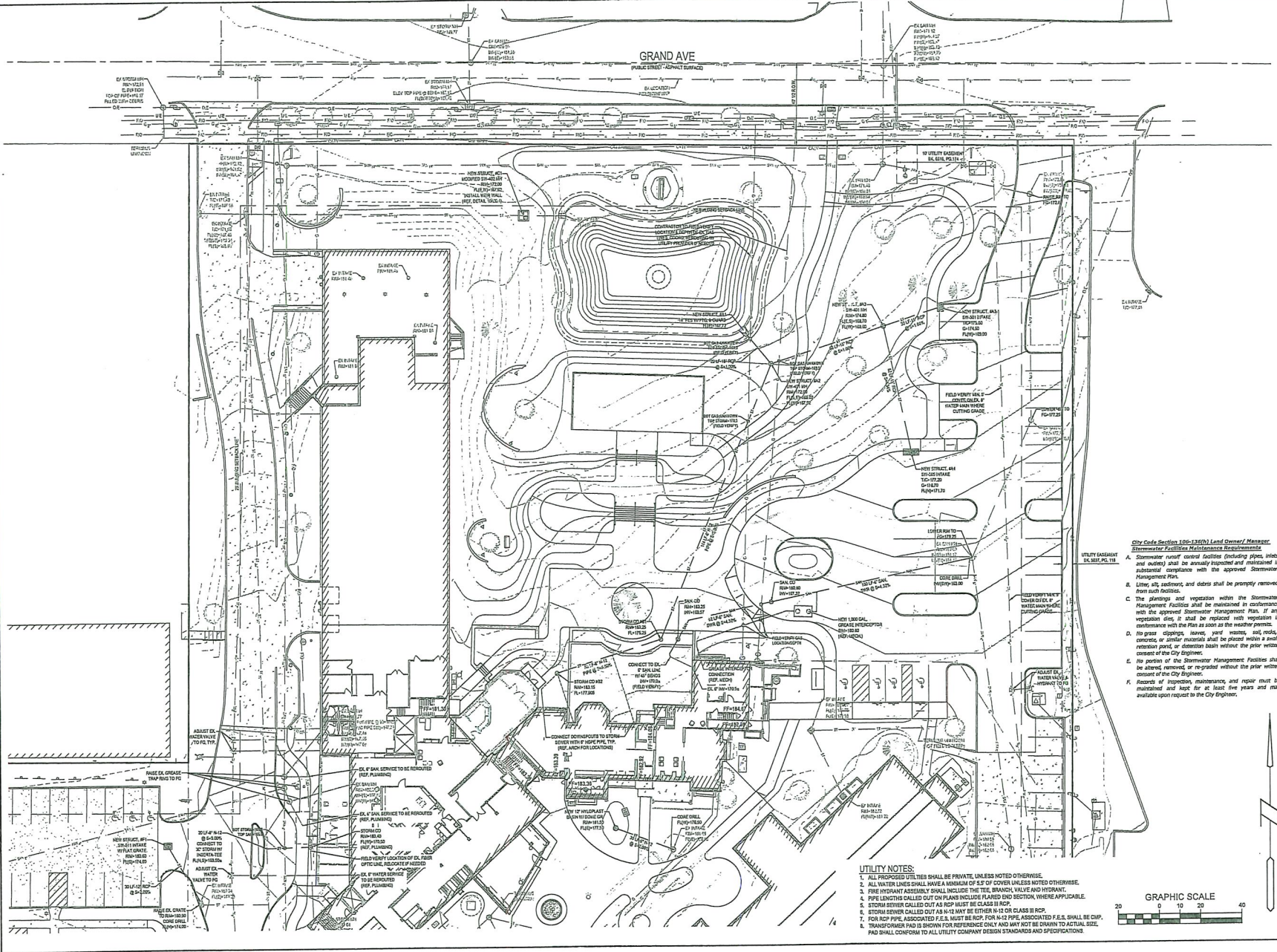
PROJECT NUMBER:

190388

SHEET NUMBER:

C3.3

4/25/2021 11:43:22 AM ALL AND PROJECTS WITHIN WESLEY UTILITY IMPROVEMENTS UTILITY DWS



- City Code Section 100-135(b) Land Owner/Manager Stormwater Facilities Maintenance Requirements**
- A. Stormwater runoff control facilities (including pipes, inlets, and outlets) shall be annually inspected and maintained in substantial compliance with the approved Stormwater Management Plan.
 - B. Litter, silt, sediment, and debris shall be promptly removed from such facilities.
 - C. The plantings and vegetation within the Stormwater Management Facilities shall be maintained in accordance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in accordance with the Plan as soon as the weather permits.
 - D. No grass clippings, leaves, yard wastes, soil, rocks, concrete, or similar materials shall be placed within a swale, retention pond, or detention basin without the prior written consent of the City Engineer.
 - E. No portion of the Stormwater Management Facilities shall be altered, removed, or re-graded without the prior written consent of the City Engineer.
 - F. Records of inspection, maintenance, and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.

- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 2' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS II RCP.
 6. STORM SEWER CALLED OUT AS 12" MAY BE EITHER 12" OR CLASS II RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR 12" PIPE, ASSOCIATED F.E.S. SHALL BE CIP.
 8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

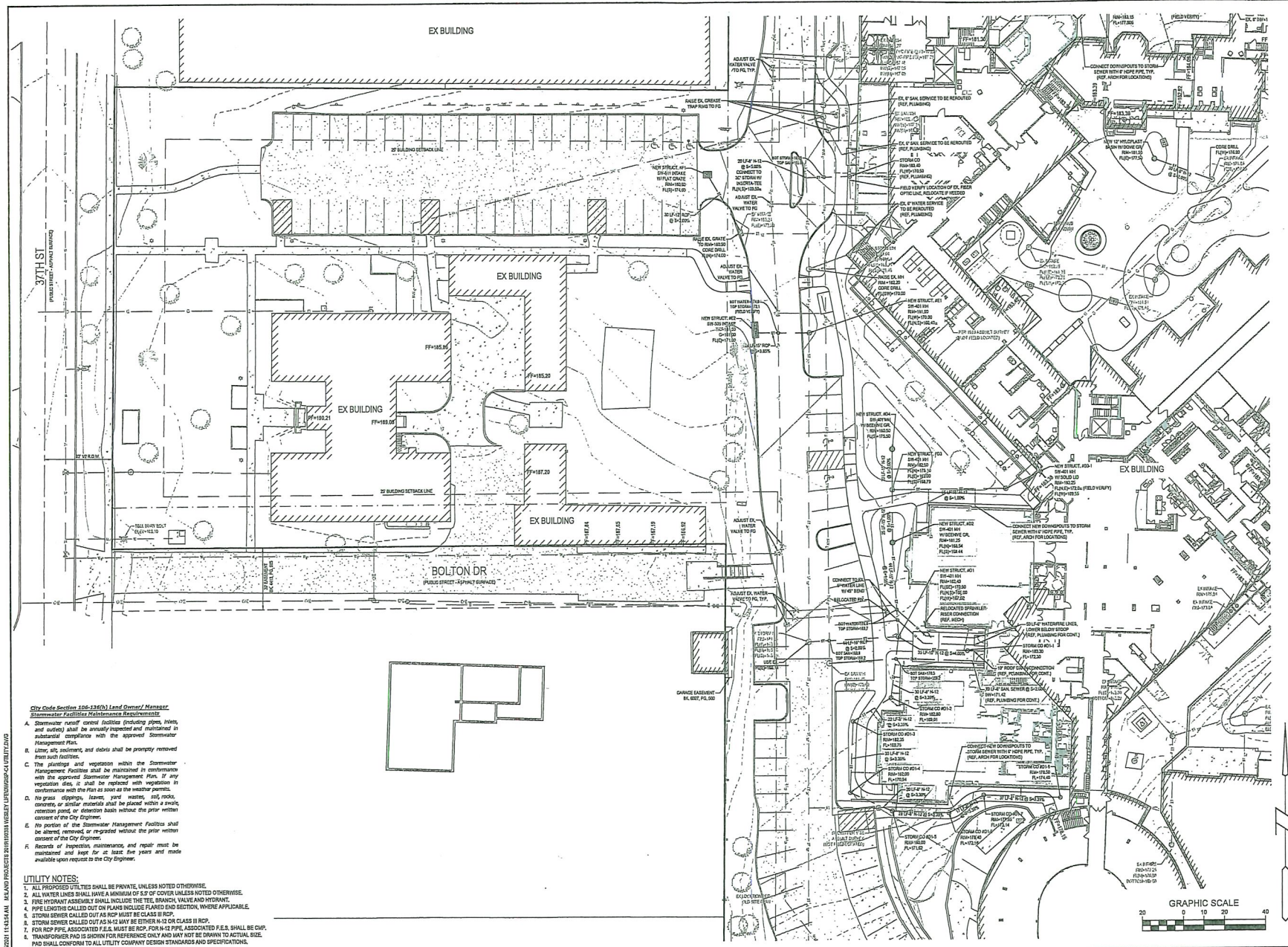
Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50325-3035
Phone: (515) 281-6497 Fax: (515) 281-6497
Civil Engineering & Land Surveying
Established 1959

**WESLEY ACRES
SITE IMPROVEMENT PLAN**

UTILITY PLAN

REFERENCE NUMBER:
DRAWN BY: EWM
CHECKED BY: DBB
REVISION DATE: 2020-12-04 DD SET 2020-12-23 CITY SUBMITTAL 2021-03-17 CITY SUBMITTAL 2021-03-31 1100K CD SET 2021-04-15 CITY P&Z
PROJECT NUMBER: 190388
SHEET NUMBER: C4.1



- City Code Section 106-124(1) Land Owner/ Manager
Stormwater Facilities Maintenance Requirements
- A. Stormwater runoff control facilities (including pipes, inlets, and outlets) shall be visually inspected and maintained in substantial compliance with the approved Stormwater Management Plan.
 - B. Litter, silt, sediment, and debris shall be promptly removed from such facilities.
 - C. The planting and vegetation within the Stormwater Management Facilities shall be maintained in conformance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the weather permits.
 - D. No grass, droppings, leaves, yard wastes, soil, rocks, concrete, or similar materials shall be placed within a storm retention pond, or detention basin without the prior written consent of the City Engineer.
 - E. No portion of the Stormwater Management Facilities shall be altered, removed, or regraded without the prior written consent of the City Engineer.
 - F. Records of inspection, maintenance, and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.
- UTILITY NOTES:
- 1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 - 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
 - 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 - 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 - 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS II RCP.
 - 6. STORM SEWER CALLED OUT AS 14\"/>

Bishop Engineering

Planning Your Successful Development

3501 104th Street

Des Moines, Iowa 50322-5825

Phone: (515) 281-4467 Fax: (515) 281-4217

Civil Engineering & Land Surveying

Established 1959

WESLEY ACRES

SITE IMPROVEMENT PLAN

UTILITY PLAN

REFERENCE NUMBER:

190388

DRAWN BY:

EWM

CHECKED BY:

CHB

REVISION DATE:

2020-12-04 CD SET

2020-12-23 CITY SUBMITTAL

2021-03-17 CITY SUBMITTAL

2021-03-31 100% CD SET

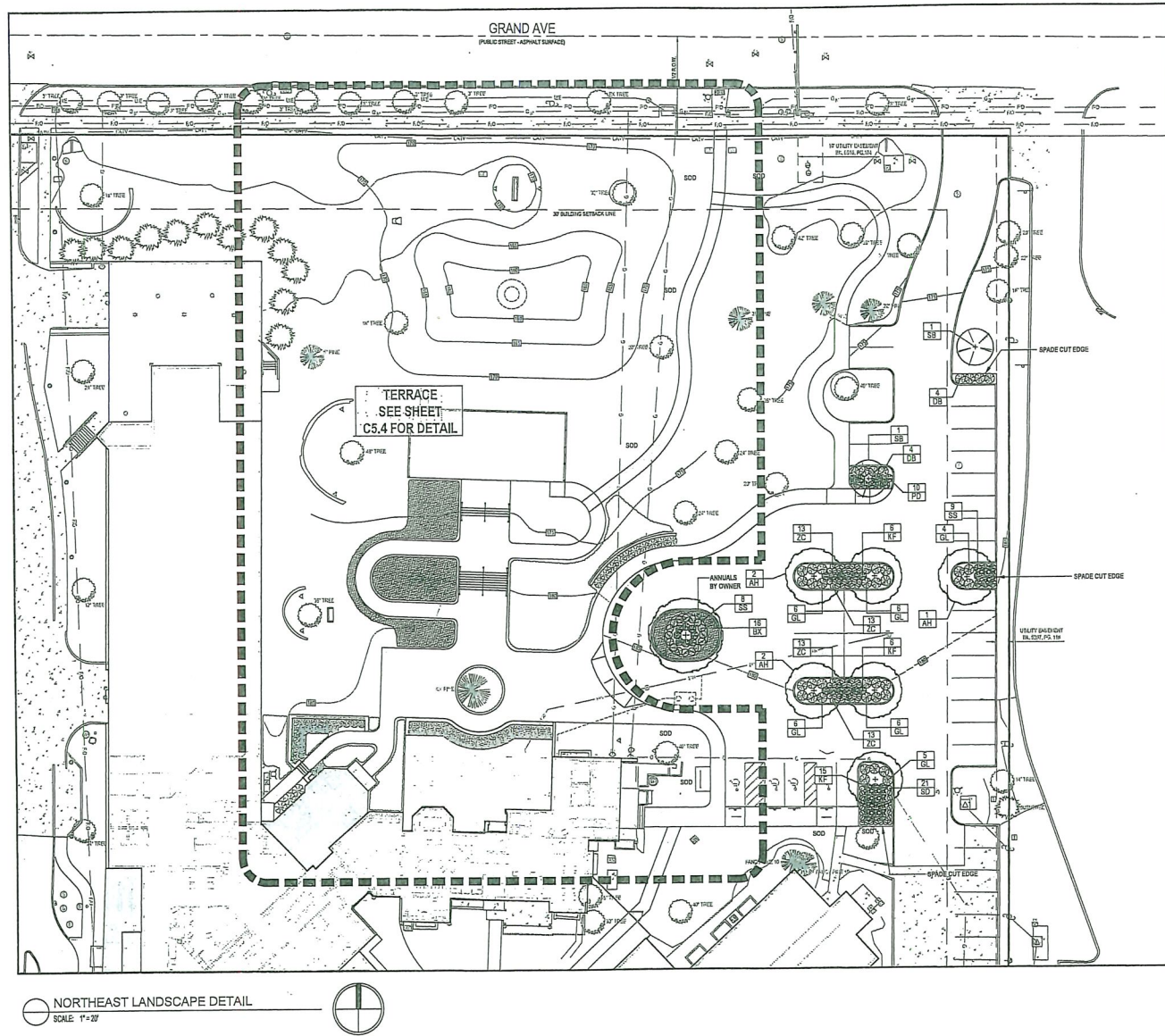
2021-04-15 CITY PAL

SHEET NUMBER:

C4.2

4/25/2021 11:45:44 AM PLANS AND PROJECTS DIVISION WESLEY ACRES UTILITY PLAN

4/10/2021 11:43:35 AM PLAND PROJECTS 201810031 WESLEY ACRES/CS LANDSCAPE.DWG



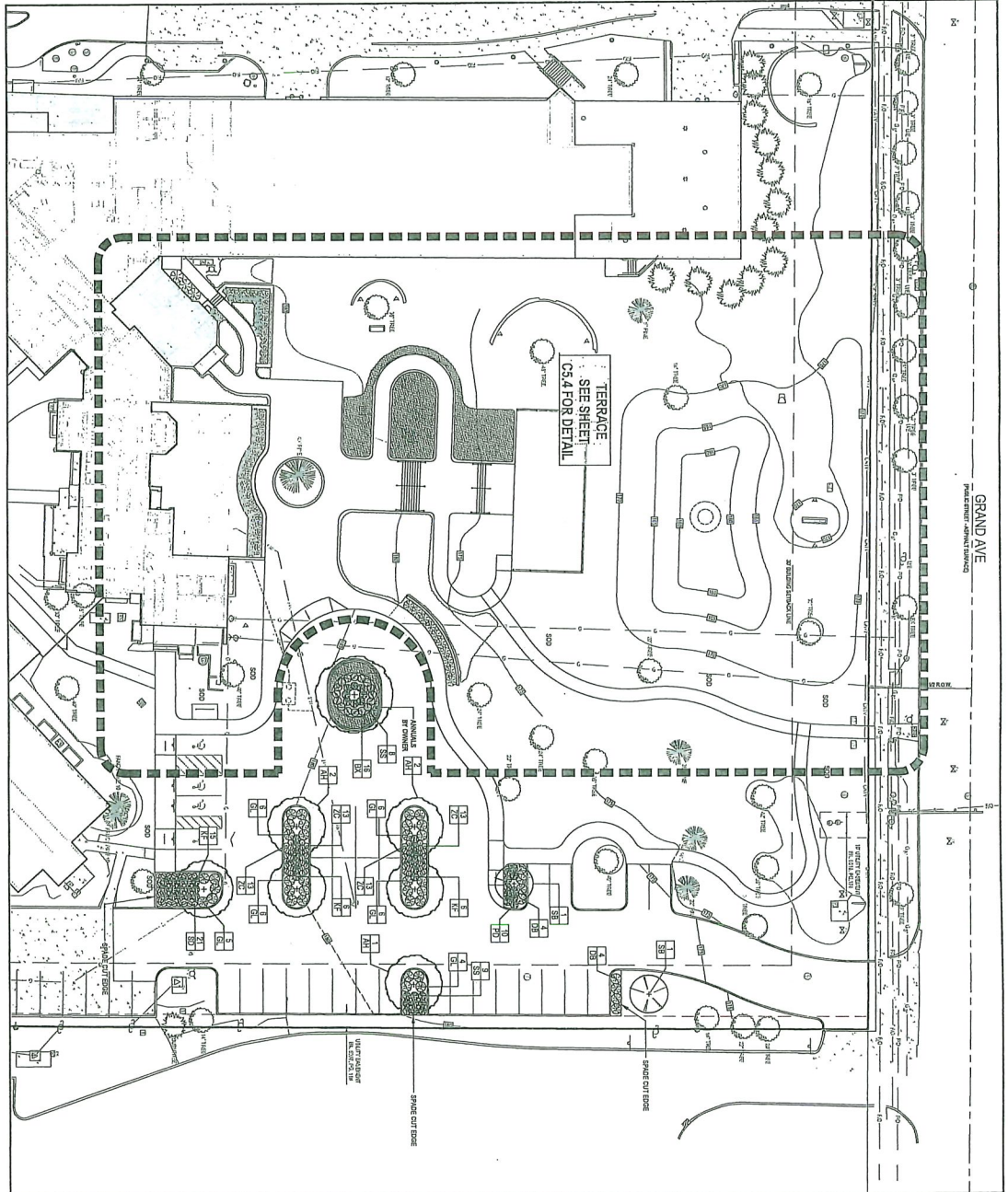
NORTHEAST LANDSCAPE DETAIL
SCALE: 1"=20'



WESLEY ACRES
SITE IMPROVEMENT PLAN
LANDSCAPE PLAN

REFERENCE MAPS:
DRAWN BY: EWM
CHECKED BY: DBS
REVISION DATE: 2020-12-04 CD SET 2020-12-23 CITY SUBMITTAL 2021-03-17 CITY SUBMITTAL 2021-03-31 100% CD SET 2021-04-15 CITY PAZ
PROJECT NUMBER: 190388
SHEET NUMBER: C5.2

○ NORTH-EAST LANDSCAPE DETAIL
SCALE 1"=20'



C5.2

190388

WESLEY ACRES

180208

CS-LANDSCAPE

6/15/2021

11:43:32 AM

M:\LAND PROJECTS\2018\180208 WESLEY LANE\DWG\CS-LANDSCAPE.DWG

WESLEY ACRES SITE IMPROVEMENT PLAN

LANDSCAPE PLAN



Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515) 276-0187 Fax: (515) 276-0217
Civil Engineering & Land Surveying Established 1959

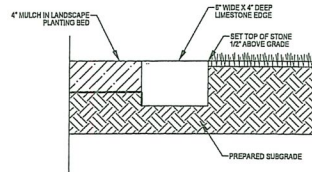
1. ALL SODDING & LANDSCAPE PLANTINGS WILL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SODDING SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION AND/OR EROSION.
3. STAKE SOD ON ALL SLOPES 1:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IN A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT IN PLACE UNTIL ACCEPTANCE BY CIVIL ENGINEER OR OWNER.
8. CONTRACTOR SHALL PLACE BARRIER HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND ORNAMENTAL CROUCHES TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING, STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN STAKES THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK ON PLANTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. CONTRACTOR SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
12. ALL EXISTING SLOPE SHALL BE SUBSTITUTED WITH THE FOLLOWING: SET TOP OF SLOPE 1:1 ABOVE ADJACENT FINISHED GRADE OF LARMS SEE DETAIL 105.1.
13. ALL GRANITE BOLDERS SHOWN ON PLAN SHALL BE IN THE FOLLOWING QUANTITIES: VARNED CLOSERS, 100/20, 100/40, 100/60, 100/80, 100/100 AND 42" SET APPROXIMATELY 1/10 OF BOLDER INTO FINISHED GRADE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE LEVELS OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
15. ALL SHRUBS AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
16. ALL BEDS TO RECEIVE PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.

CODE	DIAN	COLLISION NAME	LATIN NAME	COMMON TREE	SIZE	ROOT	NOTES
01	03	ALLENBERG HONEYCREEPER	CAROLUS CACULATUS	1.5' CAL	60"	MATCH SPECIES	
04	06	QUINCE	POPULUS TREDAIDES	17" HGT	60"	MATCH SPECIES	
05	01	REDWING LARSEN	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
06	01	REDWING LARSEN	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
10	03	WALT FOX	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
11	01	REDWING LARSEN	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
12	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
13	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
14	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
15	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
16	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
17	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
18	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
19	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
20	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
21	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
22	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
23	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
24	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
25	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
26	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
27	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
28	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
29	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
30	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
31	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
32	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
33	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
34	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
35	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
36	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
37	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
38	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
39	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
40	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
41	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
42	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
43	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
44	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
45	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
46	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
47	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
48	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
49	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
50	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
51	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
52	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
53	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
54	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
55	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
56	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
57	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
58	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
59	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
60	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
61	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
62	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
63	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
64	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
65	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
66	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
67	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
68	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
69	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
70	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
71	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
72	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
73	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
74	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
75	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
76	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
77	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
78	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
79	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
80	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
81	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
82	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
83	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
84	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
85	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
86	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
87	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
88	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
89	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
90	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
91	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
92	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
93	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
94	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
95	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
96	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
97	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
98	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
99	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	
100	03	FLY	QUERCUS ALBIDA	1.5' CAL	60"	MATCH SPECIES	

TOTAL PROPOSED OVERSTORY TREES	29
TOTAL PROPOSED UNDERSTORY TREES	19
TOTAL PROPOSED EVERGREEN TREES	34



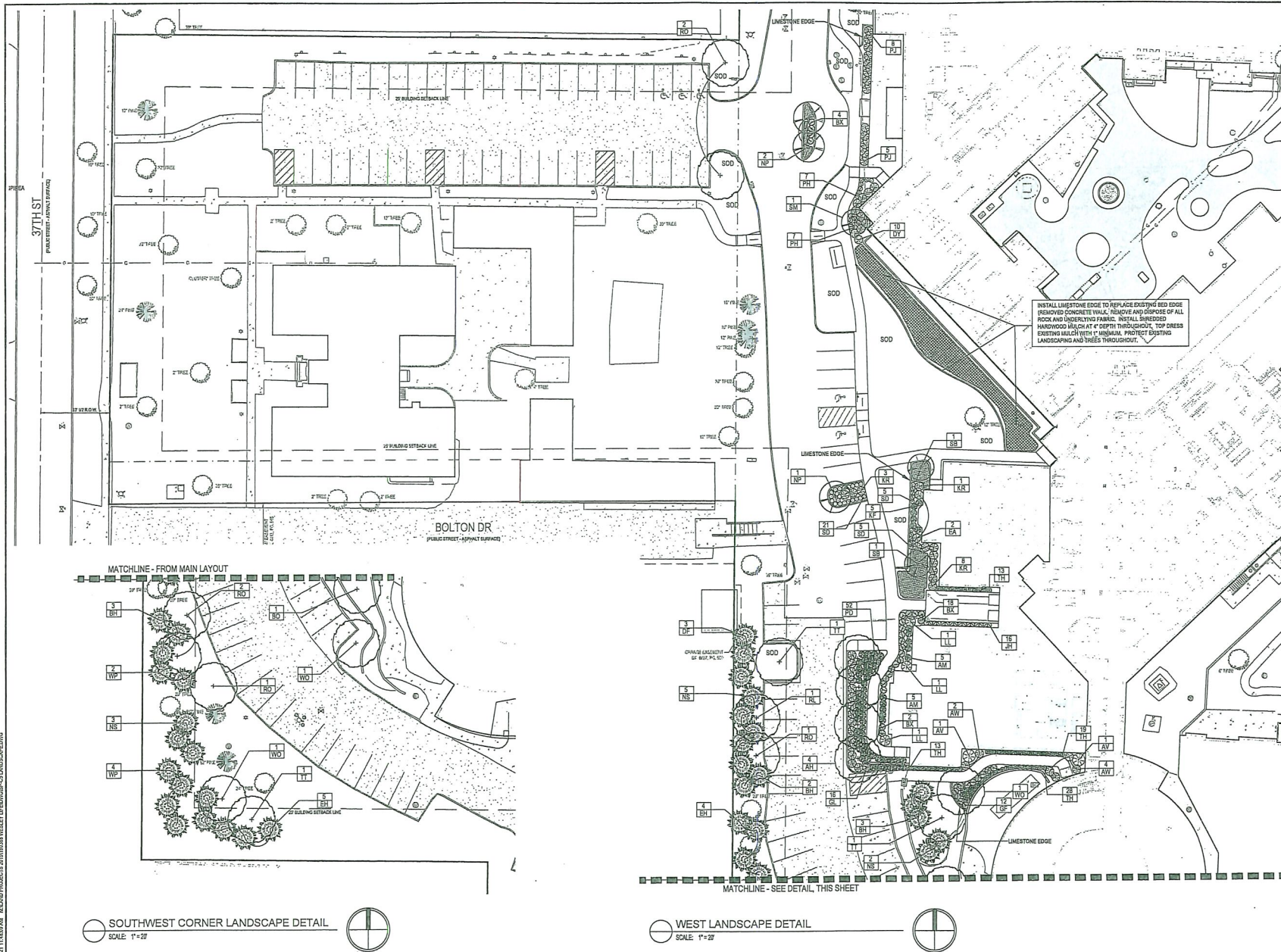
1. CONTACT THE CITY FORESTER (515-283-4106) BEFORE ANY TREE INSTALLATION COMMENCES.
2. ALL WIRE, TWINE, AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL OF STREET TREES PRIOR TO PLANTING.
3. NO STAKING OF TREES IS ALLOWED



1 MUNICIPAL TREE PLANTING DETAIL
C5.1 SCALE: NOT TO SCALE

3 LIMESTONE EDGING
C5.1 SCALE: NOT TO SCALE

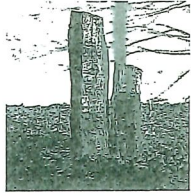
C5.1



Bishop Engineering
 "Training Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50325-3929
 Phone: 515.281.1111 Fax: 515.281.1112
 Civil Engineering & Land Surveying Established 1959

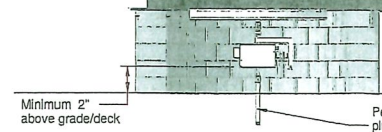
WESLEY ACRES
 SITE IMPROVEMENT PLAN
LANDSCAPE PLAN

REFERENCE NUMBER:	
DESIGN BY:	BVM
CHECKED BY:	DBB
REVISION DATE:	
2020-12-04	DD SET
2020-12-23	CITY SUBMITTAL
2021-03-17	CITY SUBMITTAL
2021-03-31	100% CD SET
2021-04-15	CITY PALZ
PROJECT NUMBER:	
190388	
SHEET NUMBER:	
C5.3	



PONDLESS FOUNTAIN:

- PONDLESS FOUNTAIN TO BE CONSTRUCTED AS DESIGNBUILT IN COORDINATION WITH OWNER'S REPRESENTATIVE. BASIS OF DESIGN.
- THREE DRILLED FOUNTAINS - GOLD CREEK BASALT COLUMNS BY CASCADE STONEWORKS HEIGHTS 9', 4.5' & 4'.
- SEVEN SOLID GOLD CREEK BASALT COLUMNS TO MATCH - HEIGHTS 9' (3), 4.5' (2), & 4' (2). ARRANGE ON SITES SHOWN IN ON DRAWING.
- COVER SCREEN ABOVE BASIN WITH 4" DEEP LAYER OF 2" NORMAL MEXICAN BEACH PEBBLES OR SIMILAR.
- CONTRACTOR TO SUPPLY SHOP DRAWING FOR PONDLESS FOUNTAIN CATCHBASIN, CIRCULATION PUMP, SCREENING, AND DRAIN.
- POND TO BE 16" DIAMETER, OPENING IN CONCRETE 14" DIAMETER. OWNER TO INSTALL ANNUALS BETWEEN WALK AND CATCHBASIN.
- SEE MECHANICAL FOR WATER SUPPLY LINE AND ELECTRICAL.

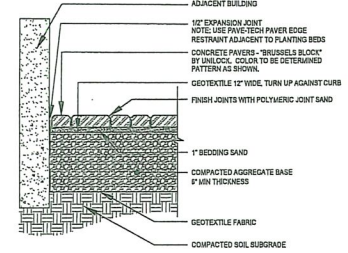


Minimum 2" above grade/deck

Permanent fuel supply plumbed by certified installer and inspected by local authority

NATURAL GAS FIRE PIT:

- NATURAL GAS FIRE PIT TO BE CONSTRUCTED AS DESIGNBUILT IN COORDINATION WITH OWNER'S REPRESENTATIVE. BASIS OF DESIGN.
- GAS FIREPLACE INSERT: HPC EL SERIES PENTA BURNER (#4) ITEM #M1810228 WITH 2 HOUR SHUT-OFF TIMER.
- SURROUND TO BE CONSTRUCTED OF BRUSSELS DIMENSIONAL WALL BLOCK BY UNILOCK. COLOR TO BE DETERMINED (MATCH PAVERS).
- SURROUND TOP TO BE CONCRETE.
- CONTRACTOR TO SUPPLY SHOP DRAWING FOR FIREPIT SURROUND STRUCTURE WITH CAPS, INSERT, AND GAS CONNECTION LOCATIONS.
- SEE MECHANICAL FOR GAS SUPPLY LINE AND ELECTRICAL SUPPLY.



NOTE: CONSULT IDPI TECH SPEC 2 FOR GUIDELINES ON SPECIFICATIONS FOR BASE MATERIALS, SUBGRADE SOIL AND BASE COMPACTION.

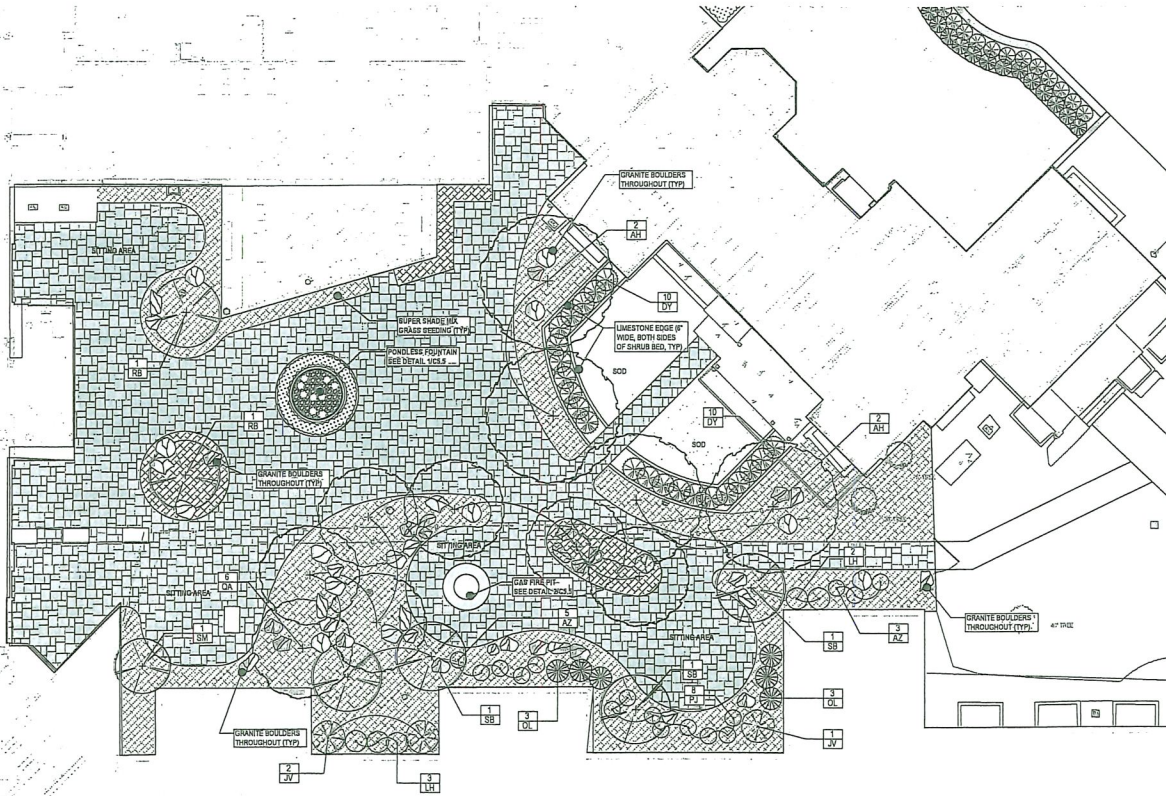
PAVERS OVER AGGREGATE BASE

SCALE: NOT TO SCALE

COURTYARD SEEDING

SEED: SEED TYPE TO BE "LOW GROW GRASS MIXTURE" SUPPLIED BY UNITED SEEDS (OR APPROVED EQUAL). INSTALL BY HAND AT A RATE OF 30 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE.

HYDRO MULCH: HYDRO MULCH ALL SEEDS AREAS. WOOD CELLULOSE HYDRAULIC MULCH WITH TRICLOPYR SHALL BE APPLIED AT A RATE OF 2,500 LBS PER ACRE.



INTERIOR COURTYARD DETAIL

SCALE: 1" = 10'

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50323-3805
Phone: (515) 281-4467 Fax: (515) 281-4477
Civil Engineering & Land Surveying
Established 1959

WESLEY ACRES
SITE IMPROVEMENT PLAN

COURTYARD DETAIL

REFERENCE NUMBER:

DRAWN BY:
EWM

CHECKED BY:
DBB

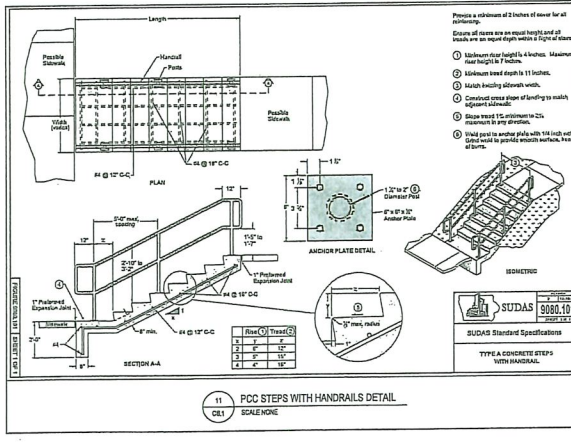
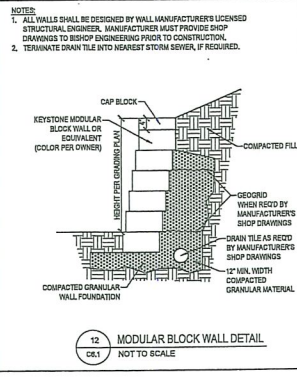
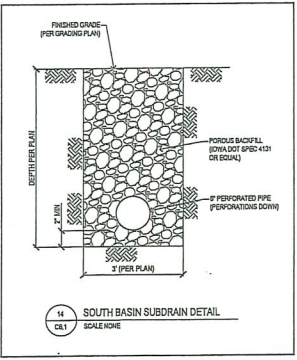
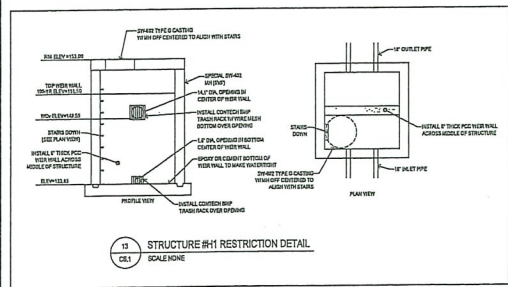
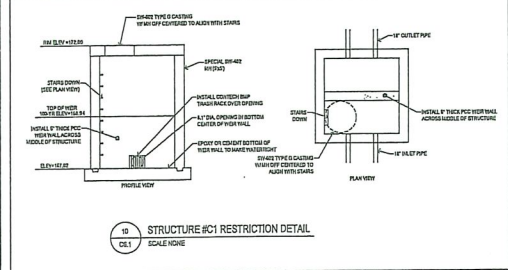
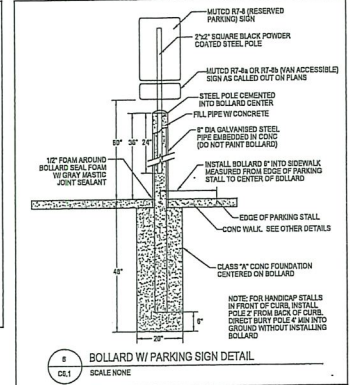
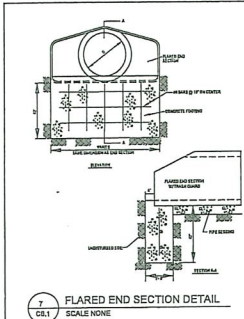
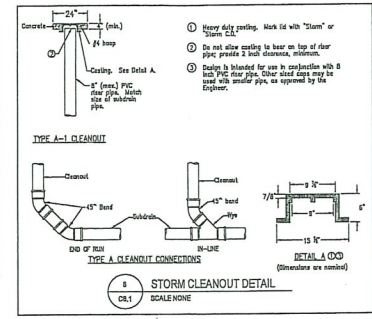
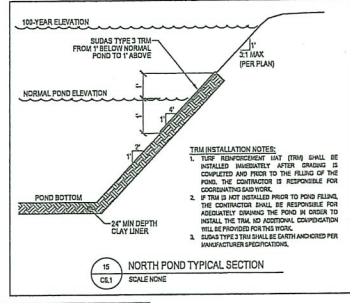
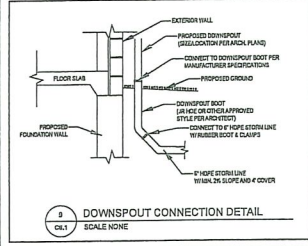
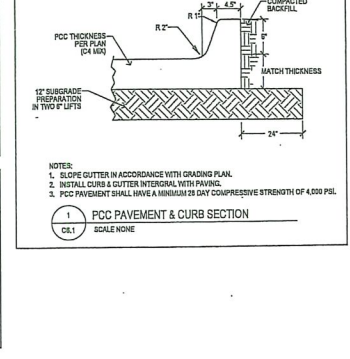
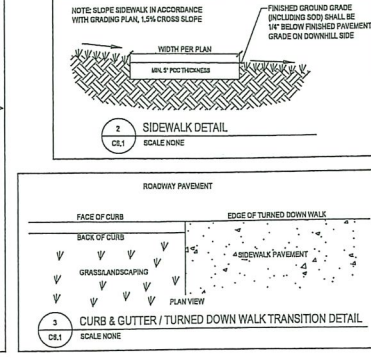
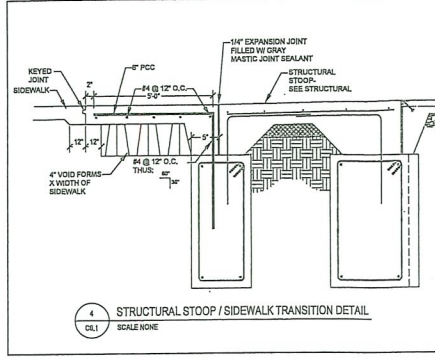
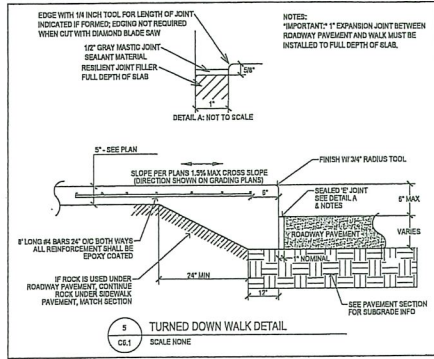
REVISION DATE:
2020-12-04 DD SET
2020-12-23 CITY SUBMITTAL
2021-03-17 CITY SUBMITTAL
2021-03-11 100% CD SET
2021-04-15 CITY PAZ

PROJECT NUMBER:

190388

SHEET NUMBER:

C5.5



3. SEE SUPPLEMENTAL DETAIL: STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL, MEASURES, ADDITIONAL DETAILS AND NOTES. EROSION CONTROL AND MEASURES SHALL BE INSTALLED PRIOR TO ANY INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
4. PROVIDE EROSION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION. NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES PERMIT NO. 8-10-01-0001.
5. PROVIDE EROSION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION. UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
6. INSTALL PERMISTED SILT FENCE AS SHOWN IN PLANS PRIOR TO CONSTRUCTION.
7. PROVIDE EROSION PROTECTION WITHIN 24 HOURS IMMEDIATELY AFTER STORM SEWER COMPLETION.
8. PROVIDE EROSION PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED.
9. OTHER EROSION CONTROL, TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE CURB, GUTTER AND LOCAL DRAINAGE.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROD FACTORIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL APPLICABLE LOCAL AND STATE REGULATIONS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TYPICAL, EROSION CONTROL MEASURES, TEMPORARY PROTECTION MEASURES ARE IN PLACE AND MAINTAINED THROUGHOUT CONSTRUCTION.
13. IF CONSTRUCTION ACTIVITY IS NOT PLANNED FOR AT LEAST 14 DAYS, ALL EXISTING AREAS SHALL BE STABILIZED IMMEDIATELY BY TEMPORARY EROSION CONTROL MEASURES. TEMPORARY PROTECTION MEASURES MAY INCLUDE APPLYING MULCH AND TACKING IT IN.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND MAINTENANCE.
15. THIS PROJECT INCLUDES SAWCUTTING OR CONCRETE GRINDING SO PROTECTION OF STORMS SEWERS AND DRAINAGE WAYS WILL NEED TO BE IN PLACE FOR ALL SAWCUTS FOR PROTECTION OF EXISTING STORMS SEWERS.





1. AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

TOPSOIL NOTES:


1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
2. RESPAED TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON FIVE AREAS, IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
3. TOPSOIL SHALL BE FREE OF ALL ROCKS AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUPPORTING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSIST CLAYS, LIMES, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4" IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 10.0 CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 10 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF MPDES GENERAL PERMIT NO. 2 ARE MET.

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

STIFF LEGEND:

-  SILT FENCE (TYP)
-  120 EXISTING CONTOUR
-  120 PROPOSED CONTOUR
-  STABILIZED ENTRANCE
20'x50'-0" DEEP, 2-3/4" GRAVEL DRIVE
W/ PROTECTIVE 1' INTERLAY

GRAPHIC SCALE



3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0211

SWPPP

2020-12-04 DD SET
2020-12-23 CITY SUBMITTAL
2021-03-17 CITY SUBMITTAL
2021-03-31 100% CD SET
2021-04-15 CITY P&Z

SHEET NUMBER:
C7.1

11/5/2021 11:51:12 AM MWLAND PROJECTS 2019\100311 WESLEY LIFEENGINESR-C7 SNRPP.DWG

11/5/2021 11:51:44 AM MILANO PROJECTS 2019/10/01 WESLEY LIFESAVING-07 SWPPP.DWG



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE
TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE
LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE
ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE
CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES
OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

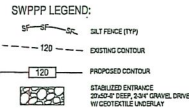
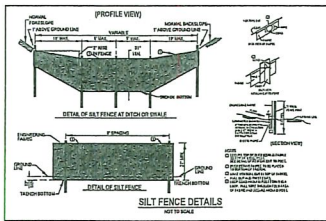
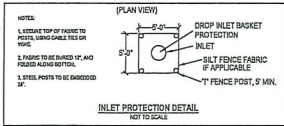
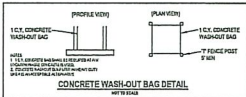
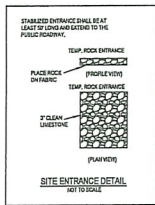
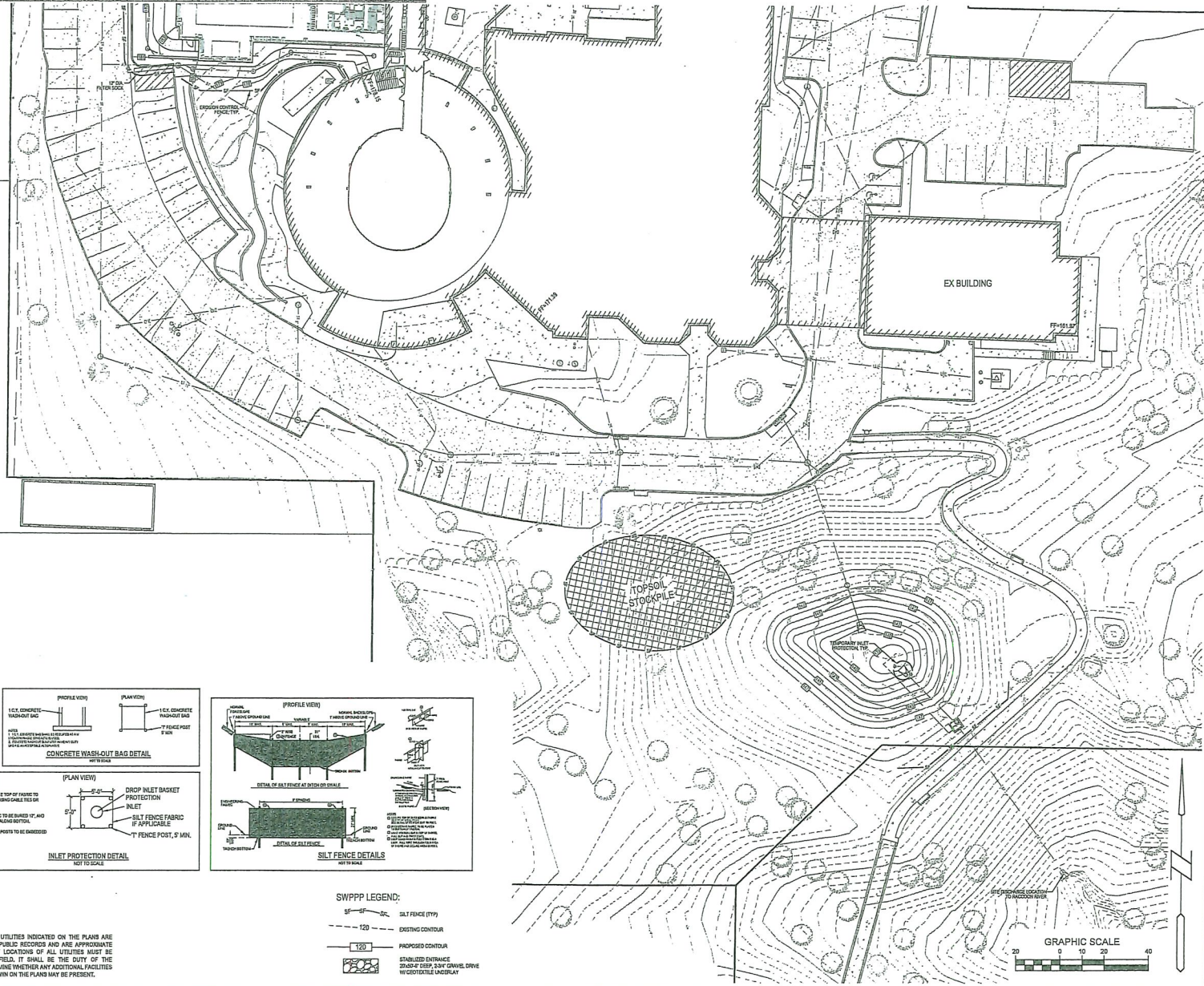
Bishop Engineering
"Planting Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3525
Phone: (515) 274-0467 Fax: (515) 274-0217
Civil Engineering & Land Surveying Established 1959

WESLEY ACRES
SITE IMPROVEMENT PLAN

SWPPP

REFERENCE NUMBER:
DESIGN BY:
EWM
CHECKED BY:
DDB
REVISION DATE:
2020-12-04 DD SED
2021-12-23 CITY SUBMITTAL
2021-03-17 CITY SUBMITTAL
2021-03-31 100% CD SET
2021-04-15 CITY P&Z
PROJECT NUMBER:
190388
SHEET NUMBER:
C7.2

STORM WATER POLLUTION PREVENTION PLAN

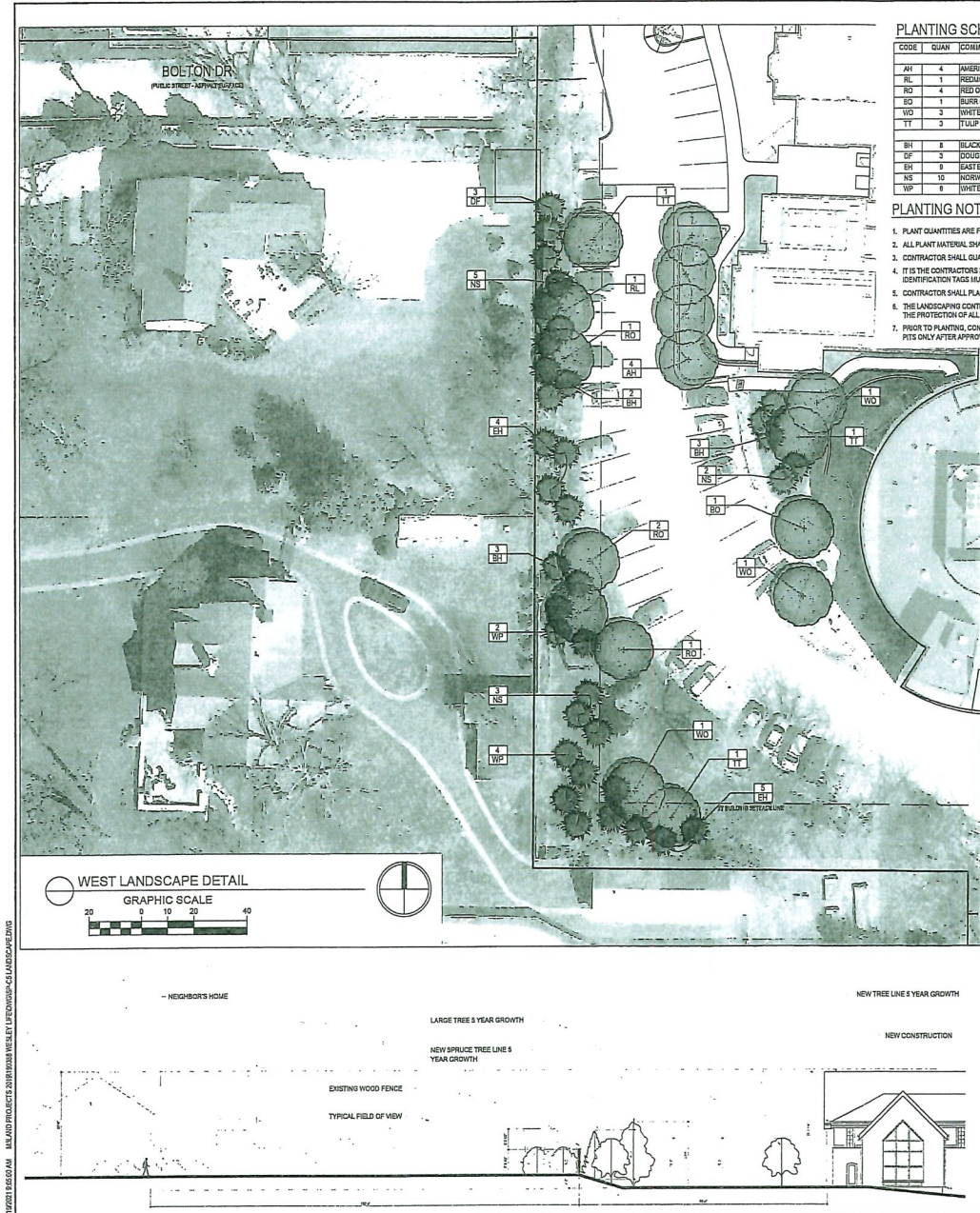


UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



WESLEY ACRES
SITE IMPROVEMENT PLAN
SWPPP

REFERENCE NUMBER:	
DRAWN BY:	EWM
CHECKED BY:	DSB
REVISION DATE:	2020-12-04 DO SET
	2020-12-23 CITY SUBMITTAL
	2021-03-17 CITY SUBMITTAL
	2021-03-31 100% CD SET
	2021-04-15 CITY P&Z
PROJECT NUMBER:	190388
SHEET NUMBER:	C7.3



PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	OVERSTORY TREES	SIZE	ROOT	NOTES
AH	4	AMERICAN HORSESHOE	CARPINUS CAROLINIANA		13'-4" CAL	B&B	MATCHED SPECIMENS
RL	1	REDWING LINDEN	TILIA AMERICANA REDWING		23'-4" CAL	B&B	MATCHED SPECIMENS
RO	4	RED OAK	QUERCUS RUBRA		23'-4" CAL	B&B	MATCHED SPECIMENS
BO	1	BUR OAK	QUERCUS MACROCARPA		23'-4" CAL	B&B	MATCHED SPECIMENS
WO	3	WHITE OAK	QUERCUS ALBA		23'-4" CAL	B&B	MATCHED SPECIMENS
TY	3	TULIP TREE	LIRIODENDRON TULIPIFERA		23'-4" CAL	B&B	MATCHED SPECIMENS
BH	8	BLACK HILLS SPRUCE	PICEA GLAUCA DESOTA		6'-10"	B&B	FULL FORM TO GROUND
DF	3	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		6'-10"	B&B	FULL FORM TO GROUND
EH	8	EASTERN HEMLOCK	TSUGA CANADENSIS		6'-10"	B&B	FULL FORM TO GROUND
NS	10	NORWAY SPRUCE	PICEA ABIES		6'-10"	B&B	FULL FORM TO GROUND
WP	6	WHITE PINE	PINUS STROBUS		6'-10"	B&B	FULL FORM TO GROUND

PLANTING NOTES:

1. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
2. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
3. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
5. CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH AROUND ALL TREES TO A DEPTH OF 4 INCHES.
6. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
7. PRIOR TO PLANTING, CONTRACTOR SHALL LOCATE ALL PROPOSED TREES LOCATIONS ON SITE FOR REVIEW AND APPROVAL BY THE OWNER, BEGIN DIGGING PLANTING PITS ONLY AFTER APPROVAL IS GIVEN FOR FINAL LOCATIONS.



AMERICAN HORSESHOE
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
30' TALL X 30' WIDE
±1" PER YEAR
ORANGE/RED



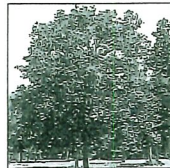
REDWING LINDEN
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
60' TALL X 40' WIDE
±1" PER YEAR
YELLOW



TULIP TREE
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
60' TALL X 60' WIDE
±1" PER YEAR
YELLOW



BUR OAK
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
60' TALL X 70' WIDE
±3" PER YEAR
BROWN/ORANGE



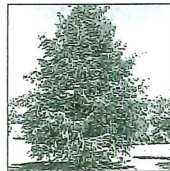
WHITE OAK
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
50' TALL X 30' WIDE
±1" PER YEAR
BROWN/ORANGE



NORWAY SPRUCE
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
50' TALL X 20' WIDE
±1" PER YEAR
EVERGREEN



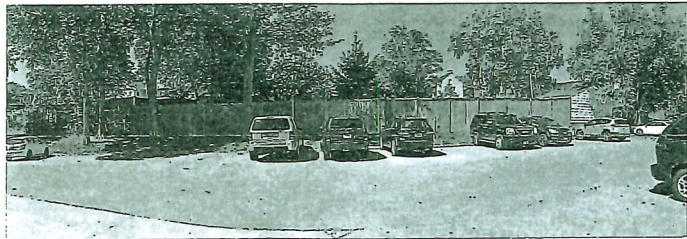
BLACK HILLS SPRUCE
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
40' TALL X 15' WIDE
±3" PER YEAR
EVERGREEN



EASTERN HEMLOCK
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
50' TALL X 30' WIDE
±1" PER YEAR
EVERGREEN



WHITE PINE
MATURE SIZE
GROWTH RATE AVERAGE
FALL COLOR
60' TALL X 30' WIDE
±3" PER YEAR
EVERGREEN



Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone (515) 284-4447 Fax (515) 284-4217
Civil Engineering & Land Surveying Established 1959

WESLEY ACRES
SITE IMPROVEMENT PLAN

WEST LANDSCAPE

REFERENCE NUMBER:

DRAWN BY:
DMM

CHECKED BY:
DDB

REVISION DATE:
2020-12-04 DD SET
2020-12-03 CITY SUBMITTAL
2021-02-19 PROGRESS

PROJECT NUMBER:
190388

SHEET NUMBER:

1 OF 1

Architectural elevation drawing of the proposed main building. The drawing shows a two-story structure with a gabled roof. Key features and labels include:

- Materials:** FACE BRICK, ASPHALT SHINGLES, COMPOSITE PANEL, STUCCO & TRIM, VISION GLAZING, VISION GLAZING, TYP., and STUCCO & TRIM.
- Structural Features:** STANDING BEAM ROOF, 14'-0" (height), 14'-0" (width), and 14'-0" (width).
- Windows:** VISION GLAZING, VISION GLAZING, TYP., and a large multi-paned window.
- Other Labels:** STUCCO W/ TRIM, COMPOSITE PANEL, and FIRST LEVEL 100'-0" (width).
- Dimensions:** A vertical dimension line on the right indicates a MAXIMUM HEIGHT of 30'-0".

Architectural elevation drawing of a house. The drawing includes the following labels:

- ASPHALT SHINGLE
- STANDING SEAM ROOF
- VISION GLAZING
- STUCCO & TRIM
- COMPOSITE PANEL
- FACE BRICK
- FIRST LEVEL 100'-0"

Architectural elevation drawing of a house. Labels include: ASPHALT SHINGLE, STANDING SEAM ROOF, STUCCO & TRIM, FIRST LEVEL, VISION GLAZING, COMPOSITE PANEL, FACE BRICK.

ASPHALT ROOFING

STUCCO & TRIM

VISION GLAZING, TYP.


COMPOSITE PANEL

STUCCO & TRIM

FACE BRICK

FIRST LEVEL

Architectural elevation drawing of the first floor of a building. The drawing shows a gabled roof with asphalt roofing. The exterior walls are composed of face brick and stucco with trim. The central entrance features a large vision glazing unit with a composite panel. To the right, there are several smaller vision glazing units. The drawing is labeled with 'FIRST LEVEL' and a north arrow.



POPE
ARCHITECTS

POPE ARCHITECTS
1295 BANDANA BLVD N, SUITE 200
ST. PAUL, MN 55108-2735
(651) 642-9200 | FAX (651) 642-1101
www.popearch.com

WesleyLife

WESLEYLIFE
WESLEY ACRES
ADDITIONS AND
RENOVATION
DES MOINES, IA

EXTERIOR ELEVATIONS

Line 1: _____

Line 2: _____

Line 3: _____

Line 4: _____

Line 5: _____

Line 6: _____

Line 7: _____

Line 8: _____

Line 9: _____

Line 10: _____

Line 11: _____

Line 12: _____

Line 13: _____

Line 14: _____

Line 15: _____

Line 16: _____

Line 17: _____

Line 18: _____

Line 19: _____

Line 20: _____

Line 21: _____

Line 22: _____

Line 23: _____

Line 24: _____

Line 25: _____

Line 26: _____

Line 27: _____

Line 28: _____

Line 29: _____

Line 30: _____

Line 31: _____

Line 32: _____

Line 33: _____

Line 34: _____

Line 35: _____

Line 36: _____

Line 37: _____

Line 38: _____

Line 39: _____

Line 40: _____

Line 41: _____

Line 42: _____

Line 43: _____

Line 44: _____

Line 45: _____

Line 46: _____

Line 47: _____

Line 48: _____

Line 49: _____

Line 50: _____

Line 51: _____

Line 52: _____

Line 53: _____

Line 54: _____

Line 55: _____

Line 56: _____

Line 57: _____

Line 58: _____

Line 59: _____

Line 60: _____

Line 61: _____

Line 62: _____

Line 63: _____

Line 64: _____

Line 65: _____

Line 66: _____

Line 67: _____

Line 68: _____

Line 69: _____

Line 70: _____

Line 71: _____

Line 72: _____

Line 73: _____

Line 74: _____

Line 75: _____

Line 76: _____

Line 77: _____

Line 78: _____

Line 79: _____

Line 80: _____

Line 81: _____

Line 82: _____

Line 83: _____

Line 84: _____

Line 85: _____

Line 86: _____

Line 87: _____

Line 88: _____

Line 89: _____

Line 90: _____

Line 91: _____

Line 92: _____

Line 93: _____

Line 94: _____

Line 95: _____

Line 96: _____

Line 97: _____

Line 98: _____

Line 99: _____

Line 100: _____

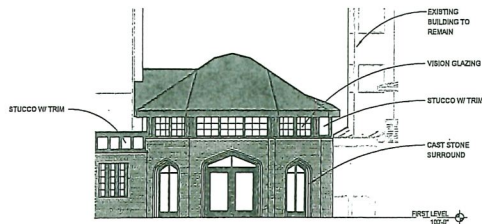
Drawing No: 82748-20092
 Date: CRT
 Drawn by: CS, DR
 SHEET

A1

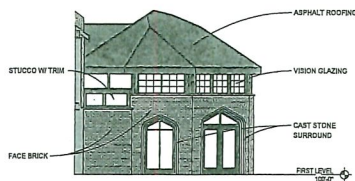
MAIN & STAFF ENTRANCE EXTERIOR MATERIAL BREAKDOWN	
MATERIAL	PERCENTAGE
FACE BRICK	53%
STUCCO & TRIM	25%
COMPOSITE PANEL	0%
VISION GLAZING	16%
STANDING SEAM ROOF	5%
ASPHALT SHINGLES	5%

1) ALL STUCCO SHOWN ON THE BUILDING ELEVATIONS SHALL MEET THE STANDARDS NECESSARY TO BE CONSIDERED "MAJOR FACADE MATERIAL" AS CONTAINED IN CITY CODE CHAPTER 135.

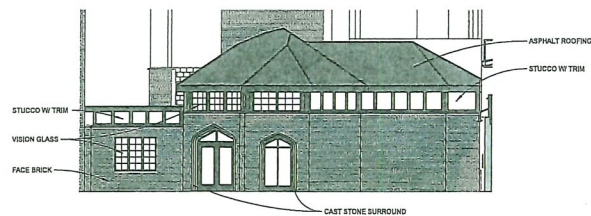
2) ALL BRICK SHOWN ON THE BUILDING ELEVATIONS SHALL BE FULL-DIMENSIONAL BRICK AND NOT THIN BRICK.



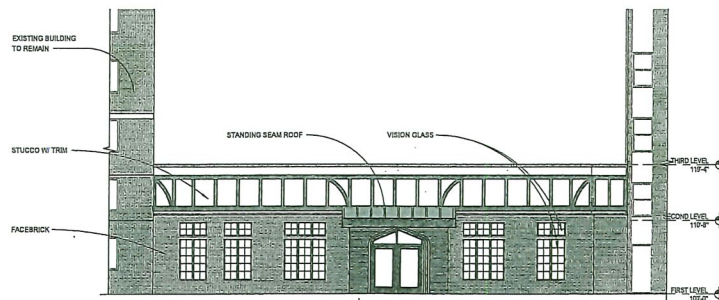
2 NE ELEVATION - MAIN ENTRANCE
1/8" = 1'-0"



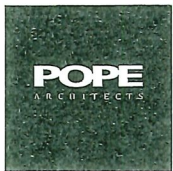
3 EAST ELEVATION - MAIN ENTRANCE
1/8" = 1'-0"



4 NORTH ELEVATION - MAIN ENTRANCE
1/8" = 1'-0"



1 WEST ELEVATION - STAFF ENTRANCE
1/8" = 1'-0"



POPE ARCHITECTS
1295 BANDANA BLVD N, SUITE 200
ST. PAUL, MN 55108-2735
(651) 642-9200 | FAX (651) 642-1101
www.popearch.com



WESLEYLIFE
WESLEY ACRES
ADDITIONS AND
RENOVATION
DES MOINES, IA

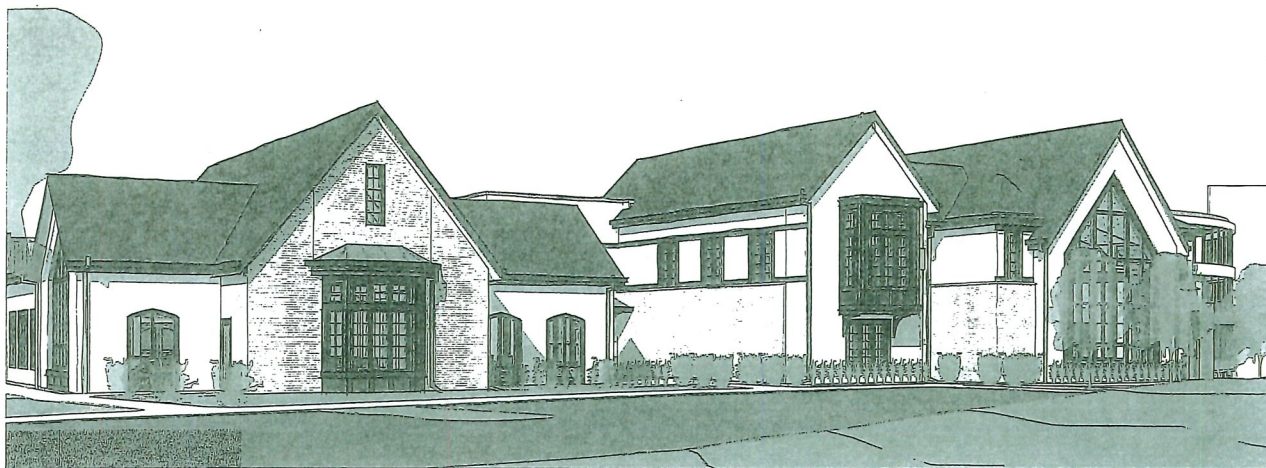
EXTERIOR ELEVATIONS

Revised: 10/10/10

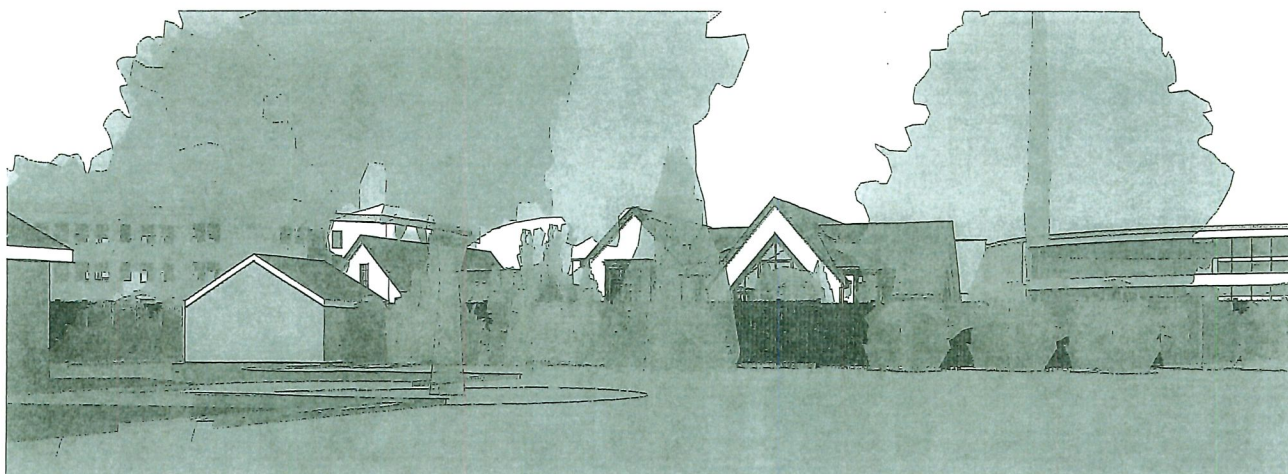
Project No.	82748-20092
Author	
Checker	

SHEET

A1-A



1
A2 AUDITORIUM & WELLNESS NW PERSPECTIVE



2
A2 WELLNESS WEST PERSPECTIVE

POPE
ARCHITECTS

POPE ARCHITECTS
1295 BANGANA BLVD N, SUITE 200
ST. PAUL, MN 55108-2735
(651) 642-9000 | FAX (651) 642-3303
www.popearch.com

WesleyLife

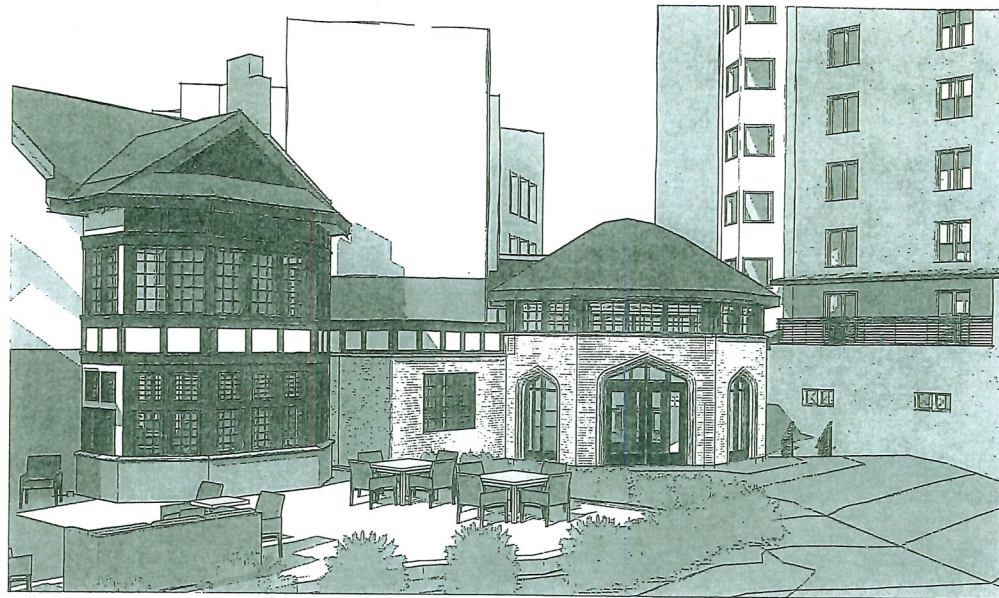
WESLEYLIFE
WESLEY ACRES
ADDITIONS AND
RENOVATION
DES MOINES, IA

EXTERIOR
PERSPECTIVES

1	2	3	4	5	6	7	8	9	10

Project #: 82748-20092
Arch: CRT
Design: CS, DR
SHEET

A2



1 MAIN ENTRANCE BY CHAMBERLAIN
A2.A



2 WEST ENTRANCE
A2.A

POPE
ARCHITECTS

POPE ARCHITECTS
3285 BANDANA BLVD N, SUITE 200
ST. PAUL, MN 55108-0735
(651) 642-9200 FAX (651) 642-1101
www.popearch.com

WesleyLife

WESLEYLIFE
WESLEY ACRES
ADDITIONS AND
RENOVATION
DES MOINES, IA

EXTERIOR
PERSPECTIVES

Artist's Name	

Project #: 82748-20092
Date: CRT
Sheet #: CS, DR

SHEET:
A2.A