



Roll Call Number

Agenda Item Number

20

Date June 14, 2021

RECEIVE AND FILE COMMUNICATION FROM THE PLAN AND ZONING COMMISSION REGARDING APPROVAL OF PRELIMINARY PLAT "MONONA TOWNHOMES" FOR PROPERTY LOCATED AT 524 INDIANOLA ROAD AND 711-713 MONONA AVENUE

WHEREAS, on June 14, 2021, the City of Des Moines Plan and Zoning Commission voted 10-0 to APPROVE a request from DUUNTO LLC (owner), represented by Adam Sieren (officer) and Ryan Andreini (owner), for approval of the Preliminary Plat "Monona Townhomes" on 0.84 acre of property located at 524 Indianola Road and 711-713 Monona Avenue, to allow development of 3 residential Row buildings, each containing 6 units for a total of 18 household units, and an outlot to be owned by a homeowner's association, subject to compliance with all administrative review comments from the City's Permit and Development Center; and

WHEREAS, the final subdivision plat will be submitted for City Council approval when completed.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, that the attached communication from the City Plan and Zoning Commission is hereby received and filed.

MOVED BY _____ to receive and file.

FORM APPROVED:

/s/ Glenna K. Frank
Glenna K. Frank, Assistant City Attorney

(13-2021-1.40)

Table with 5 columns: COUNCIL ACTION, YEAS, NAYS, PASS, ABSENT. Rows include COWNIE, BOESEN, GATTO, GRAY, MANDELBAUM, VOSS, WESTERGAARD, TOTAL. Includes MOTION CARRIED and APPROVED status, and Mayor signature line.

CERTIFICATE
I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.
City Clerk



June 8, 2021

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their June 3, 2021 meeting, the following action was taken regarding a request from DUUNTO LLC (owner) represented by Adam Sieren (officer) and Ryan Andreini (owner) for the following items regarding property at 524 Indianola Road, 711 Monona Avenue, and 713 Monona Avenue to be readdressed 550 Indianola Road:

- A) Review and approval of a Preliminary Plat "Monona Townhomes" for subdivision of 0.84 acres of property into 18 Row Type Building lots and an Outlot/
- B) Review and approval of a Public Hearing Site Plan "Monona Townhomes" for the following Type 2 Design Alternatives in accordance with Chapter 135 Sections 135-9.2.4(B) and 135-9.3.1(B) to allow construction of an 18-unit Household Living development with three Row Type buildings in the "RX1" Mixed Use District and "NX1" Neighborhood Mix District:
 - 1) Allow a 39.69-foot front setback along Indianola Road that is 14.69 feet over the front build-to-zone which is between 12 and 25 feet for the "RX1" Mixed Use District per Section 135-2.12.3(A)(4).
 - 2) Allow a 10-foot street-side setback from Monona Avenue for the southern and middle Row Type buildings which is 17 feet less than the required street-side build-to-zone within 5 of the 32-foot front setback averaging for the "NX1" Neighborhood Mix District per Section 135-2.12.3(A)(5).
 - 3) Allow a 43-foot street-side setback from Monona Avenue for the northern Row Type building which is 28 feet over the street-side build-to-zone which is 10 to 15 feet per for the "RX1" Mixed Use District per Section 135-2.12.3(A)(5).
 - 4) Allow a 7-foot setback from the south rear property line which is 23 feet less than the minimum required 30-foot rear setback per Section 135-2.12.3(A)(7).
 - 5) Allow garages to be located on the front façades where the allowed garage entrance location is the rear or side façade only per Section 135-2.12.3(A)(11).

- 6) Waive the required minimum 20' depth of occupied space on all full floors of the front façade required per Section 135-2.12.3(C)(17).
- 7) Allow parking in front portion of the building where parking within the principal building is only permitted fully in any basement and rear of all other stories behind required occupied space per Section 135-2.12.3(C)(18).
- 8) Reduce the required minimum transparency per each full story to 0% where a minimum 15% is required per Section 135-2.12.3 (D)(19).
- 9) Allow EIFS as a major material on the 2nd and 3rd stories of the east and north façades and on the 2nd story of the south and west facades where allowed as a minor material only on 3rd story or higher of non-street facades with a maximum amount of 40% on any façade per Table 135-4.1-5. (Denied Type 1)
- 10) Waiver of undergrounding the existing overhead utility lines required per Section 135-9.2.1(E) and of providing galvanized metal street light pole and matching fixtures in the adjoining street rights-of-way.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 10-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles				X
Abby Chungath	X			
Kayla Berkson				X
Jann Freed				X
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones				X
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of Part A) **Approval** of the Preliminary Plat “Monona Townhomes” for subdivision of 0.84 acres of property into 18 Row Type Building lots and an Outlot, subject to compliance with all administrative review comments from the City’s Permit & Development Center.

Part B) **Denial** of the requested Type 2 Design Alternatives for items 8, 9 and 10.

Approval of an amended Type 2 Design Alternative request to waive the undergrounding of existing overhead utility lines, and provision of a galvanized metal street light pole and matching fixture along Monona Avenue; **approval** of the requested Type 2 Design

Alternatives for items 1-7; and approval of the Public Hearing Site Plan, all subject to the following conditions:

1. Provision of landscaping along the street-side of the frontage buffer fence to the satisfaction of the Planning and Urban Design Administrator.
2. Provision of a sidewalk connection from the buildings to the public sidewalk along Indianola Road to the satisfaction of the Planning and Urban Design Administrator.
3. Provision of door openings that front Monona Avenue that include transparency and an entry feature such as a canopy to match the doors facing north.
4. Revision of the site plan and building elevations to comply with all administrative review comments.
5. Additional plantings along the East alley way be provided to the satisfaction of the planning administrator. (13-2021-1.40 & 10-2021-7.93)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Part A) Staff recommends approval of the Preliminary Plat "Monona Townhomes" for subdivision of 0.84 acres of property into 18 Row Type Building lots and an Outlot, subject to compliance with all administrative review comments from the City's Permit & Development Center.

Part B) Staff recommends denial of the requested Type 2 Design Alternatives for items 8, 9 and 10.

Staff recommends approval of an amended Type 2 Design Alternative request to waive the undergrounding of existing overhead utility lines, and provision of a galvanized metal street light pole and matching fixture along Monona Avenue; approval of the requested Type 2 Design Alternatives for items 1-7; and approval of the Public Hearing Site Plan, all subject to the following conditions:

1. Provision of landscaping along the street-side of the frontage buffer fence to the satisfaction of the Planning and Urban Design Administrator.
2. Provision of a sidewalk connection from the buildings to the public sidewalk along Indianola Road to the satisfaction of the Planning and Urban Design Administrator.
3. Provision of door openings that front Monona Avenue that include transparency and an entry feature such as a canopy to match the doors facing north.
4. Revision of the site plan and building elevations to comply with all administrative review comments.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to construct three (3) rowhouse buildings, each with six (6) units, for a total of 18 units. Each unit is proposed to be platted onto a single lot with the remainder area proposed as an outlot to be owned by a homeowner's association. Driveway accesses would be provided off Monona Avenue with connections to the alley for the two northern driveways. Design alternative review criteria can be found in Section I, subparagraph 10 of this report. Staff analysis of the proposal can be found in Section II of the report.

2. **Size of Site:** 36,623 square feet (0.84 acres).

3. **Existing Zoning (site):** "RX1" Mixed-Use District and "NX1" Neighborhood Mix District.

4. **Existing Land Use (site):** The property contains three one household dwellings.

5. **Adjacent Land Use and Zoning:**

North – "I1"; Uses are vacant land along the trail and riverfront.

South – "NX1"; Uses are multiple household dwellings.

East – "RX1"; Uses are eating and drinking places.

West – "NX1"; Uses are one household dwellings.

6. **General Neighborhood/Area Land Uses:** The subject property is located on the south side of Indianola Road to the east of Monona Avenue. The surrounding area contains a mix of one household dwellings, multiple household dwellings, and commercial eating and drinking places.

7. **Applicable Recognized Neighborhood(s):** The subject property is in the Indianola Hills Neighborhood. The neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on May 14, 2021 and by mailing of the Final Agenda on May 28, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on May 24, 2021 (10 days prior to the public hearing) to the Indianola Hills Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Indianola Hills Neighborhood Association mailings were sent to Lori Calhoun, 2808 Cottage Grove Avenue, Des Moines, IA 50311.

8. **Relevant Zoning History:** None.

9. **PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:**
Neighborhood Mixed Use and Low Density Residential

10. Applicable Regulations: Pursuant to Section 135-9.1.1.B of the Planning and Design Ordinance, the site plan review requirements of Chapter 135 are designed to ensure the orderly and harmonious development of property in a manner that shall:

- Promote the most beneficial relation between present and proposed future uses of land and the present and proposed future circulation of traffic throughout the city;
- Permit present development of property commensurate with fair and orderly planning for future development of other properties in the various areas of the city with respect to the availability and capacity, present and foreseeable, of public facilities and services. The factors to be considered in arriving at a conclusion concerning proposed present development of property shall include the following:
 - The maximum population density for the proposed development, the proposed density of use, and consideration of the effect the proposal will have on the capacity of existing water and sanitary sewer lines to the end that existing systems will not become overloaded or capacity so substantially decreased that site use will inhibit or preclude planned future development;
 - Zoning restrictions at the time of the proposal;
- The city's comprehensive plan;
- The city's plans for future construction and provision for public facilities and services; and
- The facilities and services already available to the area which will be affected by the proposed site use;
- Encourage adequate provision for surface and subsurface drainage, in order to ensure that future development and other properties in various areas of the city will not be adversely affected;
- Provide suitable screening of parking, truck loading, refuse and recycling disposal, and outdoor storage areas from adjacent residential districts;
- Encourage the preservation of canopied areas and mature trees and require mitigation for the removal of trees; and
- Consider the smart planning principles set forth in Iowa Code Chapter 18B.

Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

- The design alternative provisions of Section 135-9.2.4 are intended to authorize the granting of relief from strict compliance with the regulations of this chapter as part of the site plan or alternate design documentation review process when specific site features or characteristics of the subject property, including the presence of existing buildings, creates conditions that make strict compliance with applicable regulations

impractical or undesirable. The design alternative provisions are also intended to recognize that alternative design solutions may result in equal or better implementation of the regulation's intended purpose and greater consistency with the comprehensive plan.

- Consideration of requested design alternatives through the administrative and public hearing review processes will be evaluated on the merits of the applicable request and independently of prior requests from the same applicant, and may include the following criteria:
 - An evaluation of the character of the surrounding neighborhood, such as:
 - Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
 - Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s);
 - For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination will be based upon the assumption that such lots, as if developed, comply with the applicable requirements of this chapter for which a design alternative(s) has been requested;
 - The totality of the number and extent of design alternatives requested compared to the requirements of this chapter for each site plan or alternate design documentation reviewed;
 - Whether the requested design alternative(s) is consistent with all relevant purpose and intent statements of this design ordinance and with the general purpose and intent of the comprehensive plan;
 - Whether the requested design alternative(s) will have a substantial or undue adverse effect upon adjacent: property, the character of the surrounding area or the public health, safety and general welfare;
 - Whether any adverse impacts resulting from the requested design alternative(s) will be mitigated to the maximum extent feasible; and
 - Other factors determined relevant by the community development director, plan and zoning commission, or city council as applicable.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Building Configuration:** The applicant is proposing the Rowhouse Building type. The property is split-zoned with the northern portion zoned RX1 and the southern portion zoned NX1. A public sanitary sewer with a 30-foot wide easement crosses through the property at the northwest corner. This easement, along with the curvature of the right-of-way at the northwest corner of the site, reduces the buildable area of the property.

The applicant is proposing to construct three (3) rowhouse buildings, each with six (6) units, with buildings oriented parallel to Indianola Road. Due to the steep topography of the hillside, the buildings are proposed to be set into the hill stepping up with the increase in grade for each building as you move south.

Each row building would have a driveway from Monona Avenue running east/west along the north side of each building. The driveways would provide access to the proposed 2-car garages in the lower level of the units with two stories of living space above, including balconies and outdoor living space at the north sides of the buildings oriented towards the downtown.

Staff supports the requested Type 2 Design Alternatives that are related to the proposed building configurations (items 1-7). The subject property has unique topography making it difficult to orient garages to the rear of the buildings. The driveways and garages for the southern two buildings would be hidden by the upper stories of the buildings to the north limiting their visibility from Indianola Road. The proposed landscape berm along Indianola Road would help to screen and separate the vehicular activity for the northernmost building from view. Staff recommends landscaping be added or relocated to the northern side of the fence. Also, the addition of a sidewalk connection from the units to Indianola Road would reinforce the pedestrian orientation that the ordinance intends to provide.

2. **Transparency:** The most recent building design includes entrances added on the western façade facing Monona Avenue for the westernmost units as well as windows on the 2nd and 3rd stories. Staff recommends that transparency be added to the entrance door, as well as an entrance feature to match the entrances on the north side such as a canopy. In addition, staff recommends that additional windows be added to the 2nd and 3rd stories to meet the minimum 15% required per each full story.
3. **Façade Materials:** The most recent building design includes brick wrapping around the 1st floor with EIFS on the upper two stories and a fiber cement board panels as an accent material on the north facade. EIFS is considered a Minor Façade Material. Table 135-4.1-5 limits the use of this material to 40% of the 3rd floor or higher on non-street facing facades. Staff recommends that the proposed EIFS be replaced with an approved major or minor material.
4. **Overhead Utilities and Streetlights:** Section 135-9.2.1.E of the Planning and Design Ordinance requires that all electrical, telephone, and cable television transmission systems shall be placed underground whenever reasonably practical. Section 135-8.2.1.B requires that all lighting in the public right-of-way shall be provided in the location, intensity, height and quantity as approved by the city engineer. There are two existing wood pole streetlights with overhead lines along the Indianola Road frontage. There are also existing overhead lines along the east side of Monona Avenue providing service to the houses to the west and apartments to the south. The proposed service lines to serve the new townhouses would be underground.

Staff does not believe that it would be reasonably practicable to require all utilities to be relocated underground as the overhead lines along Monona Avenue are providing service to properties that the developer does not own.

However, staff believes that it would be reasonably practicable to require undergrounding of the overhead lines feeding the two existing streetlights along Indianola Road, and the existing wood poles should be replaced with galvanized metal street light poles and matching fixtures.

SUMMARY OF DISCUSSION

Jason Van Essen presented staff report and recommendation.

Daniel Southwick 3501 104th Street, Urbandale representing Bishop Engineering stated there is a steep hill they are building into that is limiting the connections. Since this was going to be considered on the consent agenda, he will wait for any opposition and go from there.

CHAIRPERSON OPENED THE PUBLIC HEARING

Arnold Willis 1974 Senate Street, stated he is concerned about water runoff as they currently have 0.84 acres with paving taking 76% of that.

CHAIRPERSON CLOSED THE PUBLIC HEARING

Johnny Alcivar asked if there is additional evergreens or shrubbery proposed along the alley? He would like to avoid a long-term problem with neighbors on the other side of the alley.

Jason Van Essen stated there seems to be some space for something that is narrow in growth pattern.

Daniel Southwick stated there will be water detention provided onsite per the typical requirements by the City of Des Moines. They will have intakes at the edges of each drive and one in the center of the northern drive. They are willing to add extra evergreens or any additional sound barrier along the alley way.

COMMISSION ACTION:

Rocky Sposato made a motion for:

Part A) **Approval** of the Preliminary Plat "Monona Townhomes" for subdivision of 0.84 acres of property into 18 Row Type Building lots and an Outlot, subject to compliance with all administrative review comments from the City's Permit & Development Center.

Part B) **Denial** of the requested Type 2 Design Alternatives for items 8, 9 and 10.

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4. Revision of the site plan and building elevations to comply with all administrative review comments.
5. Additional plantings along the East alley way be provided to the satisfaction of the planning administrator.

Motion passed: 10-0

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jason Van Essen".

Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

DUUNTO LLC (owner) represented by Adam Sieren (officer) and Ryan Andreini (owner) for the following items regarding property at 524 Indianola Road, 711 Monona Avenue, and 713 Monona Avenue to be readdressed 550 Indianola Road.				File #	
				10-2021-7.93	
Description of Action	Review and approval of a Public Hearing Site Plan "Monona Townhomes" Type 2 Design Alternatives in accordance with Chapter 135 Sections 135-9.2.4(B) and 135-9.3.1(B) to allow construction of an 18-unit Household Living development with three Row Type buildings in the "RX1" Mixed Use District and "NX1" Neighborhood Mix District.				
PlanDSM Future Land Use	Current: Neighborhood Mixed Use and Low Density Residential. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No planned improvements.				
Current Zoning District	"RX1" Mixed Use District and "NX1" Neighborhood Mix District.				
Proposed Zoning District	N/A.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	0	0			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

DUUNTO, LLC, Vicinity of 550 Indianola Road

10-2021-7.93



DUUNTO LLC (owner) represented by Adam Sieren (officer) and Ryan Andreini (owner) for the following items regarding property at 524 Indianola Road, 711 Monona Avenue, and 713 Monona Avenue to be readdressed 550 Indianola Road.				File # 13-2021-1.40	
Description of Action		Review and approval of a Preliminary Plat "Monona Townhomes" for subdivision of 0.84 acres of property into 18 Row Type Building lots and an Outlot.			
PlanDSM Future Land Use		Current: Neighborhood Mixed Use and Low Density Residential. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan		No planned improvements.			
Current Zoning District		"RX1" Mixed Use District and "NX1" Neighborhood Mix District.			
Proposed Zoning District		N/A.			
Consent Card Responses		In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)		0	0		
Within Subject Property					
Plan and Zoning Commission Action		Approval	X	Required 6/7 Vote of the City Council	
		Denial		Yes	
				No	X

DUUNTO, LLC, Vicinity of 550 Indianola Road

13-2021-1.40



1 inch = 114 feet



20

DUUNTO, LLC, Vicinity of 550 Indianola Road

13-2021-1.40



Updated on: 5/14/2021

1 inch = 111 feet

MONONA TOWNHOMES SITE PLAN

LEGEND:

- SAN- SANITARY SEWER
-ST- STORM SEWER
-W- WATER LINE
-GL- GAS LINE
-UE- UNDERGROUND ELECTRIC
-TE- TELEPHONE LINE
-FIBER- FIBER OPTIC
-CATV- CABLE TV
-OR- ORNAMENTAL MANHOLE
-CURB- CURB INTAKE
-SURF- SURFACE INTAKE
-FLD- FLARED END SECTION
-SAN- SANITARY MANHOLE
-CLEAN- CLEANOUT
-FIRE- FIRE HYDRANT
-SPR- SPRINKLER
-IRIG- IRRIGATION CONTROL VALVE
-WATER- WATER MANHOLE
-WELL- WELL
-WATER- WATER VALVE
-WATER- WATER SHUT OFF
-YARD- YARD HYDRANT
-ELEC- ELECTRIC MANHOLE
-ELEC- ELECTRIC METER
-ELEC- ELECTRIC RISER
-ELEC- ELECTRIC VALVE
-POW- POWER POLE
-TF- TRANSFORMER POLE
-LIGHT- LIGHT POLE
-ELEC- ELECTRIC JUNCTION BOX
-ELEC- ELECTRIC PANEL
-TRANS- TRANSFORMER
-GROUND- GROUND LIGHT
-GUY- GUY WIRE
-ELEC- ELECTRIC MANHOLE
-GAS- GAS METER
-GAS- GAS VALVE
-COND- AIR CONDITIONING UNIT
-TELE- TELEPHONE RISER
-TELE- TELEPHONE VAULT
-TELE- TELEPHONE MANHOLE
-TRAFFIC- TRAFFIC SIGNAL MANHOLE
-FIBER- FIBER OPTIC MANHOLE
-FIBER- FIBER OPTIC RISER
-FIBER- FIBER OPTIC FAULT
-CABLE- CABLE TV RISER
-SIGN- SIGN
-BOLLARD- BOLLARD
-IDENT- IDENTIFIER NUMBER OF PARKING STALLS
-CORNER- CORNER - FOUND AS NOTED
-CORNER- CORNER - PLACED AS NOTED
-SECTION- SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

- AC ACIES
ASFH ASPHALT
BK BOOK
CONC CONCRETE
DESD DESEID DISTANCE
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOOR
FRAC FRACTURAL
MH MANHOLE
MNDR MEASURED DISTANCE
DPC DRAINAGE PLASTIC CAP
PBA PLATED DISTANCE
PAGE PAGE
POB POINT OF BEGINNING
PDC POINT OF COMMENCEMENT
PRM PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASIMENT
RWD RIGHT OF WAY
RPS RES. PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

GENERAL NOTES:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS, THE CITY OF DES MONES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY TABLES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL PREVAIL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR PULSES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE IOWA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL SUPPORT OR EXPOSURE ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FOR ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF DES MONES.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, MPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ADJUTING PROPERTIES AS THE RESULT OF CONSTRUCTION AT THE END OF EACH WORK DAY.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH THAT THE PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
17. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH SUDAS AND THE CITY OF DES MONES SUPPLEMENTAL SPECIFICATIONS TO SUDAS EFFECTIVE AT THE TIME OF APPROVAL.
18. ALL WORK IN THE CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
19. SIDEWALK/DRIVE APPROACH PERMIT IS REQUIRED.
20. NO RETAINING WALLS ARE IDENTIFIED BY THIS STAMP. RETAINING WALLS OVER 4' HEIGHT MEASURED FROM TOP OF WALL TO BASE OF FOOTING WILL REQUIRE A SEPARATE BUILDING PERMIT WITH A DESIGN AND CERTIFICATION BY A LICENSED PROFESSIONAL ENGINEER.
21. ALL TRASH AND RECYCLING SHALL BE HANDED THROUGH RESIDENTIAL PICKUP AND ALL TOILES SHALL BE STORED IN THE GARAGES UNTIL DAY OF PICKUP.
22. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
23. ALL GEOTECH MECHANISMS MUST BE SCREENED/SHIELDED INCLUDING ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
24. MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET OR STREET SIDE YARD, AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS AND MATERIALS.
25. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT CLEARLY SHOW IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
26. LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE RISK OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
27. THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
28. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING AND SOILING.

PAVING NOTES:

- 1. THE PAVING GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDS IN ACCORDANCE WITH CITY OF DES MONES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
2. SUBGRADE PREPARATION AND PAVING SHALL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
3. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- 1. QUANTITY CALCULATIONS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE AS-BUILT OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (JOEL JACKSON AT 515-263-467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION POND HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADINGS. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
5. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
6. ALL PROPOSED ROP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GRAB.
7. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
8. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITHIN 18" OF CONTACTED SOIL IMMEDIATELY SOIL BETWEEN THE UTILITIES WITHIN 10" OF THE CROSSING.
9. MANHOLE AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
10. WATERMANS SHALL BE 200" SIZE OF WATERMAIN AS SHOWN ON PLANS.
11. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
12. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF DES MONES.
13. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
14. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF DES MONES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
15. THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.
16. PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE(UPC) AND ALL CITY OF DES MONES AMENDMENT TO UPC. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIALS PRIOR TO CONSTRUCTION

UTILITY MAPS PROVIDED BY:

- 1. ELECTRIC (IOWA/AMERICAN) (515-252-4832)
2. STORM AND SANITARY (DES MONES SEWER) (515-331-1259)
3. FIBER OPTIC (CENTURYLINK) (202-453-9927)
4. WATER (DES MONES WATER WORKS) (515-263-4729)
5. GAS (IOWA/AMERICAN) (515-252-4832)



UTILITY NOTE: THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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SHEET INDEX:

- C0.1 COVER SHEET
C1.1 SITE SURVEY/DEMO
C2.1 LAYOUT PLAN
C3.1 GRADING PLAN
C4.1 UTILITY PLAN
C5.1 LANDSCAPE PLAN
C6.1 DETAILS SHEET
C7.1 SWPPP

UTILITY CONFLICT NOTES:

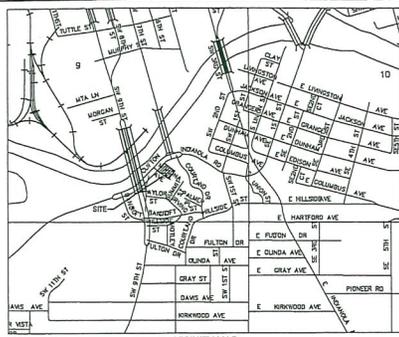
- 1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING, ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

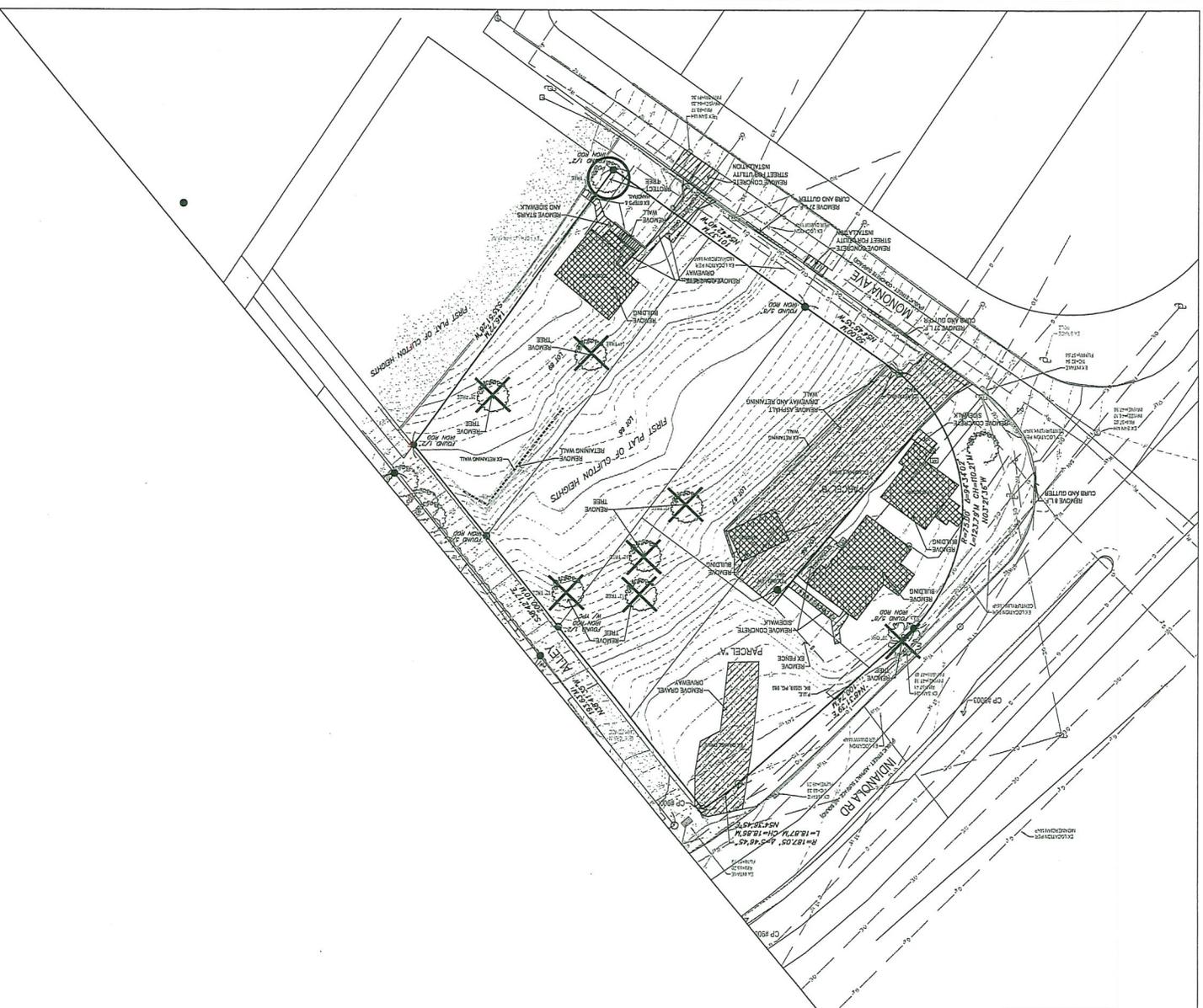
WETLAND NOTES:

- 1. BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- 1. SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 11-13-2020. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.





DEMO NOTES:

1. VERIFY ALL REMOVALS ARE PERMITTED TO ALL DEPTH OF SOIL.
2. PROJECT ALL TREES NOT CALLED OUT FOR REMOVAL WITHIN CHANGE CONSTRUCTION PERMIT AT THE GRAP LINE.
3. REMOVALS SHALL BE CALLED OUT FOR REMOVAL. SHALL BE CARRIED AT THE PROPERTY LINE.
4. EXISTING REMOVAL SERVICES AND STUDIES MUST BE OBTAINED AT THE PROPERTY LINE.
5. ALL EXISTING UTILITIES AND STUDIES MUST BE OBTAINED AT THE PROPERTY LINE.
6. CONTRACTOR TO VERIFY ALL EXISTING RIGHT OF WAY BOUNDARIES AND CONVEYANCE ARE REQUIRED. BOUNDARIES SHALL BE OBTAINED AT THE PROPERTY LINE.
7. VERIFY ALL REMOVALS WITH UTILITY PROVIDER.

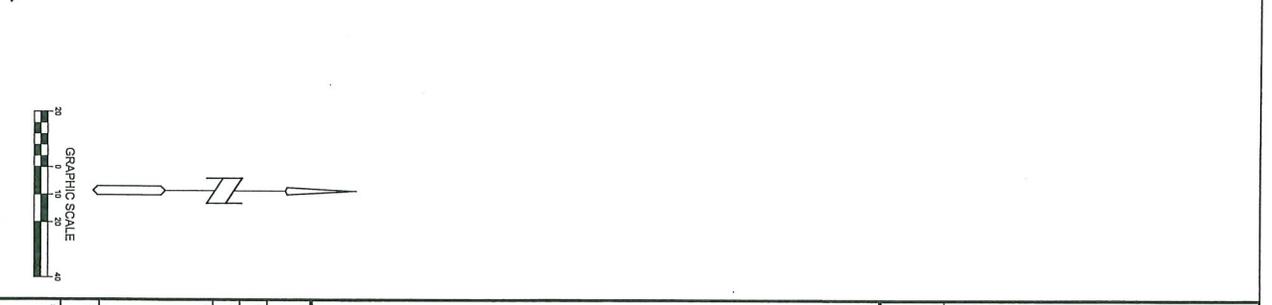
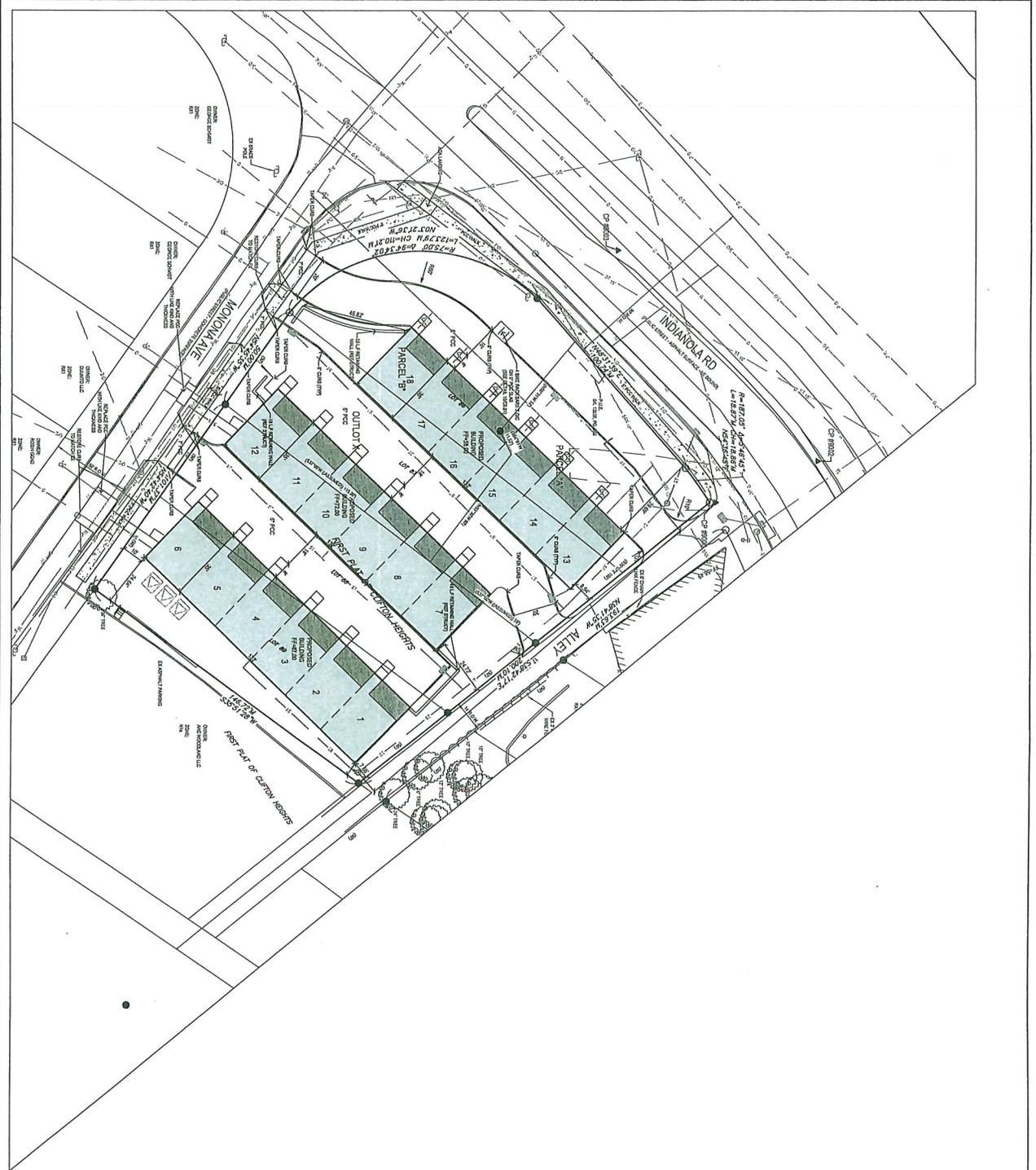


 <p>Bishop Engineering Planning, Team, Successful Development 3501 104th Street Des Moines, IA 50312 Phone: (515) 266-0747 Fax: (515) 266-0747 Civil Engineering & Land Surveying Established 1959</p>	<p>MONONA TOWNHOMES DES MOINES</p> <hr/> <p>DEMO PLAN</p>	<p>PROJECT NUMBER 200598</p> <p>DATE 5-11-21 1ST SUBMITTAL</p> <p>CHECKED BY MSD</p> <p>DATE 5-11-21 1ST SUBMITTAL</p> <p>PROJECT NUMBER 200598</p> <p>DATE 5-11-21 1ST SUBMITTAL</p>
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C1.1

PRELIMINARY- NOT FOR CONSTRUCTION

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PROJECT NUMBER 200598	SHEET NUMBER C2.1	DATE	5/12/21
		BY	JL
PROJECT NAME MONONA TOWNHOMES		DATE	5/12/21
PROJECT ADDRESS DES MOINES		BY	JL
PROJECT NUMBER		DATE	5/12/21
PROJECT NAME		BY	JL
PROJECT ADDRESS		DATE	5/12/21
PROJECT NUMBER		BY	JL

MONONA TOWNHOMES
DES MOINES

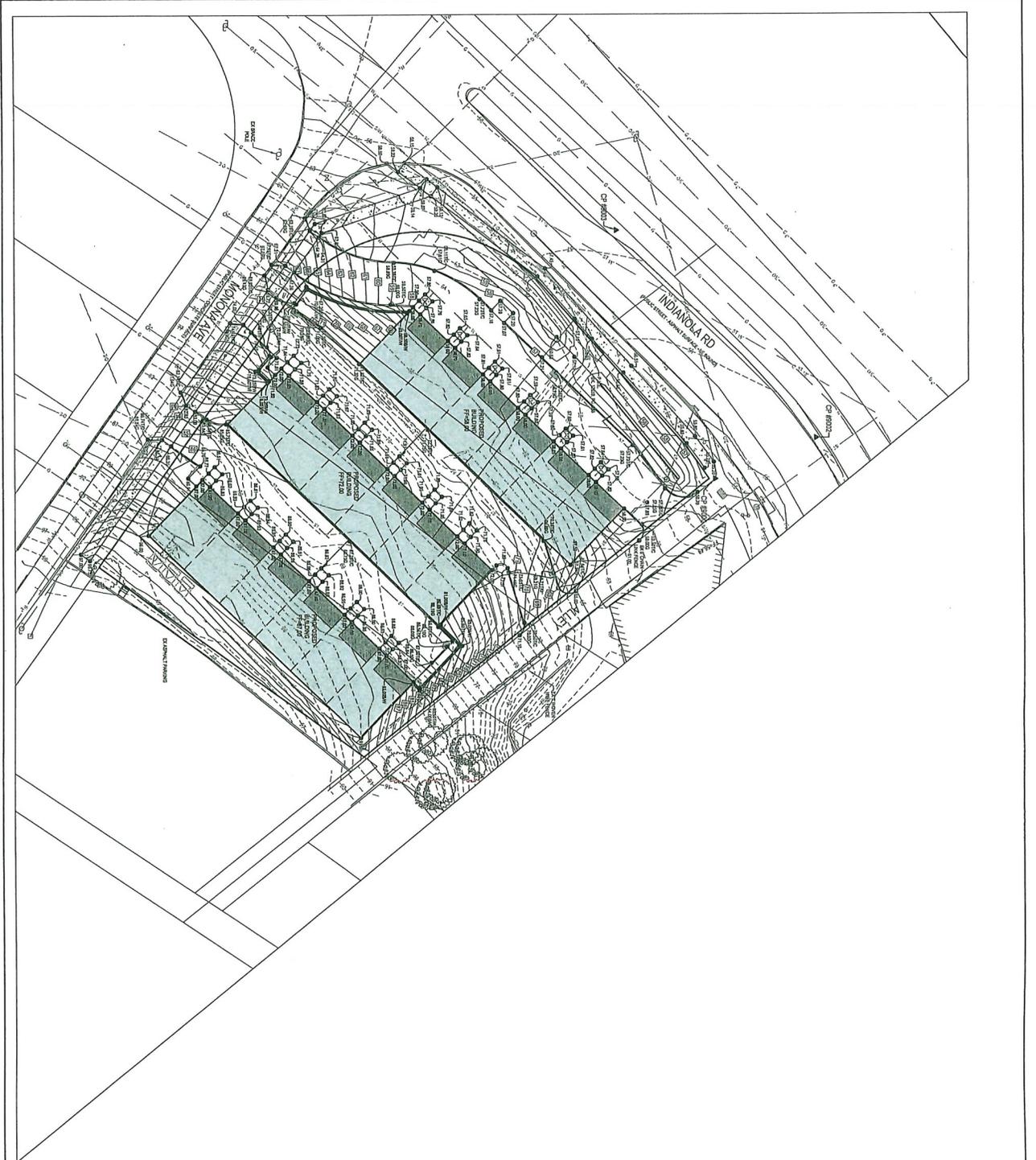
LAYOUT PLAN

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Phone: (515)276-0467 Fax: (515)276-0217
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GRADING LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED FINISHED GRADE
- TOP OF CURB ELEVATION
- OUTLET ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- EDGE OF WALL ELEVATION
- TOP OF STAIR ELEVATION
- BOTTOM OF STAIR ELEVATION
- PROPOSED FINISHED GRADE
- GRADING FINISHES AT THE TOP AND BOTTOM OF THE WALL

GRAPHIC SCALE

0 10 20 40

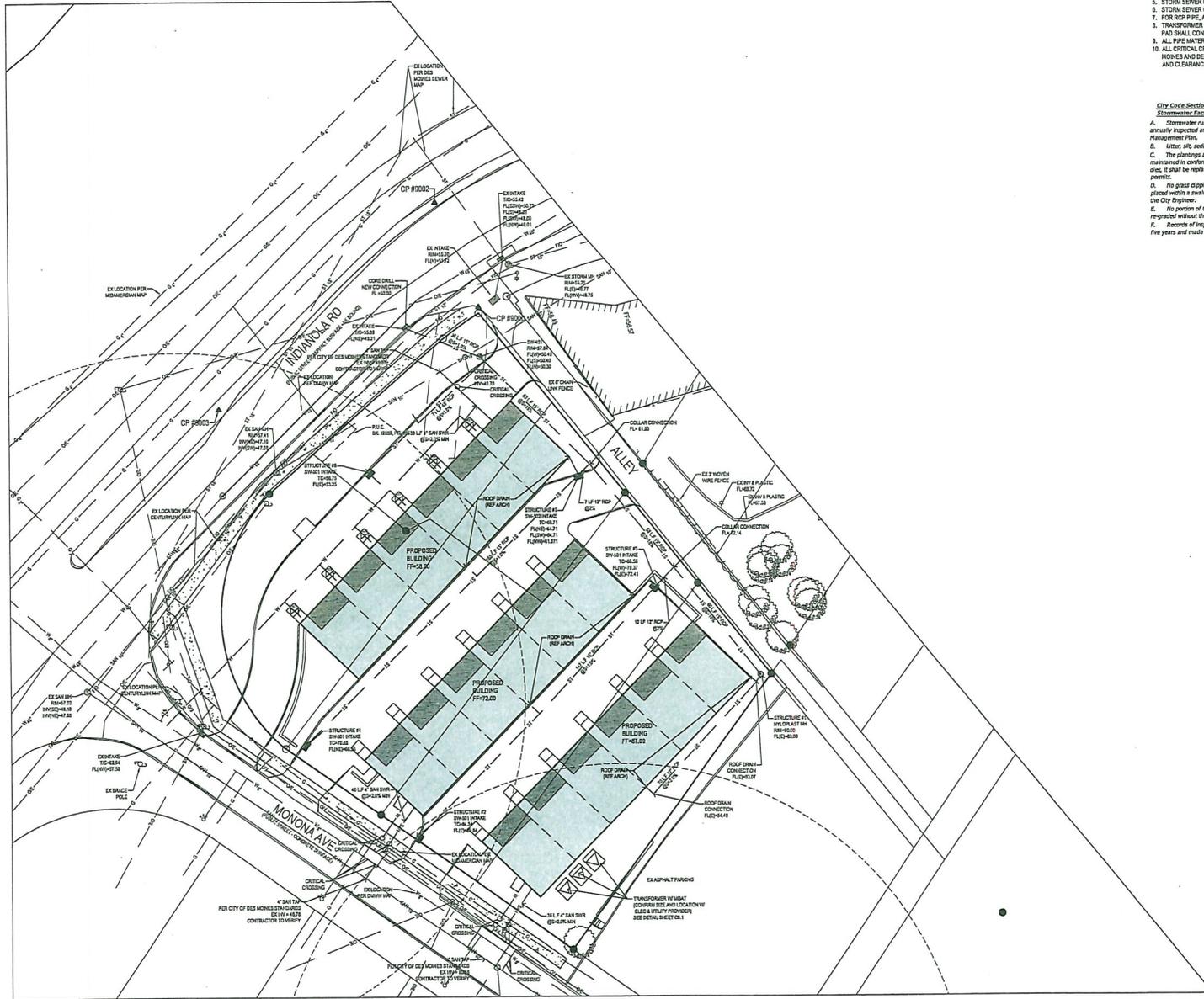
TOPSOIL NOTES:

1. REFER TO THE TOP OF THE SHEET FOR ALL DIMENSIONS.
2. REFER TO THE TOPSOIL NOTES ON SHEET CD3 FOR ALL DIMENSIONS.
3. REFER TO THE TOPSOIL NOTES ON SHEET CD3 FOR ALL DIMENSIONS.
4. TOPSOIL IS TO BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES FROM THE EXISTING GRADE AND REPLACED WITH A MINIMUM OF 12 INCHES OF TOPSOIL.
5. REFER TO THE TOPSOIL NOTES ON SHEET CD3 FOR ALL DIMENSIONS.

<p>C3.1</p>	<p>MONONA TOWNHOMES DES MOINES</p> <hr/> <p>GRADING PLAN</p>	<p>Bishop Engineering "Planning Your Successful Development"</p> <p>3501 104th Street Des Moines, Iowa 50322-3825 Phone: (515) 274-6407 Fax: (515) 274-8117 Civil Engineering & Land Surveying Established 1959</p>
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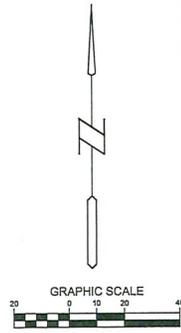
4/20/24 4:25:56 PM L:\LAND PROJECTS\2023\200599 MONONA\MONONA UTILITY PLAN



- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CWP.
 8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 9. ALL PIPE MATERIALS TO COMPLY WITH CITY OF DES MOINES STANDARDS.
 10. ALL CRITICAL CROSSINGS BETWEEN WATER AND STORMWATER TO COMPLY WITH CITY OF DES MOINES AND DES MOINES WATER WORKS CODE INCLUDING BUT NOT LIMITED TO PIPE MATERIALS AND CLEARANCES.

City Code Section 106-135(h) Land Owner/Manager Stormwater Facilities Maintenance Requirements

- A. Stormwater runoff control facilities (including pipes, inlets, and outlets) shall be annually inspected and maintained in substantial compliance with the approved Stormwater Management Plan.
- B. Litter, silt, sediment, and debris shall be promptly removed from such facilities.
- C. The plantings and vegetation within the Stormwater Management Facilities shall be maintained in conformance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the weather permits.
- D. No grass clippings, leaves, yard wastes, soil, rocks, concrete, or similar materials shall be placed within a sumps, retention pond, or detention basin without the prior written consent of the City Engineer.
- E. No portion of the Stormwater Management Facilities shall be altered, removed, or regraded without the prior written consent of the City Engineer.
- F. Records of inspection, maintenance, and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.



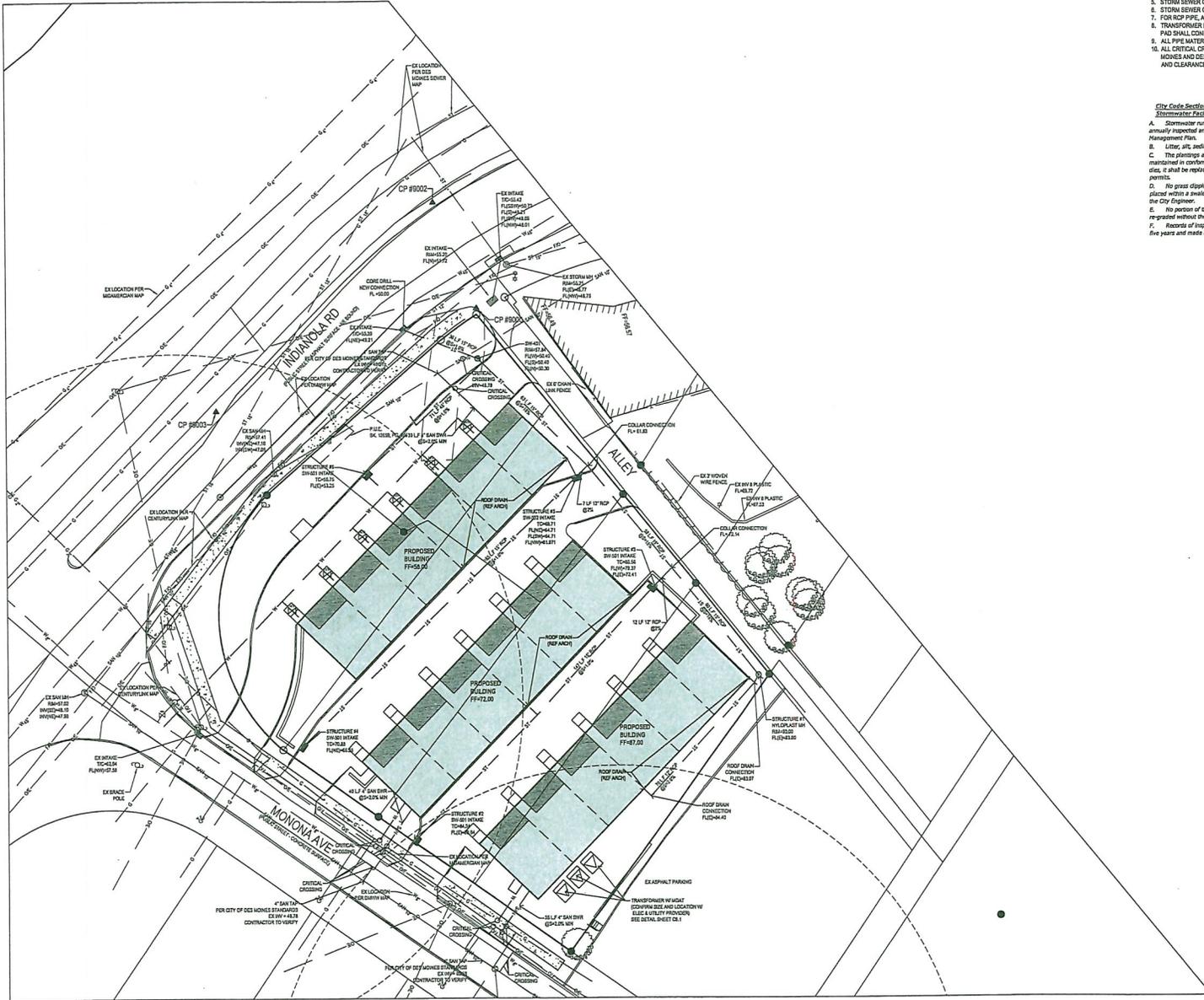
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MONONA TOWNHOMES
DES MOINES
UTILITY PLAN

REFERENCE NUMBER:	
DRAWN BY:	MDG
CHECKED BY:	
REVISION DATE:	3-19-21 1ST SUBMITTAL 5-11-21 2ND SUBMITTAL
PROJECT NUMBER:	200598
SHEET NUMBER:	C4.1

PRELIMINARY- NOT FOR CONSTRUCTION

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UTILITY NOTES:

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 3.0' OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWER CALLED OUT AS RCP MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
9. ALL PIPE MATERIALS TO COMPLY WITH CITY OF DES MOINES STANDARDS.
10. ALL CRITICAL CROSSINGS BETWEEN WATER AND STORMWATER TO COMPLY WITH CITY OF DES MOINES AND DES MOINES WATER WORKS CODE INCLUDING BUT NOT LIMITED TO PIPE MATERIALS AND CLEARANCES.

City Code Section 106-126(H) Land Owner/Manager, Stormwater Facilities Maintenance Requirements

- A. Stormwater runoff control facilities (including pipes, inlets, and outlets) shall be annually inspected and maintained in substantial compliance with the approved Stormwater Management Plan.
- B. Litter, silt, sediment, and debris shall be promptly removed from such facilities.
- C. The plantings and vegetation within the Stormwater Management Facilities shall be maintained in conformance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the weather permits.
- D. No grass clippings, leaves, yard wastes, soil, rocks, concrete, or similar materials shall be placed within a swale, retention pond, or detention basin without the prior written consent of the City Engineer.
- E. No portion of the Stormwater Management Facilities shall be altered, removed, or regraded without the prior written consent of the City Engineer.
- F. Records of inspection, maintenance, and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.

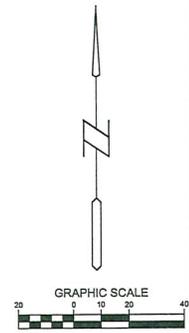


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MONONA TOWNHOMES
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UTILITY PLAN

REFERENCE NUMBER:	
DRAWN BY:	MDG
CHECKED BY:	
REVISION DATE:	3-19-21 1ST SUBMITTAL 5-11-21 2ND SUBMITTAL
PROJECT NUMBER:	200598
SHEET NUMBER:	C4.1



LANDSCAPE NOTES:

1. ALL SOODING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE, SHOULD BE RESTORED TO ORIGINAL OR BETTER CONDITION. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
7. FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REMOVED TO BE ALIVE AND THRIVING.
8. CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURS THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS INCLUDING SIZING INFORMATION MUST BE LEFT ON UNITS AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
10. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUNDS COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
11. STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
12. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
13. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
14. ALL EDGING SHALL BE DIVERGENT SHIP STEEL, EDGING - COLOR BLACK, OR APPROVED EQUAL.
15. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
16. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
17. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
18. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

TREE MITIGATION TABLE			
DBH OF REMOVED TREE (INCHES)	REPLACEMENT RATIO	# REMOVED TREES	# REPLACEMENT TREES
LESS THAN 12"	NONE	0	0
AT LEAST 12" & LESS THAN 18"	5:1	4	4
AT LEAST 18" & LESS THAN 24"	2:1	0	0
AT LEAST 24" & LESS THAN 30"	3:1	1	3
AT LEAST 30" & LESS THAN 36"	6:1	0	0
AT LEAST 36" & LESS THAN 42"	5:1	2	10
TOTAL REPLACEMENT TREES REQUIRED =			17

GENERAL LANDSCAPE REQUIREMENTS

- TOTAL SQUARE FOOTAGE OF PROJECT AREA: 35,823 SF
- REQUIRED TREE CANOPY (10% OF SITE): 3,582 SF
- TOTAL PROPOSED OVERSTORY (10 @ 1,000 SF EACH): 10,000 SF
- STREET TREES @ 30' O.C. (MONOVA AVENUE AND INDIANOLA ROAD)

PLANTING SCHEDULE

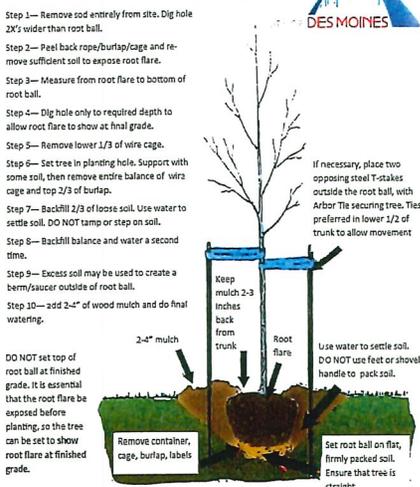
CODE	QUAN	COMMON NAME	LATIN NAME	OVERSTORY TREES	SIZE	ROOT	NOTES
AS	4	AUTUMN SPLENDOR OHIO BUCKEYE	AESCULUS HYBRIDUM 'AUTUMN SPLENDOR'	1.5' CAL	B&B	CONT	MAT CHED SPECIMENS
DB	4	PRINCETON IDENTIFY BIRCH	BETULA PRINCETONENSIS 'IDENTIFY'	1.5' CAL	B&B	CONT	MAT CHED SPECIMENS
WH	6	AMERICAN HORNBEAM	CARPENUS CAROLINIANA	1.5' CAL	B&B	CONT	MAT CHED SPECIMENS
SH	2	SKYLARK HONEYLOCUST	GLYCISTIA TRICANTHOS 'AERIALIS SKYLARK'	1.5' CAL	B&B	CONT	MAT CHED SPECIMENS
KC	2	KENTUCKY COFFEE TREE	GYNANDRUM DIOICUS	1.5' CAL	B&B	CONT	MAT CHED SPECIMENS
GF	12	GOLD FLAME SPirea	SPIRAEA BUHALDAE 'GOLD FLAME'	#3	CONT	CONT	FULL FORM - MAT CHED
AL	8	ALPINE CURRANT	RIBES ALPIMUM	#3	CONT	CONT	FULL FORM - MAT CHED
LP	18	LITTLE PRINCESS SPirea	SPIRAEA PRINCESS ALPINA 'LITTLE PRINCESS'	#3	CONT	CONT	FULL FORM - MAT CHED
DY	11	DENSFORUS YEW	TAXUS CUSPIDATA 'DENSFORUS'	#5	CONT	CONT	FULL FORM - MAT CHED
DK	15	DWARF BUSH HONEYSUCKLE	DIERVILLA LANCEOLA	#3	CONT	CONT	FULL FORM - MAT CHED
KF	43	KOHL FOSTER FERTILE FEATHER REED GRASS	CAULOPACHYDES ACUTIFOLIA	#1	CONT	CONT	FULL FORM - MAT CHED

IRRIGATION NOTES:

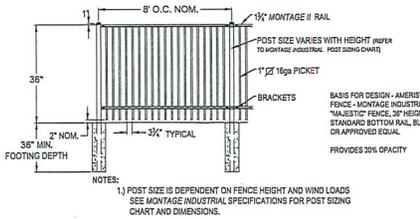
- FOR BIDDING PURPOSES, THIS PROJECT DOES NOT INCLUDE A SITE IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE A SEPARATE PROPOSAL FOR A SITE IRRIGATION SYSTEM. PROPOSAL SHALL BE DESIGNED FOR A COMPLETE OPERATIONAL IRRIGATION SYSTEM APPROPRIATE FOR THE SITE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, COORDINATION, TESTING, PERMITS, INSPECTIONS, ETC.

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SOODED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS NEEDED INTO SUBSURFACE).

DIAGRAM: PROPER TREE PLANTING

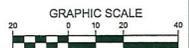
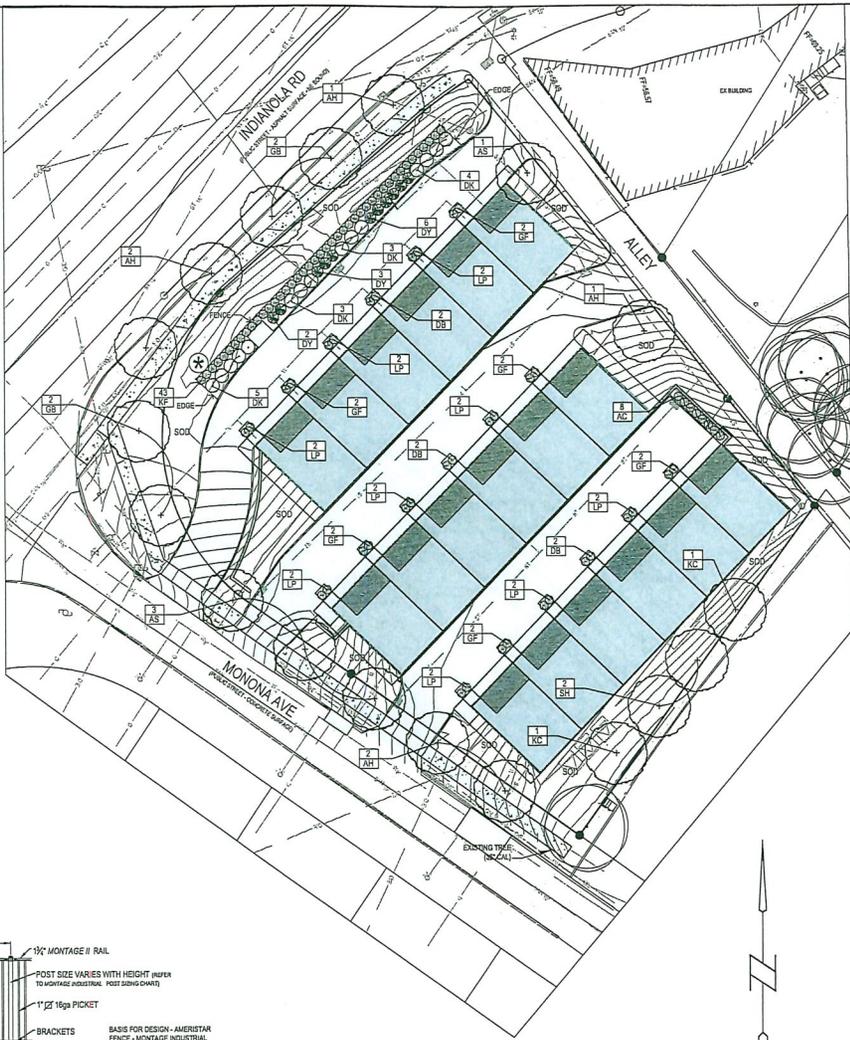


- NOTE:**
- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 515-283-4105.
 - ALL WIRE, TWINE, AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
 - NO STAKING OF STREET TREES IS ALLOWED.



DECORATIVE METAL FENCE

SCALE: NOT TO SCALE



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MONOVA TOWNHOMES
 DES MOINES

LANDSCAPE PLAN

PROJECT NUMBER: **200598**

SHEET NUMBER: **C5.1**

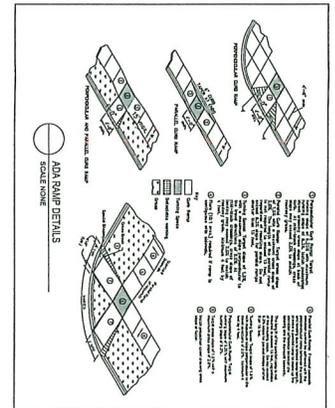
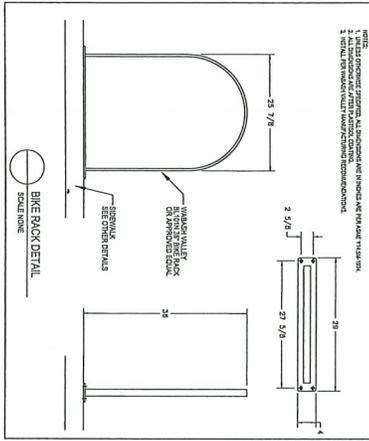
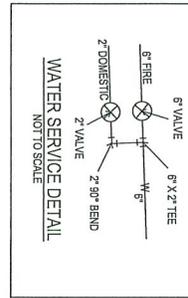
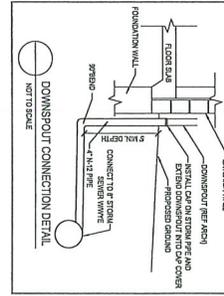
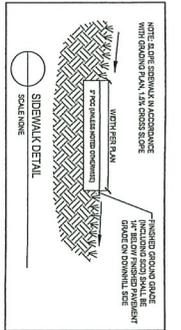
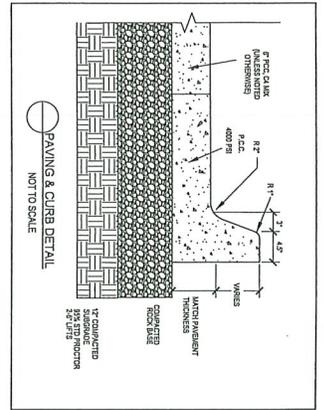
DATE: _____

STATE OF IOWA
 Michael D. Gaunt
 LICENSED PROFESSIONAL LANDSCAPE ARCHITECT
 449

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. IOWA REGISTRATION NO. 449.
 BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2022

PRELIMINARY- NOT FOR CONSTRUCTION

L\LAND PROJECTS 2020\20058 MONONA\DWG\DCG DETAILS.DWG 20201 4:21:09 PM



PROJECT NUMBER 200598	DATE PLOTTED C6.1
PROJECT NAME MONONA TOWNHOMES DES MOINES	
DESIGNER MEG	
CHECKED BY	
PROJECT DATE 5-11-21 2:02:00 PM	
PROJECT LOCATION MONONA TOWNHOMES DES MOINES	

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 Des Moines, Iowa 50322-3825
 Phone: (515)276-6167 Fax: (515)276-4217
 Civil Engineering & Land Surveying Established 1959

DETAILS SHEET

PRELIMINARY- NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN

ADDRESS:
54 MONONA ROAD
DES MOINES, IOWA 50315

OWNER/PREPARED FOR:
ADAM SIEBEN
PREMIER CONSTRUCTION
3123 JORDAN GROVE
WEST DES MOINES, IA 50325
515-489-4905

SITE AREA:
SITE AREA = 38,823 S.F. (0.88 ACRES)

BENCHMARK:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83 IOWA SOUTH
BENCHMARK DATUM = CITY OF DES MOINES DATUM

POINT #000
NORTHING = 573558.54
EASTING = 107177.51
ELEVATION = 55.31
DESCRIPTION: SET OUT "X" W/ HOLE

POINT #001
NORTHING = 572817.04
EASTING = 1058872.80
ELEVATION = 52.39
DESCRIPTION: SET OUT "X" W/ HOLE

PROPERTY DESCRIPTION:

(OFFICIAL WARRANTY DEED BOOK#1202, PAGE#47-205)
PARCEL A, BEGINNING AT CORNER LOT 87 THENCE BY 39 FEET NW 60 FEET SW 11.53 FEET BY 38 FEET NE 75 FEET NW 18 FEET SE 50 FEET TO THE POINT OF BEGINNING; LOTS 86 AND 87 FIRST PLAT OF CLIFTON HEIGHTS, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA, AND THAT PART OF LOTS 86 AND 87, FIRST PLAT OF CLIFTON HEIGHTS, AN O.P., CITY OF DES MOINES, POLK COUNTY, IOWA, DESCRIBED AS FOLLOWS: BEGINNING AT THE SE CORNER OF SAID LOT 87; THENCE S 37° 00' W, (ASSUMED FOR THE PURPOSE OF THIS DESCRIPTION ONLY) ALONG THE SOUTH LINE OF SAID LOT 87, 28.00 FEET; THENCE S 27° 00' W, 60.00 FEET; THENCE S 64° 00' W, 11.53 FEET; THENCE N 87° 00' W, 22.00 FEET TO THE NORTH LINE OF SAID LOT 86; THENCE N 48° 00' E, ALONG SAID NORTH LINE, 75.00 FEET; THENCE CONTINUING ALONG SAID NORTH LINE, 75.00 FEET, TO A CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 5° 45', AND AN ARC DISTANCE OF 18.00 FEET AND A CHORD BEARING N 81° 15' E, 18.75 FEET TO THE NE CORNER OF SAID LOT 86; THENCE S 37° 00' E, ALONG THE EAST LINE OF SAID LOTS 86 AND 87, 100.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 12,034 SQUARE FEET, MORE OR LESS.

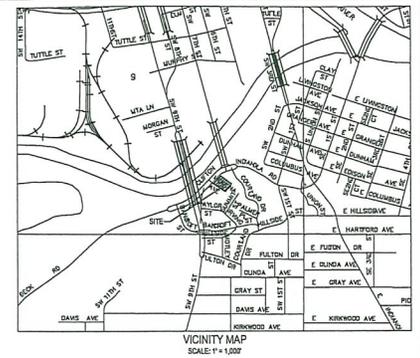
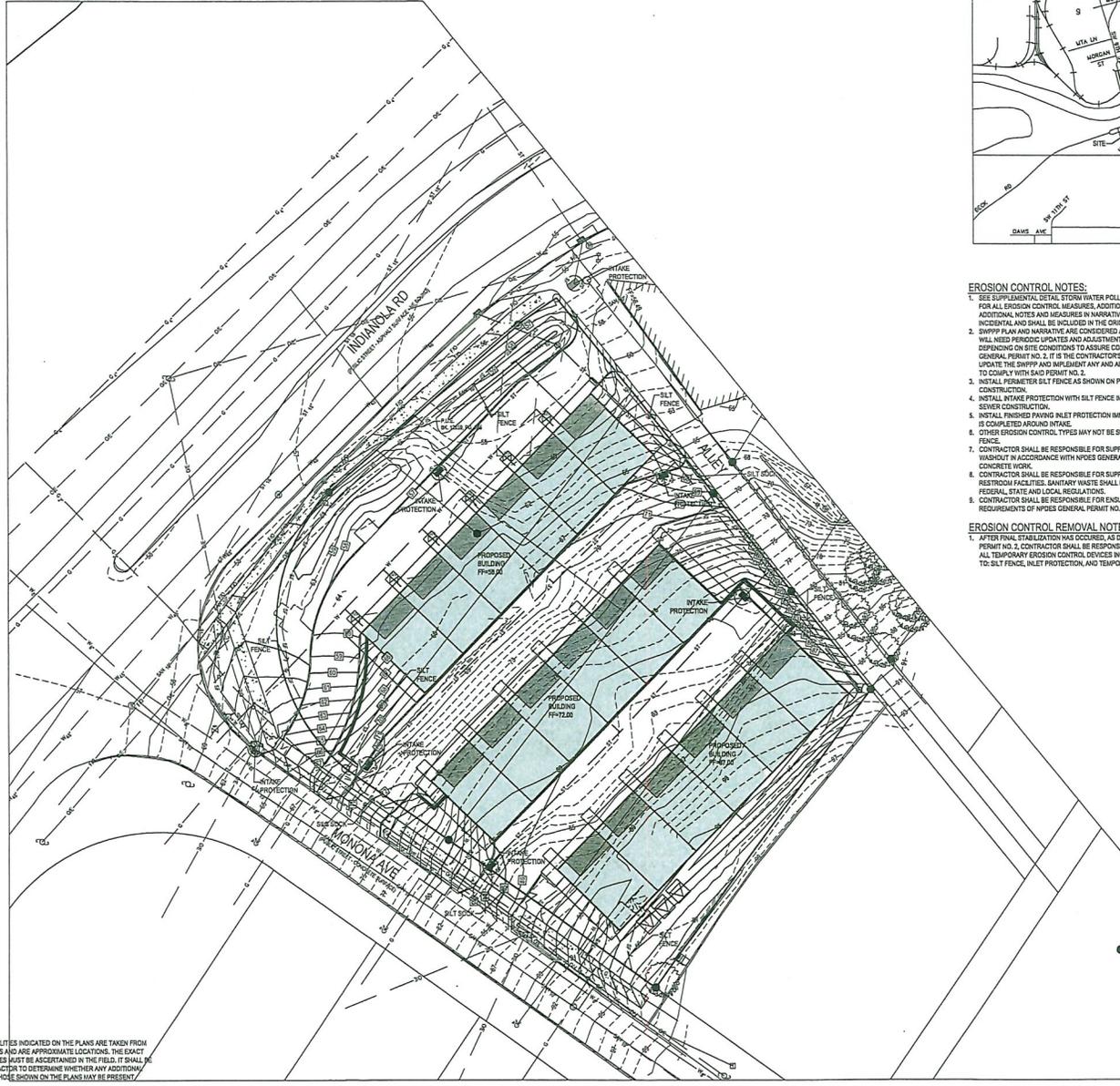
AND
(WARRANTY DEED BOOK#884, PAGE#21)
PARCEL "B" OF SURVEY FILED DECEMBER 20, 1998 IN BOOK 764, PAGE 998 BEING A PORTION OF LOTS 86 & 87 IN FIRST PLAT OF CLIFTON HEIGHTS, AN OFFICIAL PLAT, MORE PARTICULARLY DESCRIBED AS FOLLOWS: LOTS 86 & 87 IN FIRST PLAT OF CLIFTON HEIGHTS, AN OFFICIAL PLAT, CITY OF DES MOINES, POLK COUNTY, IOWA, EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE SE CORNER OF SAID LOT 87; THENCE S 37° 00' W (ASSUMED FOR THE PURPOSE OF THIS DESCRIPTION ONLY) ALONG THE SOUTH LINE OF SAID LOT 87, 88.00 FEET; THENCE N 87° 00' W, 60.00 FEET; THENCE S 64° 00' W, 11.53 FEET; THENCE N 87° 00' W, 22.00 FEET TO THE NORTH LINE OF SAID LOT 86; THENCE N 48° 00' E, ALONG SAID NORTH LINE, 75.00 FEET; THENCE CONTINUING ALONG SAID N. LINE AND ALONG A CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 5° 45' AND AN ARC DISTANCE OF 18.00 FEET AND A CHORD BEARING N 81° 15' E, 18.75 FEET TO THE NE CORNER OF SAID LOT 86; THENCE S 37° 00' E, ALONG THE EAST LINE OF SAID LOTS 86 & 87, 100.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 12,034 SQUARE FEET, MORE OR LESS.

AND
(QUIT CLAIM DEED BOOK#7753, PAGE#1)
LOT 88 IN FIRST PLAT OF CLIFTON HEIGHTS, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA, LOCALLY KNOWN AS: 713 MONONA AVENUE, DES MOINES, IOWA 50315
SUBJECT TO EASEMENTS, RESTRICTIONS AND ENCUMBRANCES OF RECORD.
SAID TRACT CONTAINS 8,277 SQUARE FEET MORE OR LESS.

AND
(WARRANTY DEED BOOK#8192, PAGE#8)
LOT 89 IN FIRST PLAT OF CLIFTON HEIGHTS, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA,
SUBJECT TO EASEMENTS, RESTRICTIONS AND ENCUMBRANCES OF RECORD.
SAID TRACT CONTAINS 7,503 SQUARE FEET MORE OR LESS.



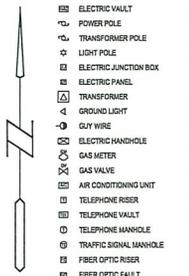
UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INLET PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DEPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STOPDUMPS.

- LEGEND:**
- EXISTING CONTOUR
 - SILT FENCE
 - SANITARY SEWER
 - STORM SEWER
 - WATER LINE
 - GAS LINE
 - UNDERGROUND ELECTRIC
 - OVERHEAD ELECTRIC
 - TELEPHONE LINE
 - FIBER OPTIC
 - CABLE TV
 - STORM MANHOLE
 - CURB INTAKE
 - SURFACE INTAKE
 - FLARED END SECTION
 - SANITARY MANHOLE
 - CLEANOUT
 - FRESHWATER
 - SPRINKLER
 - IRRIGATION CONTROL VALVE
 - WATER MANHOLE
 - WELL
 - WATER VALVE
 - WATER SHUT OFF
 - YARD HYDRANT
 - ELECTRIC MANHOLE
 - ELECTRIC METER
 - ELECTRIC RISER
 - ELECTRIC VAULT
 - POWER POLE
 - TRANSFORMER POLE
 - LIGHT POLE
 - ELECTRIC JUNCTION BOX
 - ELECTRIC PANEL
 - TRANSFORMER
 - GROUND LIGHT
 - GUY WIRE
 - ELECTRIC HANDHOLE
 - GAS METER
 - GAS VALVE
 - AIR CONDITIONING UNIT
 - TELEPHONE RISER
 - TELEPHONE VAULT
 - TELEPHONE MANHOLE
 - TELEPHONE SIGNAL MANHOLE
 - FIBER OPTIC RISER
 - FIBER OPTIC FAULT
 - CABLE TV RISER
 - SIGN



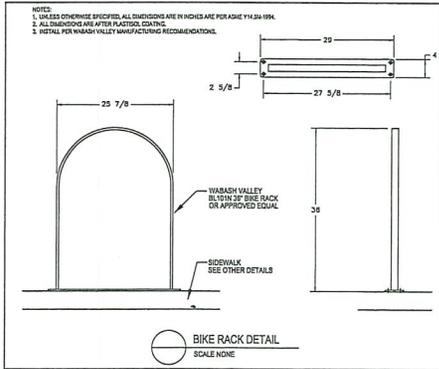
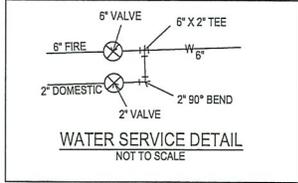
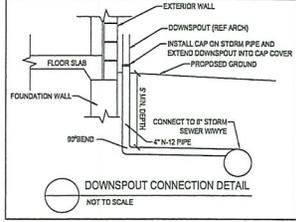
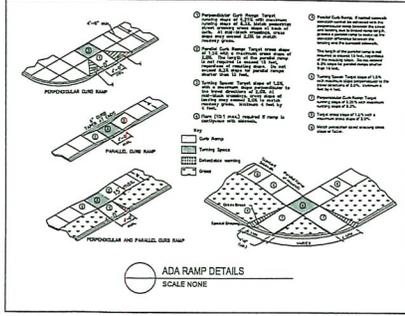
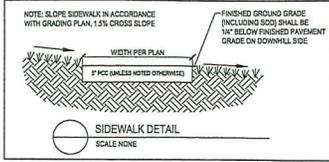
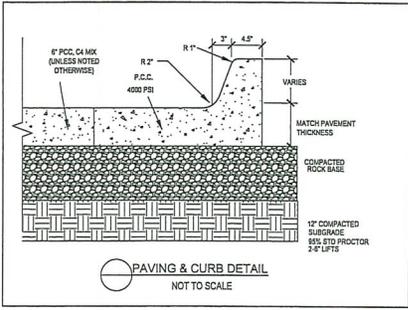
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Des Moines, Iowa 50323-3825
Phone: (515) 264-4649 Fax: (515) 264-4377
Civil Engineering & Land Surveying Established 1959

MONONA TOWNHOMES
DES MOINES

REFERENCE NUMBER:	
DRAWN BY:	MJD
CHECKED BY:	
REVISION DATE:	3-19-21 1ST SUBMITTAL 5-11-21 2ND SUBMITTAL
PROJECT NUMBER:	200598
SHEET NUMBER:	C7.1

SWPPP

LAND PROJECTS 20020598 MONONA/DES MOINES DETAILS/020201 4:20 PM

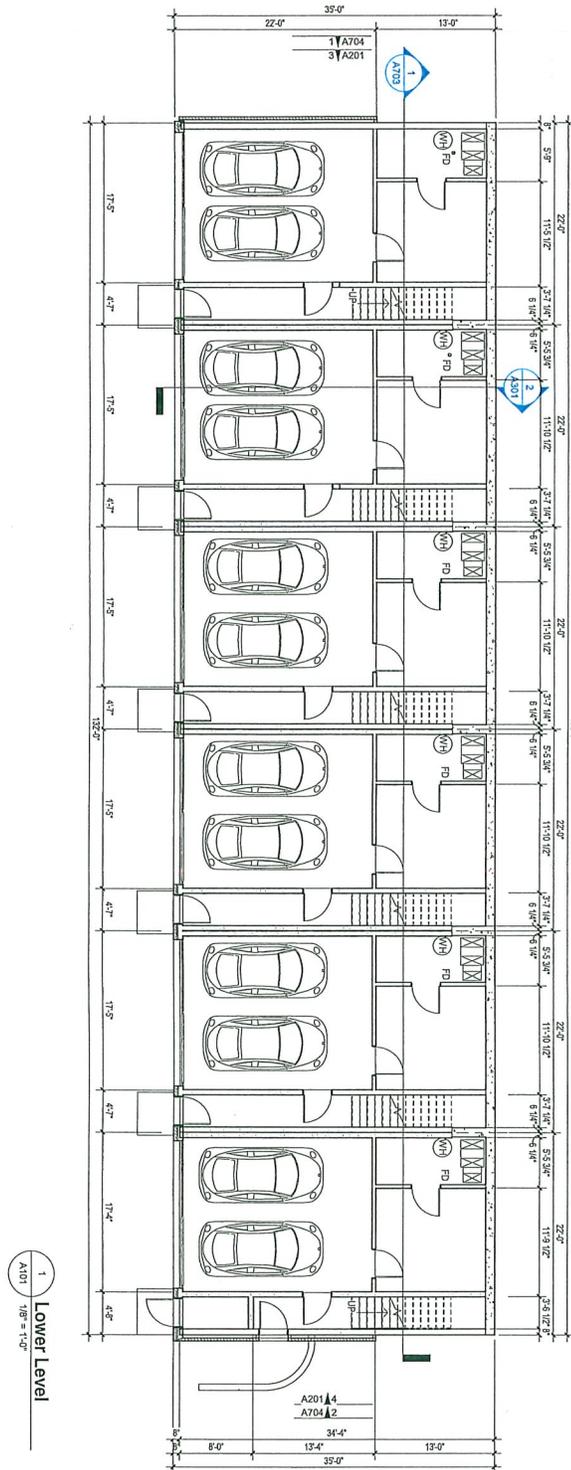


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Des Moines, Iowa 50323-8325
Phone: 515-276-6467 Fax: 515-276-6217
Established 1959

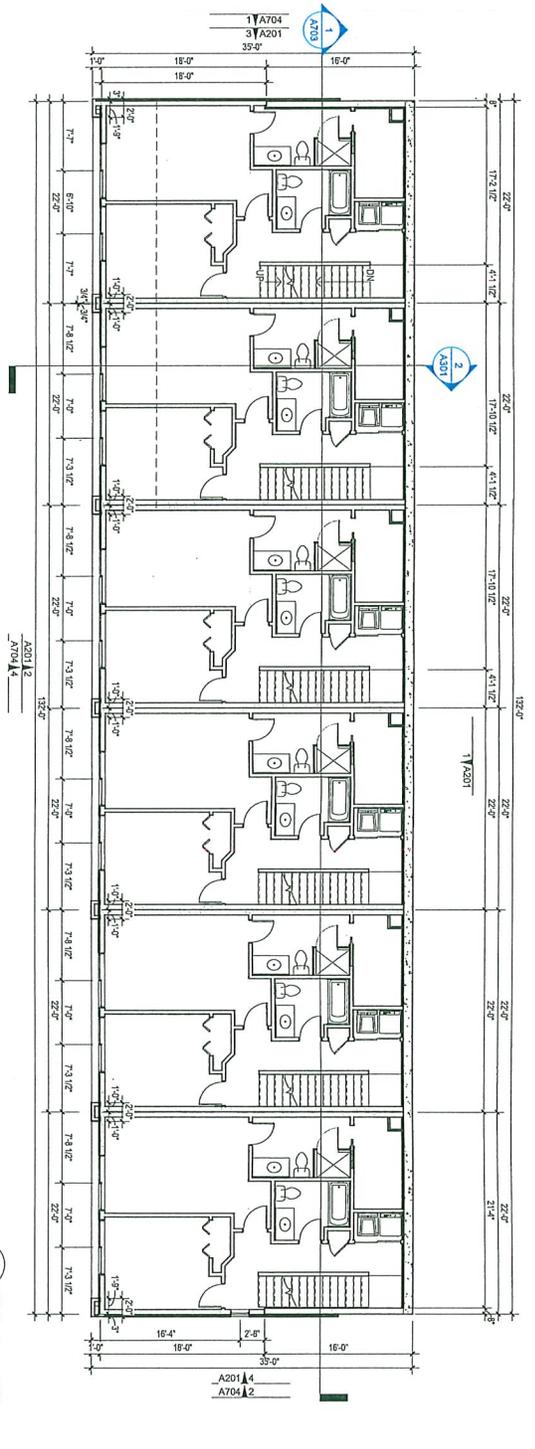
**MONONA TOWNHOMES
DES MOINES**

DETAILS SHEET

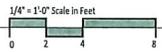
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CHECKED BY:	
REVISION DATE:	3-19-21 1ST SUBMITTAL 5-11-21 2ND SUBMITTAL
PROJECT NUMBER:	200598
SHEET NUMBER:	C6.1



1 Lower Level
A101 / 108 = 1'-0"



2 Main Level Plan
A101 / 108 = 1'-0"

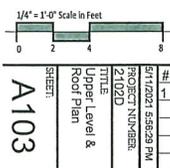
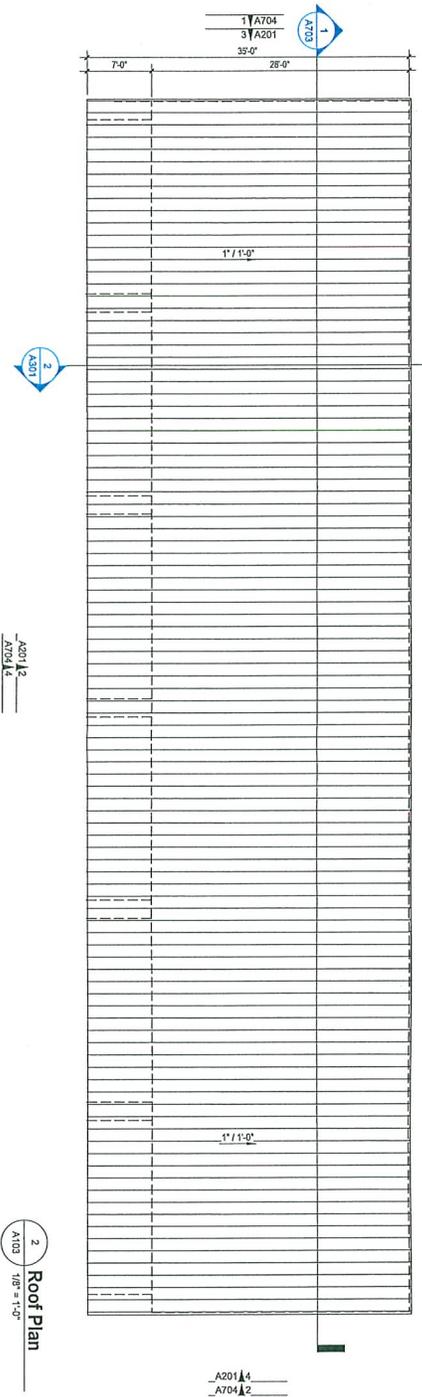
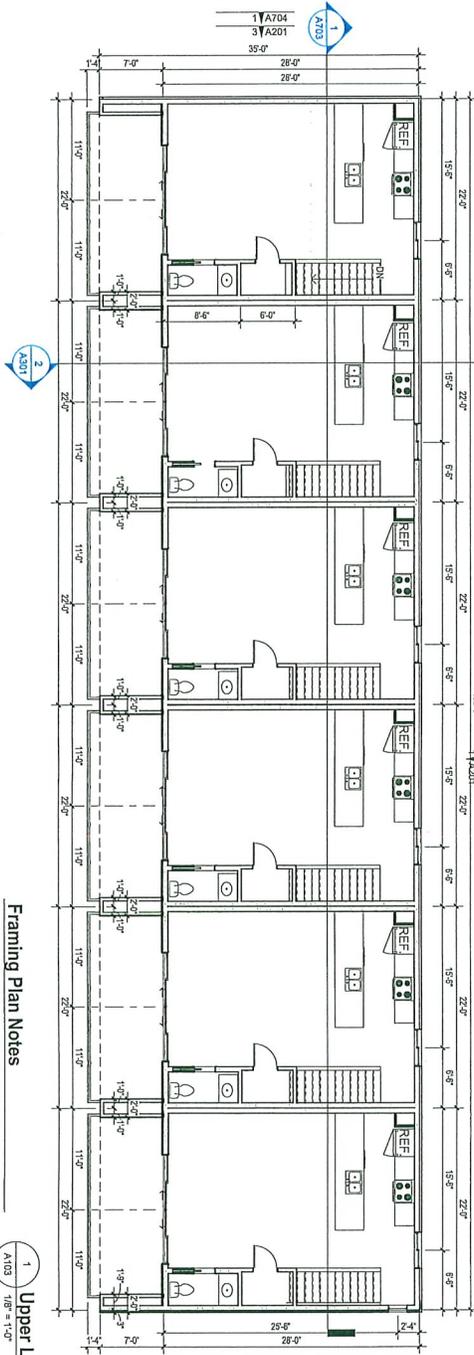


#	Date	Description
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PROJECT NUMBER: 5/11/2021 558238 PM
 TITLE: Lower Level & Main Floor Plans
 SHEET: A101

Elevate Townhomes
 Premier Construction
 Not For Construction
 Thomas Beck Road | Des Moines, Iowa

Creative Concepts
 Architecture, PLC
 103 E Gaines Street | Pulk City, Iowa 50226
 515 230 1358
 mail@creativeconceptsarch.com

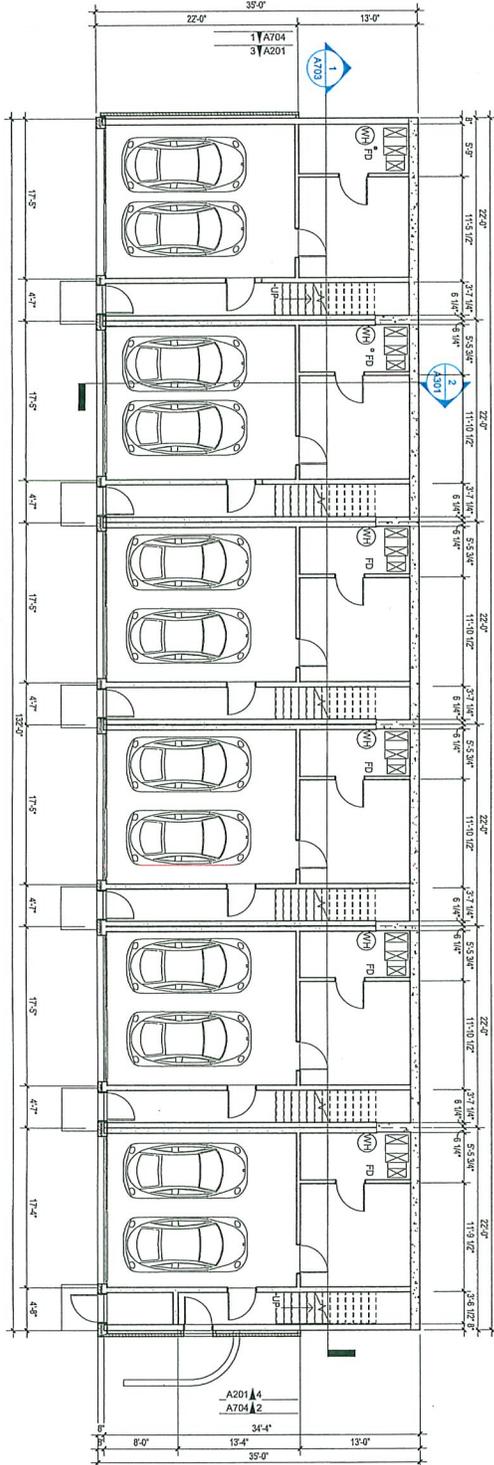


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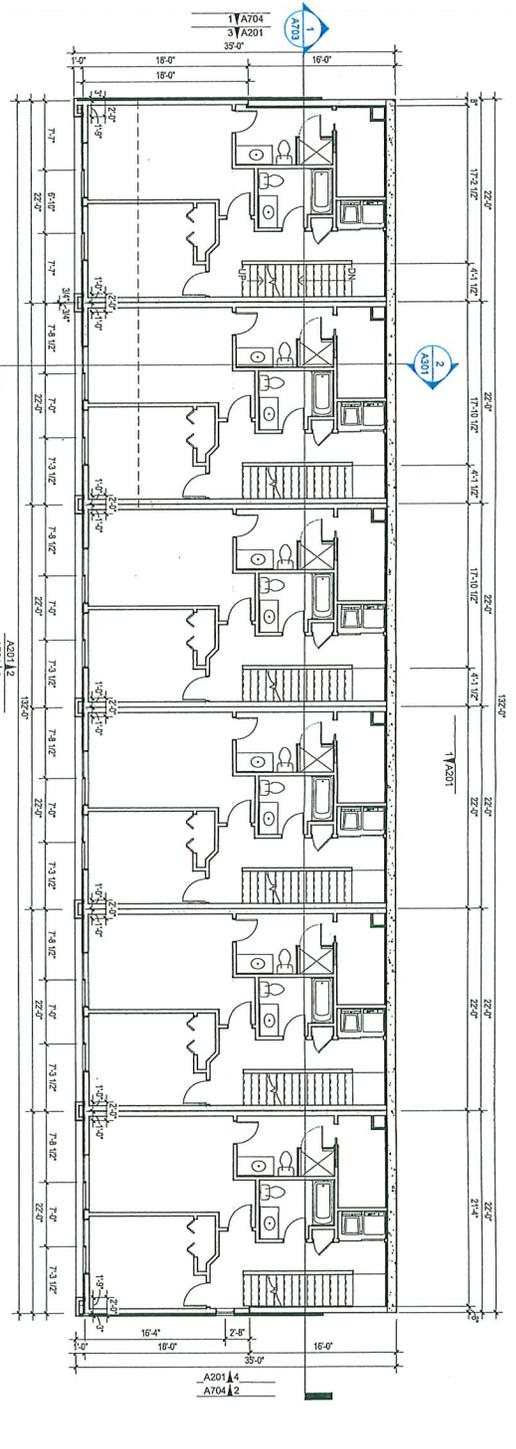
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 PROJECT NAME: 5710201 585828 PM
 TITLE: Upper Level & Roof Plan
 SHEET: A103

Elevate Townhomes
 Premier Construction
Not For Construction
 Thomas Beck Road | Des Moines, Iowa

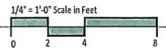
Creative Concepts Architecture, PLC
 103 E Grimes Street | Park City, Iowa 50226
 515 330 1358
 mail@creativeconceptsarch.com



1 Lower Level
A101 1/8" = 1'-0"



2 Main Level Plan
A102 1/8" = 1'-0"



A101

SHEET

Main Floor Plans

Lower Level &

21020

TITLE

PROJECT NUMBER

51110201 55628 BM

#1

Date

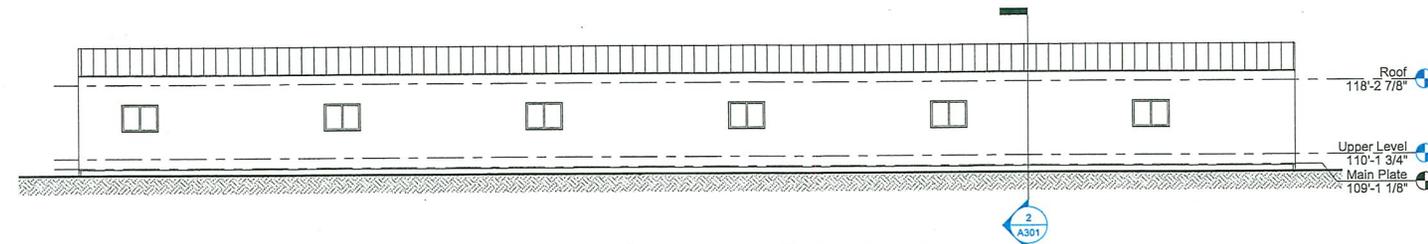
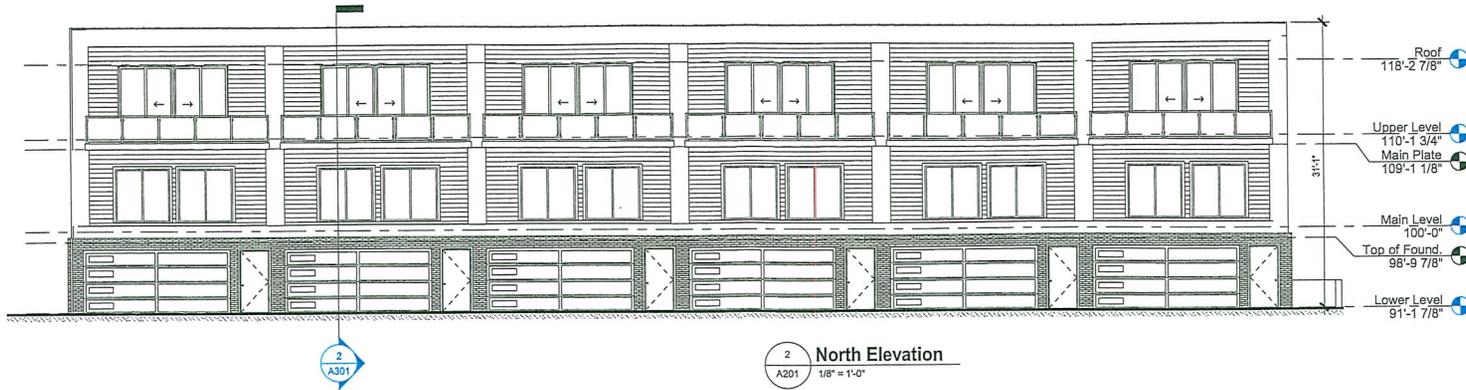
05/11/21

Description

Preliminary

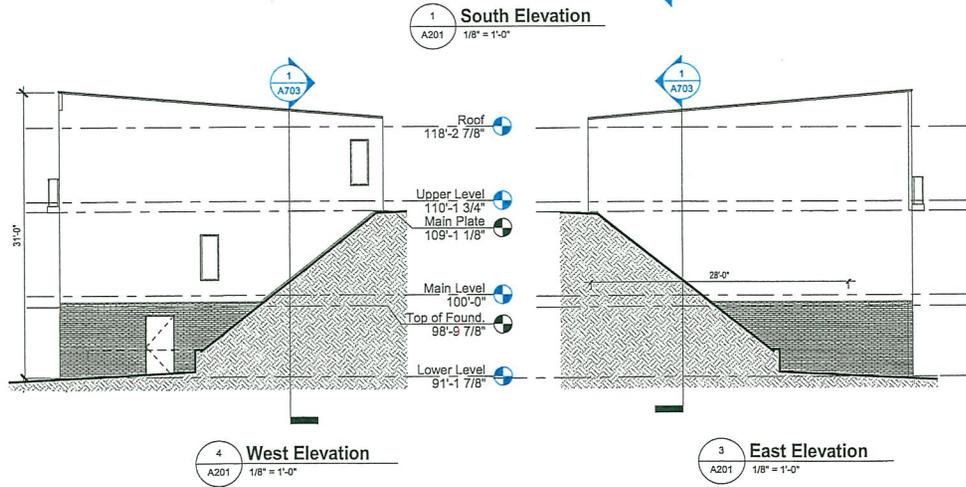
Elevate Townhomes
Premier Construction
Not For Construction
Thomas Beck Road | Des Moines, Iowa

Creative Concepts
Architecture, PLC
103 E Gimles Street | Park City, Iowa 50226
515 230 1358
mail@creativeconceptsbcm.com



Elevation Notes

- Grade shall have a minimum of 6" fall in the first 10'-0" out from the structure.
- Provide caulk and sealant to all voids, around windows and doors, at masonry, trim, to all exterior joints, penetrations, and material changes.
- Provide approved corrosion resistant flashing at exterior wall envelopes.
- Provide weather stripping at all exterior doors, and garage doors interior and exterior.
- Provide continuous gutters and downspouts at all eaves unless noted otherwise.
- Construction address or location number to be posted and plainly visible from the street frontage. Numbers to be Minimum 4" High with 1/2" stroke and contrasting background.
- All chimneys shall extend 2'-0" taller than any roof element within 10'-0" of the chimney. Provide a factory built fire box or stove. Provide manufacturers approved cap for chimney termination, a spark arrestor is required on all wood burning fire boxes or stoves.
- Exterior wall covering shall extend from the top of foundation to the roof and terminate at 2" nominal solid blocking between the rafters at all roof overhangs or at the underside of enclosed overhangs.
- It is the responsibility of the owner and/or builder to choose all paint colors, siding and trim sizes and styles. Recommended sizes are shown and called out where selected. Verify with owner.
- Roof shingles shall be applied over a minimum of one ply of #30 felt. Felt shall be laid parallel to the eaves with 2" top overlap minimum and 4" and overlap. Minimum roof slope shall be 3:12 slope. Ice and water shield at all eaves and valleys. Ice and water shield shall be installed a minimum of 24" from the inside face of the exterior wall below.
- All enclosed attics and rafter spaces shall have cross ventilation with a net free open area of not less than 1/150 of the attic area when vents are placed only in the upper part of the attic. When openings are placed in the upper and lower part of the attic the net free open area shall not be less than 1/1000 of the attic area. All openings shall be protected against the entrance of snow and rain.
- All trusses are to be designed by the truss manufacturer and provided with detailed drawings illustrating truss layout and engineering calculations. It is the owner's and/or builder's responsibility to supply any and or all of this information as required by the building department for permit. It is the truss manufacturer's responsibility to verify and adjust the size of members and framing carrying the roof loads. The truss manufacturer shall notify the Architect of any changes required to the drawings.
- Glass within 18" of the floor, 12" of a door swing, or within 60" of a water using fixture shall be tempered glass
 Windows shall be within 44" of the finish floor elevation
 minimum Width: 20"
 minimum Height: 24"
 minimum Net Clear Area: 5.7s.l. / 5.0s.l. At Grade



This drawing is provided as an informational service only. It is not intended to be used for construction. It is the responsibility of the contractor to verify all dimensions and conditions of the site before construction. It is the responsibility of the contractor to obtain all necessary permits and approvals. It is the responsibility of the contractor to ensure that the construction complies with all applicable codes and regulations. It is the responsibility of the contractor to ensure that the construction is completed in a timely and efficient manner. It is the responsibility of the contractor to ensure that the construction is completed in a safe and sound manner. It is the responsibility of the contractor to ensure that the construction is completed in a professional and courteous manner. It is the responsibility of the contractor to ensure that the construction is completed in a manner that is consistent with the highest standards of the industry. It is the responsibility of the contractor to ensure that the construction is completed in a manner that is consistent with the highest standards of the industry. It is the responsibility of the contractor to ensure that the construction is completed in a manner that is consistent with the highest standards of the industry.

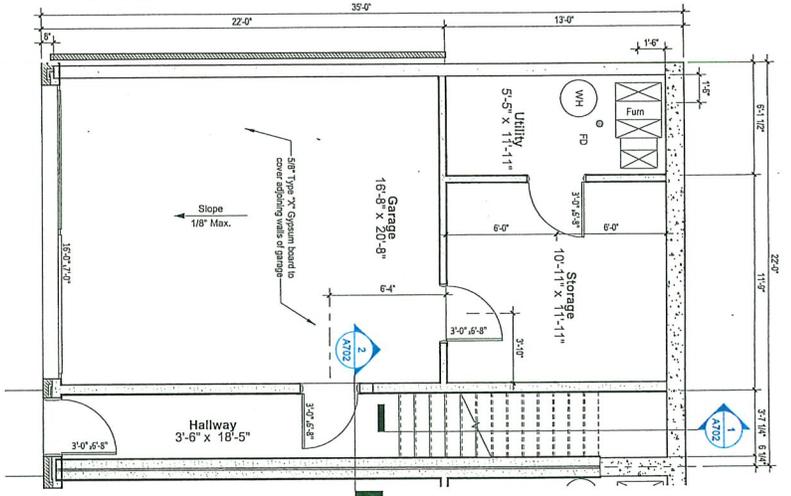
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5/11/2021 5:56:30 PM

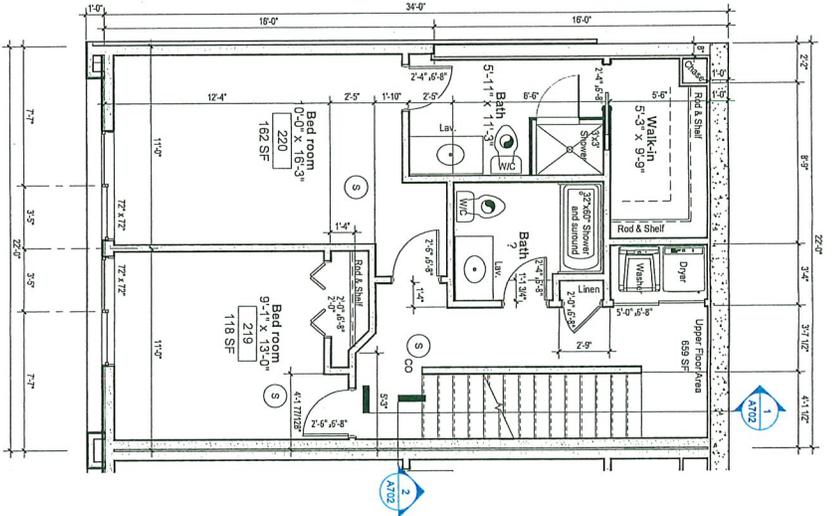
PROJECT NUMBER:
2102D

TITLE:
Exterior Elevations

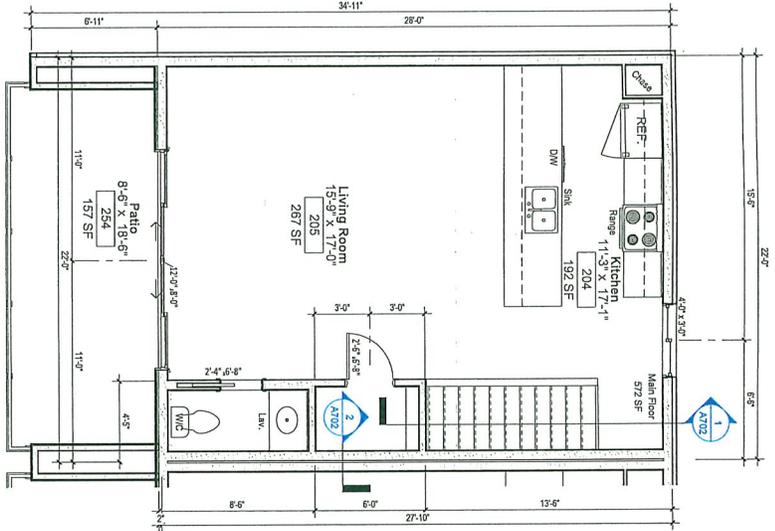
SHEET:
A201



1 Unit A Lower Level
A701 1/4" = 1'-0"



2 Unit A Main Level
A701 1/4" = 1'-0"



3 Unit A Upper Level
A701 1/4" = 1'-0"

Framing Plan Notes

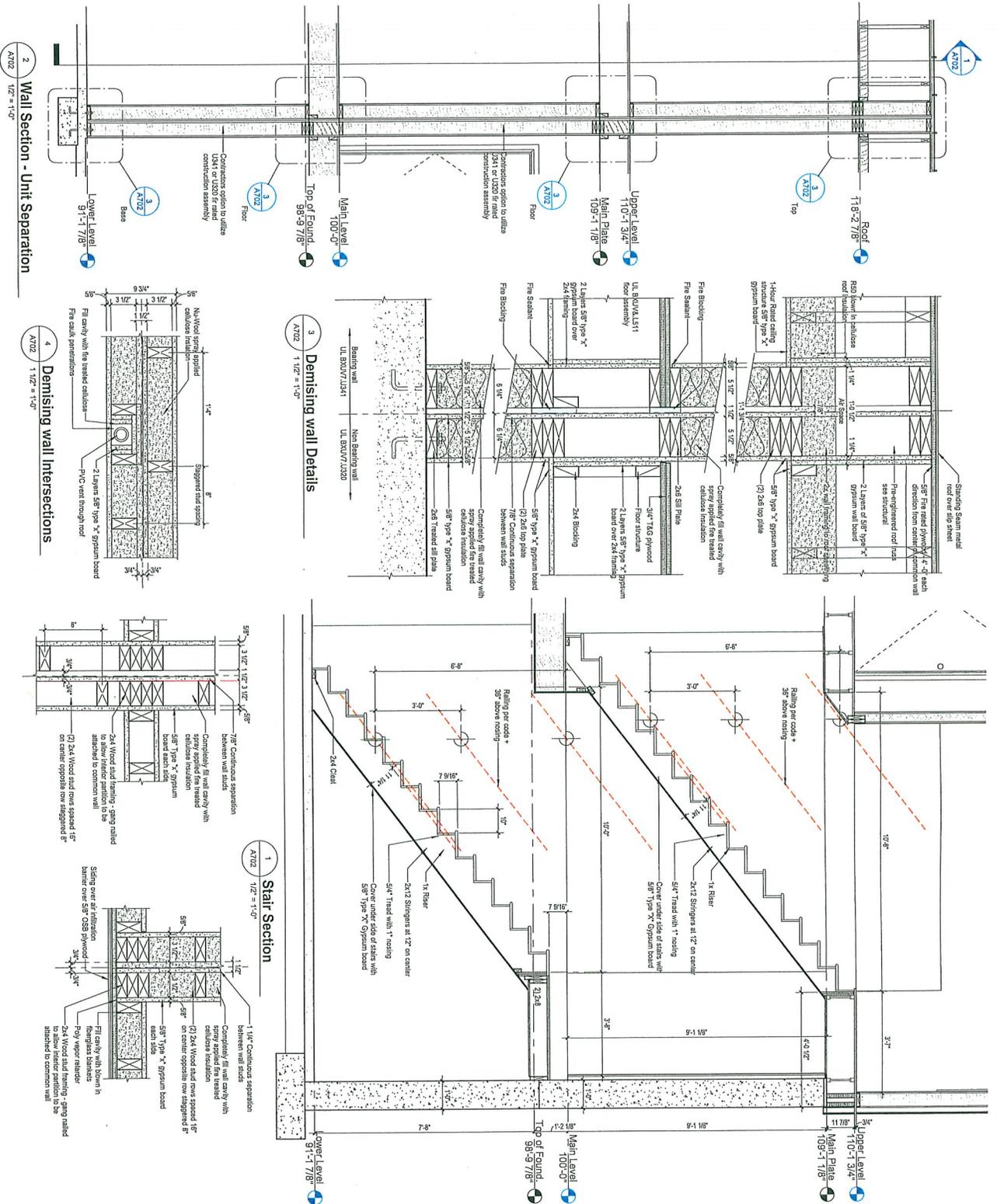
1. Dimensions are to face of existing finish material, the face of new studs or centerline of the structure unless otherwise specified.
2. All site, foundation, and equipment details are provided as coordination notes only. The contractor shall provide all other details for electrical, mechanical, electrical, plumbing, fire, and life safety, etc. for specific design information.
3. All framing shall be in accordance with the applicable building code, including but not limited to: framing, blocking for millwork, fixtures, equipment, future or by owner items, etc.
4. All framing shall be in accordance with the applicable building code, including but not limited to: framing, blocking for millwork, fixtures, equipment, future or by owner items, etc.
5. Contractor to coordinate all above ceiling jacking work, lighting, ductwork, or other systems to ensure proper installation and coordination with the existing structure.
6. Contractor to provide all framing details and specifications concerning the nature of interior demolition provided by the building owner prior to commencement of this project. Notify the architect immediately of any changes or omissions.
7. All dimensions are used as the basis of design. Verify rough opening and rough framing sizes when existing alternative windows.
8. Contractor to take measure to ensure new and existing floor levels align as required by owner.

#	Date	Description
1	05/11/21	Preliminary

PROJECT NUMBER: 2102D
DATE: 5/11/2021 5:58:32 PM
TITLE: UNIT A
SHEET: A701

Elevate Townhomes
Premier Construction
Not For Construction
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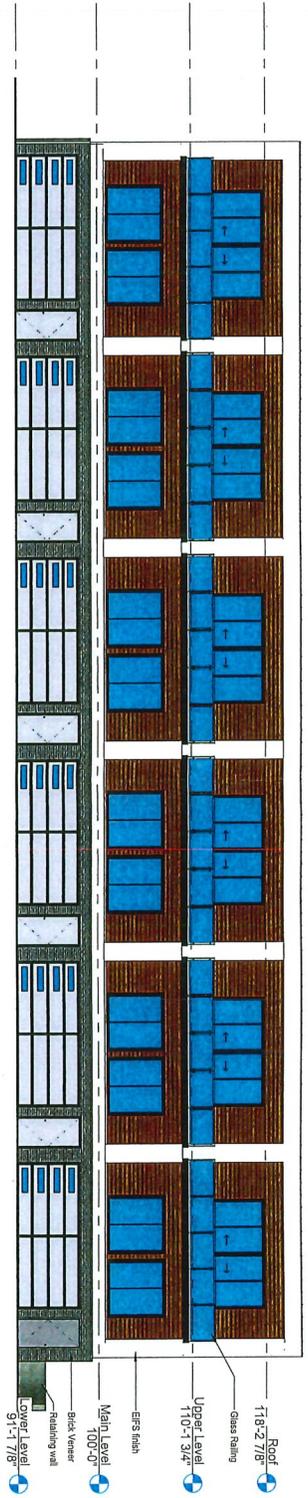


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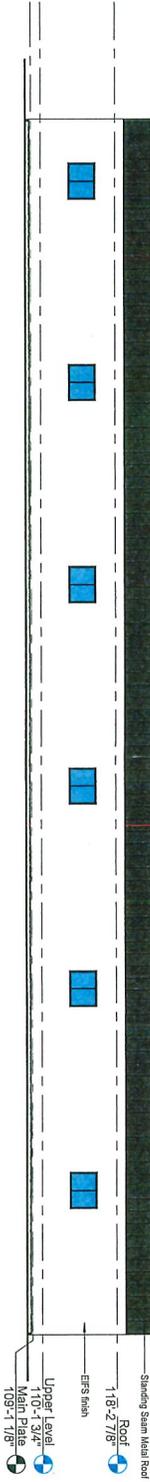
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2/10/20
UNIT: A Details
TITLE: A702

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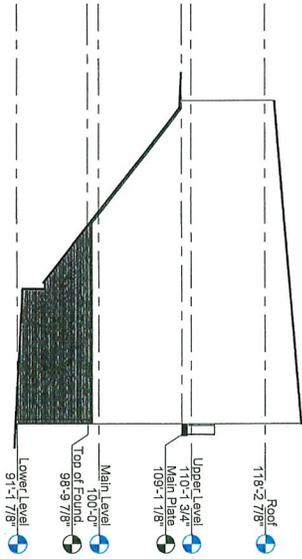
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103 E Grimes Street | Polk City, Iowa 50226
515 230 1358
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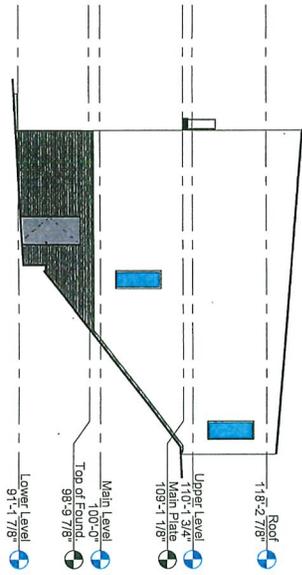
Colored North Elevation



Colored South Elevation



Colored East Elevation



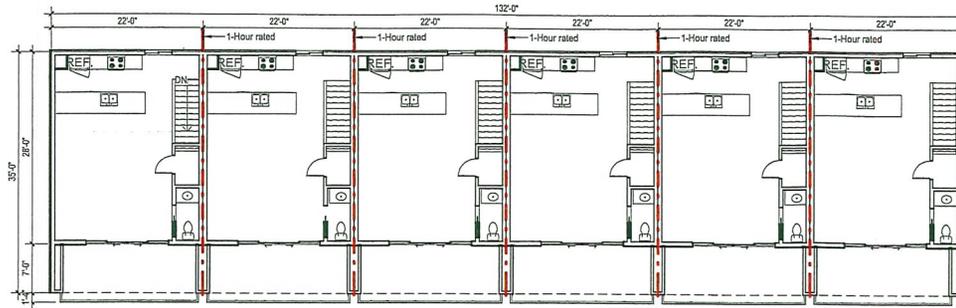
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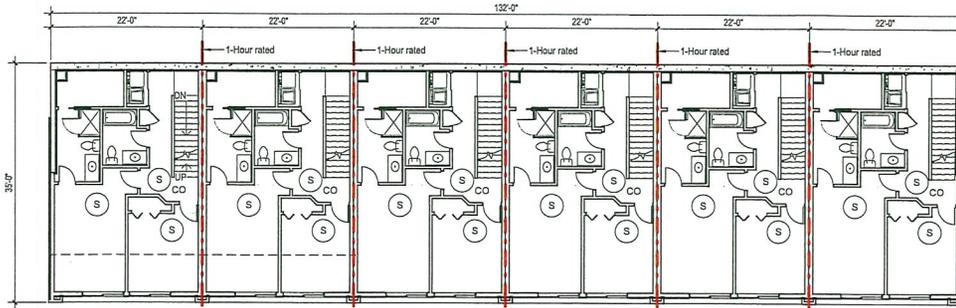
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 21020
 TITLE
 Colored
 Elevations
 SHEET
A704

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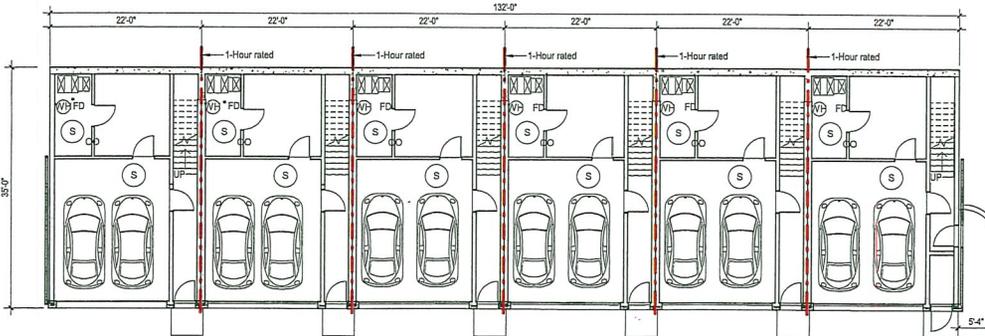
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3 Upper Level - Code Plan
F101 3/32" = 1'-0"



2 Main Level Plan - Code Plan
F101 3/32" = 1'-0"



1 Lower Level - Code Plan
F101 3/32" = 1'-0"

2018 International Building Code
Sprinklered
304.1 Occupancy Class
420.2 Separation Walls
420.4 Sprinkler system
420.5 Fire and Smoke Alarm

504.3 Maximum Height
504.4 Maximum Stories
506.2 Maximum Floor area
508.4 Occupancy separation
510.4 Parking below Group R

601 Construction Type
601 Fire Rating Requirements

708.3 Fire Resistance Rating
708.4 Continuity

906.3(1) Portable Fire Extinguisher
907.2.9 Manual Fire Alarm System

1004.5 Occupant Load
1005.3.1 Egress Width Stairs
1005.3.2 Egress Width Others
1008.3.2(2) Common Path of Travel
1008.3.3(2) Two Means of Egress required at

1007.1.1 Multiple Exit Separation
1010.1.2 Swing in the Direction of Egress
1017.2 Maximum Travel Distance
1020.4 Dead end Link
1020.2 Minimum width

YES
Residential Group R-2
Follow 708 Fire Partition
Required
Required

Req. Exit.
40'-0" 31'-0"
3 3
7,000 sf 4,725 sf
R to S-2 = 1-Hour Req. / Sprinklered
Fire Separation Required

V-B
No rating requirements
1 hour
Continuous from foundation to structure
above - floor assembly or roof sheathing

75' Max. Travel Distance Separation
or as required by fire code official
NOT REQUIRED by exception 1, 2, & 3
See Occupant Analysis table
37' Occupant at Stairs &
27' Occupant all others 36' Min.
75'-0"
> 10 occupants
> 1/2 Diagonal Distance w/o Sprinkler
> 1/3 Diagonal Distance w/ Sprinkler
R-2 Exception -> 50 occupants
250'-0" S / 200'-0" NS
50' Sprinklered - 20' w/o Sprinkler
36'

City of Des Moines Codes

CODE	DESCRIPTION
2018	International Building Code
2018	International Mechanical Code Per State of Iowa
2018	Uniform Plumbing Code Per State of Iowa
2012	International Energy Conservation Code
2020	National Electrical Code
2015	International Fire Code

Floor Area Schedule

Description	Area	Level
Garage	367 SF	Lower Level
Basement	373 SF	Lower Level
Basement	373 SF	Lower Level
Basement	373 SF	Lower Level
Basement	373 SF	Lower Level
Basement	337 SF	Lower Level
Main Floor	558 SF	Upper Level
Upper Floor	174 SF	Upper Level
	2927 SF	

Egress & Life Safety Legend

Wall Construction

- 1 Hour Rated Construction
- UL: BMUV U320
- 2 Hour Rated Construction
- 3 Hour Rated Construction
- Smoke Sealed Construction

Travel Path

Exit Path A

- Path Name / Label
- Start Point
- Segment Length
- Exit Point
- Total Length of Path & Label

108'-0" Exit Path A

Life Safety Devices

- Smoke Detector
- Smoke & Carbon Monoxide Detector

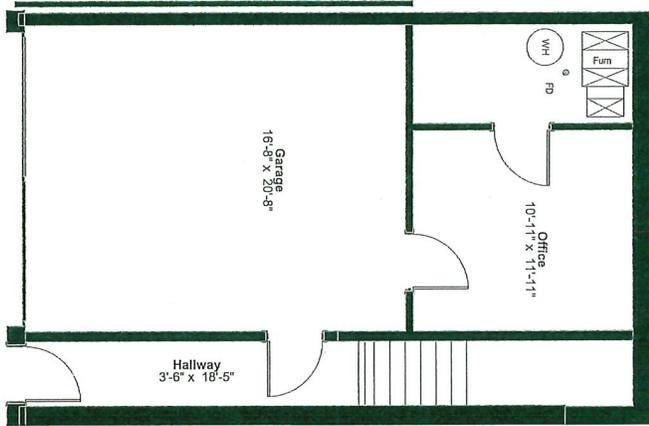
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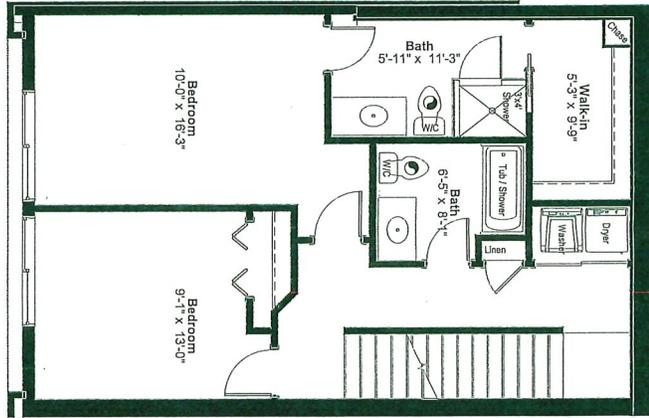
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2102D
TITLE:
Code Analysis
SHEET:
F101

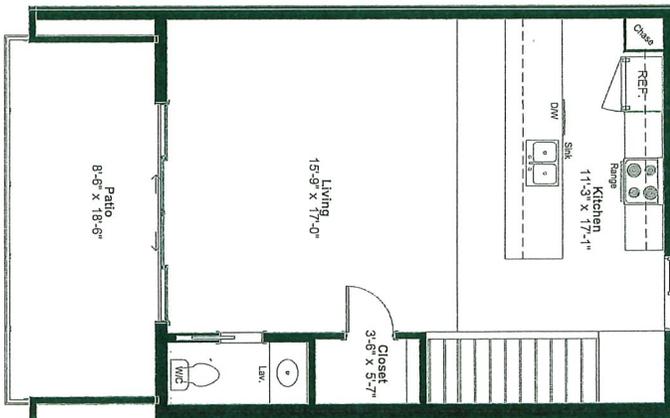
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Unit A Lower Level Web



Unit A Main Level Web



Unit A Upper Level Web

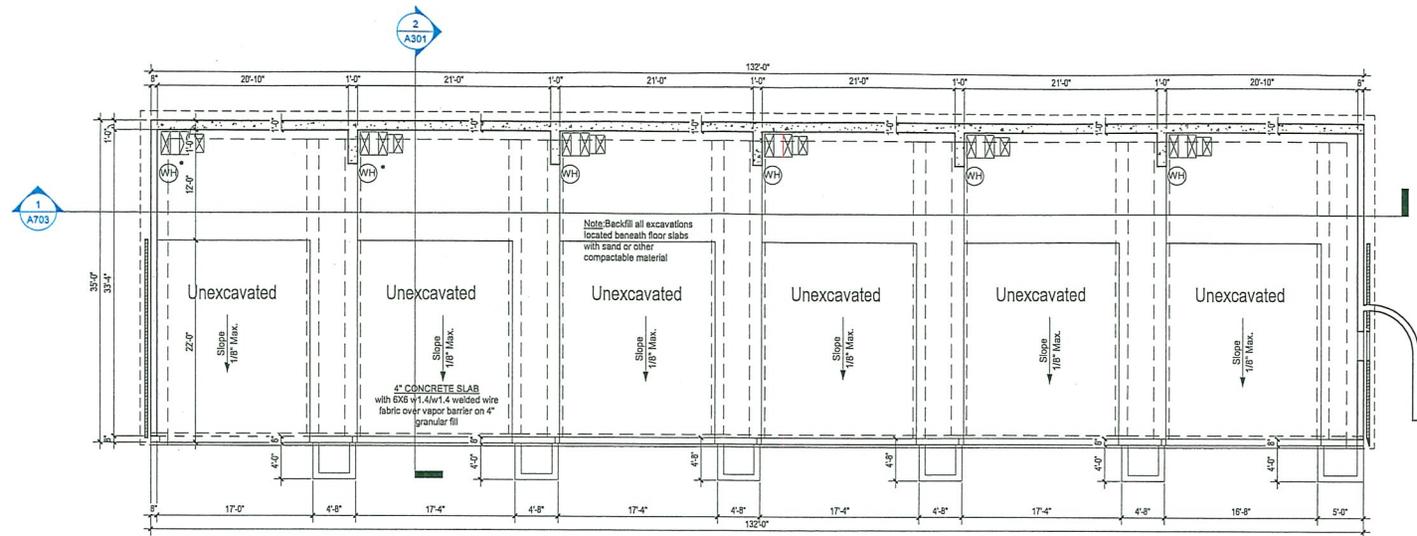
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 21020
 TITLE
 Web Images

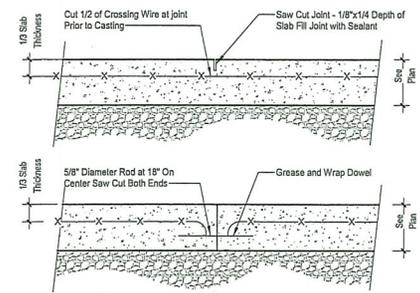
SHEET
P101

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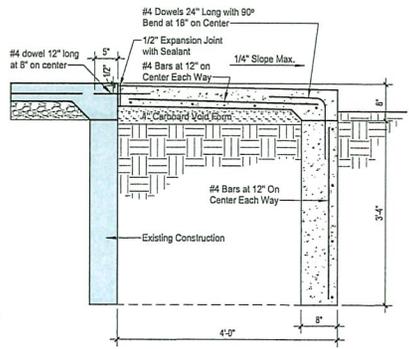
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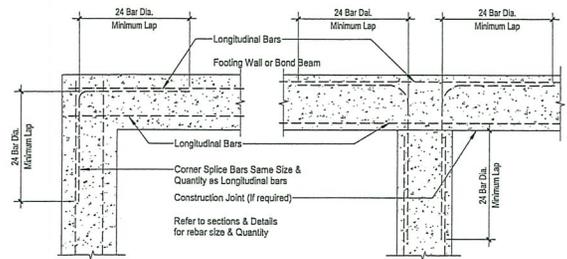
Note:
Maximum Joint Spacing Shall be 30 Times the slab thickness in each direction unless shown otherwise on plan



2 Control Joints
S101 1 1/2" = 1'-0"



3 Stoop Detail
S101 3/4" = 1'-0"

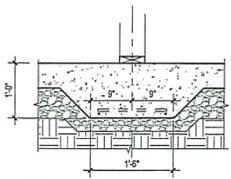


5 Rebar Continuity
S101 3/4" = 1'-0"

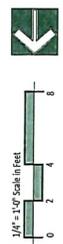
1 Foundation
S101 1/8" = 1'-0"

Foundation Notes

- All anchor bolts shall conform to ASTM F1554 - 36ksi
- Concrete foundations to be 3,000psi - Concrete slabs to be 4,000psi
- All reinforcing to be grade 60
- #4 bar lap = 2'-0" - #5 bar lap = 3'-4" - #6 bar lap = 4'-0"
- Foundation design base on 2,000psf soil bearing capacity
- All concrete shall be reinforced unless otherwise noted
- Concrete to be placed over dry sub-grade to prevent heaving in winter
- Forms where concrete is to be exposed shall be smooth and free from defects
- Changes in elevation for footings and foundation walls are for design intent only. Actual elevations shall be verified with final grade during construction. Maintain 42" minimum frost protection on all footings
- All concrete shall be saw cut. If saw cuts are not specified contact Architect or Engineer. If possible saw cut under demising walls
- Exterior paving to be 1 1/2" lower than interior finish sloping away from building. Where no paving, top of grade to be a minimum of 8" below finish floor
- Concrete slab shall be installed true to a plane with no deviations greater than 1/4" in 10'-0" in any direction and free from blemishes and trowel marks
- Apply trowel finish to monolithic slab surface exposed to view and slab surface to be covered with resilient flooring, carpet, ceramic or quarry tile, paint, or another thin film-finish coating system. grind smooth any surface defects that would telegraph through applied floor coverings system
- Apply a non-slip finish perpendicular to main traffic route to all exterior concrete platforms, steps, and ramps
- Prior to commencing work contractor to verify elevation of existing floor. Contractor to ensure alignment of new and existing floor elevations



4 Thickened Slab
S101 3/4" = 1'-0"



#	Date	Description
1	05/11/21	Preliminary
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PROJECT NUMBER: 2102D		
TITLE: Foundation Plan		
SHEET:		
S101		

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