



Date August 22, 2022

RECEIVE AND FILE COMMUNICATION FROM THE PLAN AND ZONING COMMISSION REGARDING PRELIMINARY PLAT "PINNACLE ON FLEUR" ON PROPERTY LOCATED IN THE VICINITY OF 2710 FLEUR

WHEREAS, on August 4, 2022, the City of Des Moines Plan and Zoning Commission voted 11-0 to APPROVE a request from Pinnacle on Fleur, LLC (owner), represented by Jenna Kimberley (officer), for Preliminary Plat "Pinnacle on Fleur" on property located in the vicinity of 2710 Fleur Drive, to allow subdivision and development of approximately 2.79 acres with 23 townhome lots, subject to all administrative review comments.

WHEREAS, the final subdivision plat will be submitted for City Council approval when completed.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, that the attached communication from the City Plan and Zoning Commission is hereby received and filed.

MOVED BY _____ to receive and file.

Second by _____.

FORM APPROVED:

/s/ Lisa A. Wieland
Lisa A. Wieland
Assistant City Attorney

(PLAT-2022-000044)

Table with 5 columns: COUNCIL ACTION, YEAS, NAYS, PASS, ABSENT. Rows include COWNIE, BOESEN, GATTO, SHEUMAKER, MANDELBAUM, VOSS, WESTERGAARD, and TOTAL.

CERTIFICATE

I, Laura Baumgartner, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

MOTION CARRIED APPROVED

Mayor

City Clerk



Date 8/22/22

Agenda Item 19

Roll Call # _____

August 16, 2022

Communication from the City Plan and Zoning Commission advising that at their August 4, 2022 meeting, the following action was taken regarding a request from Pinnacle on Fleur, LLC (owner) represented by Jenna Kimberley (officer) for review and approval of a Preliminary Plat "Pinnacle on Fleur" on 2.79 acres of property in the vicinity of 2710 Fleur Drive, for development of 23 townhome lots.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 11-0 as follows

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dan Drendel	X			
Leah Rudolphi				X
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Chris Draper				X
Todd Garner	X			
Johnny Alcivar	X			
Justyn Lewis	X			
Carolyn Jenison				X
William Page	X			
Andrew Lorentzen	X			
Emily Webb	X			

APPROVAL of the proposed Preliminary Plat, subject to compliance with all administrative review comments.

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed Preliminary Plat, subject to compliance with all administrative review comments.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing a Preliminary Plat to subdivide the subject property to create 23 lots and one (1) outlot for a townhome development. The 23 lots are for individual townhome units within four buildings on the site.
2. **Size of Site:** 121,192 square feet (2.79 acres).
3. **Existing Zoning (site):** Village at Gray's Lake "PUD" Planned Unit Development.
4. **Existing Land Use (site):** The site is currently vacant land.
5. **Adjacent Land Use and Zoning:**
 - North** – "PUD", Uses are office and restaurant.
 - South** – "NX2", Use is multi-household residential.
 - East** – "PUD" and "RX1", Uses are office and event space.
 - West** – "NX2", Use is multi-household residential.
6. **General Neighborhood/Area Land Uses:** The surrounding area consists of a mix of apartments, townhomes, offices and assembly uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Southwestern Hills Neighborhood. The neighborhood association was notified of the Commission meeting by mailing of the Preliminary Agenda on July 15, 2022 and mailing of the Final Agenda on July 29, 2022. Notifications of the hearing for this specific item were mailed on July 25, 2022 (10 days prior to the public hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Southwestern Hills Neighborhood notices were mailed to George Davis at 3124 SW 29th Street, Des Moines, IA 50321.

8. **Relevant Zoning History:** On October 14, 2019, by Ordinance No. 15,813, the City Council rezoned the subject property from "M-3" Limited Industrial District and "R-3" Multiple Family Residential District to "PUD" Planned Unit Development District along with adoption of the Village at Gray's Lake PUD Conceptual Plan.

On May 18, 2020, by Roll Call No. 20-0863, the City Council approved the 1st Amendment to the Village at Gray's Lake PUD Conceptual Plan to allow the Lot 5 area to be redeveloped with 20-units of multi-household rowhomes. This was subject to the following revisions to the Conceptual Plan:

- 1) Addition of a statement as to how stormwater management would be handled with future redevelopment.
- 2) Landscaping requirements should be indicated listing standards reflective of the Conceptually shown landscaping.
- 3) Provide the following notes on the PUD Conceptual Plan Amendment:
 - a. Streetscape: Street Trees should be spaced 30' apart within the right-of-way along each frontage. Trees should be no closer than 15' to a street light.
 - b. Frontage Perimeter Landscaping: The required area shall be a minimum of 12-feet in depth measured from the street property line with a 3-foot berm or landscaped screen. Shade trees and shrubs shall be provided at a minimum of 1 tree and three shrubs per 40 lineal feet on center.
 - c. Pedestrian access from any building to a street sidewalk shall be provided and clearly marked / striped on site. Lighting along pedestrian walks shall be a maximum of 15' in height.
 - d. No new mechanical equipment, meters, transformers, condensers, or other such equipment shall be provided on any street side façade. At minimum, such equipment shall be setback from the street façade a minimum of 15'.
 - e. Any mechanical equipment interior to the site shall be softened with landscaping material outside any equipment clearance setbacks.
 - f. Mechanical vents shall not protrude from any street facing façade. A minimum 5' sidewalk is required along each frontage. Identify either indoor or covered bike parking amenities.
 - g. Easements shall be provided for shared vehicle/pedestrian ingress/egress between sites and to the public sidewalk.
 - h. Direct light trespass beyond the property lines is prohibited. The maximum horizontal illuminance at grade and the maximum illuminance at five feet above graded measure at the property line shall not exceed illuminating Engineering Society of North America recommended practices for light trespass which is 0.5 footcandles for N districts and 2.0 footcandles for all other districts.
 - i. Any Final Development Plan shall discuss the method for trash removal service. If receptacles are not kept within the separate garages for the units, then a screening solution for their outdoor location would need to be shown on the Final Development Plan.
 - j. Provisions for permitted site fencing and walls to include heights, design, and materials. Fencing in the front yard between the row townhomes and Fleur should not exceed 4 feet in height.
- 4) Revise typical Row House Type elevations to:
 - a. label required materials.
 - b. show stone material wrapped around 360 degrees of the buildings on the main story level, exclusive of windows and door openings.
 - c. show end unit elevations for facades of the units closest for Fleur Drive with a separate pedestrian entrance either from the garage or unit that would have a walkway to the private drive. The entrance shall be defined with a design appropriate awning or cover.

- d. show a minimum of 12% transparency on the façade of the lower/garage floor ends of the buildings oriented toward Fleur Drive. More transparency may be required to receive tax abatement.

9. PlanDSM Future Land Use Plan Designation: Community Mixed Use.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission shall determine if such Preliminary Plat conforms to the standards and requirements outlined in Chapter 354 of the Iowa Code, and the City Subdivision Ordinance and shall approve, conditionally approve or reject such Plat within 45 days after the date of submission to the City Permit and Development Center. Unless the applicant agrees in writing to an extension of time, the Preliminary Plat shall be deemed approved if the Commission does not act within such 45-day period. The Commission's action for approval or conditional approval shall be null and void unless the Final Plat is submitted to the City Permit and Development Center within 270 days after the date of such action; provided, however, that the Permit and Development Administrator may grant, upon written request of the applicant, up to a 90-day extension for submittal of the Final Plat to the City Permit and Development Center.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. General Layout:** Four townhome buildings with a total of 23 units are proposed: a northern building with 8 units, a western building with 7 units, and two southern buildings each with 4 units. Each unit is proposed to be platted onto an individual lot. Access to the townhomes will be provided through a central private street to be constructed on an outlot under common ownership. A single driveway access is proposed from Fleur Drive.
- 2. Drainage/Grading:** The subject property generally slopes downward from east to west. Storm water drainage for the site is proposed to be directed to a basin located at the western side of the property.
- 3. Utilities:** Sanitary sewer service will be provided to the site by a public main that will run centered within the private access drive. Each unit will be served by a private connection to the public main.
- 4. Landscaping & Buffering:** The applicant is proposing shade trees along the northern and southern property boundaries consistent with the PUD Concept Plan. Frontage buffer landscaping including fencing, shade trees, and shrubs will be provided along the eastern, public street-facing side of the property. In addition, understory street trees will be provided within the right-of-way.

SUMMARY OF DISCUSSION

Emily Webb asked if any member of the public or commission desired to speak on the item. No one requested to speak.

COMMISSION ACTION:

Johnny Alcivar made a motion for approval of the proposed Preliminary Plat, subject to compliance with all administrative review comments.

Motion passed: 11-0

Respectfully submitted,

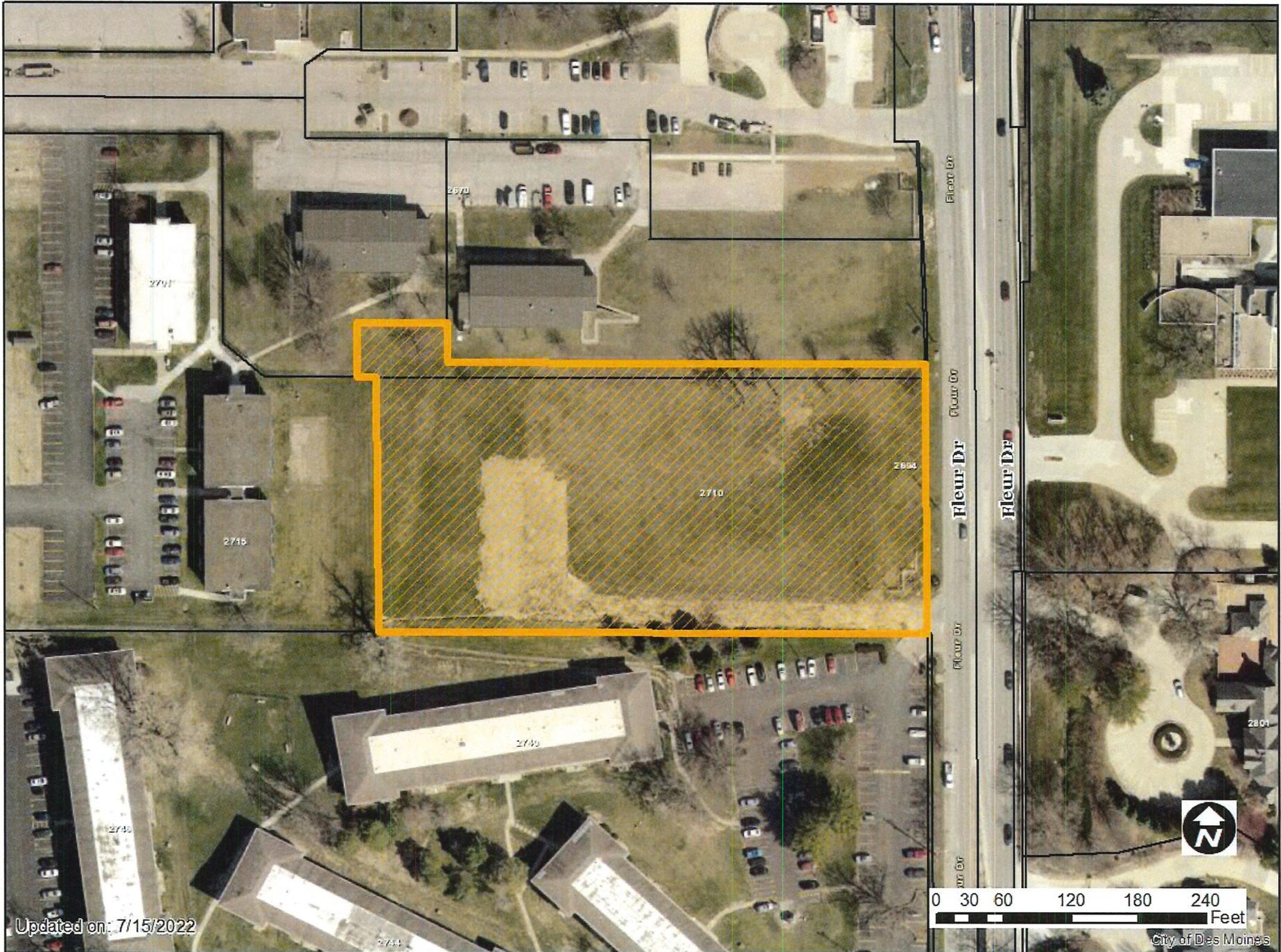
A handwritten signature in blue ink, appearing to read "Jason Van Essen".

Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

Pinnacle on Fleur, LLC, Parcels in Vicinity of 2710 Fleur Drive

PLAT-2022-000044



Updated on: 7/15/2022

1 inch = 113 feet

GENERAL NOTES

1. ALL WORK IN THE CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
2. ALL WORK IN THE CITY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH SUDAS AND THE CITY OF DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUDAS EFFECTIVE AT THE TIME OF PLAN APPROVAL.
3. CONTACT CITY FORESTER (515) 281-4000 BEFORE ANY TREE INSTALLATION COMMENCES.
4. ANY ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
5. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS AND SHALL BE SETBACK FURTHER THAN 15 FEET FROM ANY BUILDING FACADE ORIENTED TOWARD FLEUR DRIVE.
6. LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
7. THE REQUIRED LANDSCAPING BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
8. ROOFTOP MECHANICAL PLANS AND SCREENING.
9. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE PUD FINAL DEVELOPMENT PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
10. A SIDEWALK/DRIVE APPROACH FIXTURE IS REQUIRED.
11. LIGHTING SHALL BE RECESSED IN SCALE HAVING POLES NO TALLER THAN 20' WITH CUT-OFF DOWN DIRECTIONAL FIXTURES, AND SHALL NOT INTERFERE WITH LANDSCAPING.
12. PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO UPC. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.
13. CURB TO BE 3-INCH ROLLED CURB PER DETAIL SHOWN ON GRADING SHEET.
14. ALL TRASH & RECYCLING SHALL BE HANDLED THROUGH RESIDENTIAL TRASH PICKUP & ALL TOTES SHALL BE STORED WITHIN GARAGES UNTIL THE DAY OF PICKUP.
15. ALL LIGHTING ALONG PEDESTRIAN WALKS SHALL BE A MAXIMUM OF 15' IN HEIGHT. LIGHT TRESPASS AT PROPERTY LINES SHALL NOT EXCEED 0.5 FOOTCANDLES FOR N DISTRICTS AND 2.0 FOOTCANDLES FOR ALL OTHER DISTRICTS.

DIMENSION NOTES

1. ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH SUDAS.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNDERGOING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THESE FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUDAS.
5. PAVEMENT SHALL BE 7-INCH P.C.C. IN PUBLIC RIGHT-OF-WAY.
6. PAVEMENT IN PARKING SHALL BE 6-INCH P.C.C.
7. ALL SIDEWALKS SHALL BE 4-INCH P.C.C.

DISTURBED AREA
133,729 S.F. (3.07 ACRES)

PARKING REQUIREMENTS

REQUIRED PARKING:
2 SPACES PER DWELLING UNIT
PROVIDED:
85 SPACES PROVIDED (INCLUDES 0 HANDICAP SPACES)

BIKE RACK REQUIREMENTS

REQUIRED 10% OF PROVIDED PARKING
85 x 10% = 8.5
PROVIDED:
9

BENCHMARK

DES MOINES BENCHMARK #8986
BRASS PLUG IN SOUTHEAST CORNER OF TRAFFIC BASE AT THE NORTHWEST CORNER OF INTERSECTION OF BELL AVENUE AND FLEUR DRIVE.
ELEVATION = 68.145

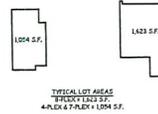
SHEET INDEX

1. DIMENSION PLAN
2. GRADING PLAN
3. UTILITY PLAN
4. LANDSCAPE PLAN

SITE AREAS

BUILDING	28,789 S.F.	23.4%
PAVING	28,729 S.F.	23.4%
OPEN SPACE	64,105 S.F.	52.8% (DOT required)
TOTAL	121,703 S.F.	100%

TYPICAL LOT AREAS



VICINITY SKETCH

PRELIMINARY PLAT
PINNACLE ON FLEUR
Sheet 1 of 4

OWNER/APPLICANT

PINNACLE ON FLEUR, LLC
2785 NORTH ANKENY BLVD SUITE 22
ANKENY, IOWA 50003
515-243-8838
BILL@PINNACLE.COM

ZONING

THE VILLAGES AT GRAY'S LAKE P.U.D. (ZON2019-00152)

PROJECT USE

MULTIPLE HOUSEHOLD LOW DENSITY DWELLINGS
MAXIMUM UNITS: 20
MAX. STORY HEIGHT: 3.5 (PROPOSED + 49.5' FT.)

SETBACKS

FRONT-25'
REAR-25'
SIDE-0'

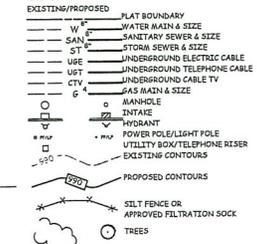
PARKING SETBACKS

WEST-0'
EAST-15'
SOUTH-0'

LEGAL DESCRIPTION

LOTS 5, THE VILLAGE AT GRAY'S LAKE, AN OFFICIAL PLAT, CITY OF DES MOINES, POLK COUNTY, IOWA, EXCEPT PARCEL 2020-30 OF THE PLAT OF SURVEY RECORDED IN BOOK 1704D PAGE 910 IN THE POLK COUNTY RECORDS, POLK COUNTY, IOWA, AND EXCEPT THE EAST 200 FEET, CONTAINING 2.79 ACRES MORE OR LESS.

LEGEND



CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRADLEY F. COOPER
LICENSED PROFESSIONAL ENGINEER
NO. 12345
IOWA

BRADLEY F. COOPER, IOWA LICENSE NO. 12345
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL:
Sheet 1 of 4

COOPER CRAWFORD & ASSOCIATES, L.L.C.
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345
DATE: 6-30-2022 REVISIONS:



APPROVED: [Signature] INITIALLED: [Signature] AS-BUILT: [Signature]
JOB NUMBER: CC 2241
DIMENSION PLAN
PINNACLE ON FLEUR
SHEET 1 OF 4

PRELIMINARY PLAT APPROVAL:

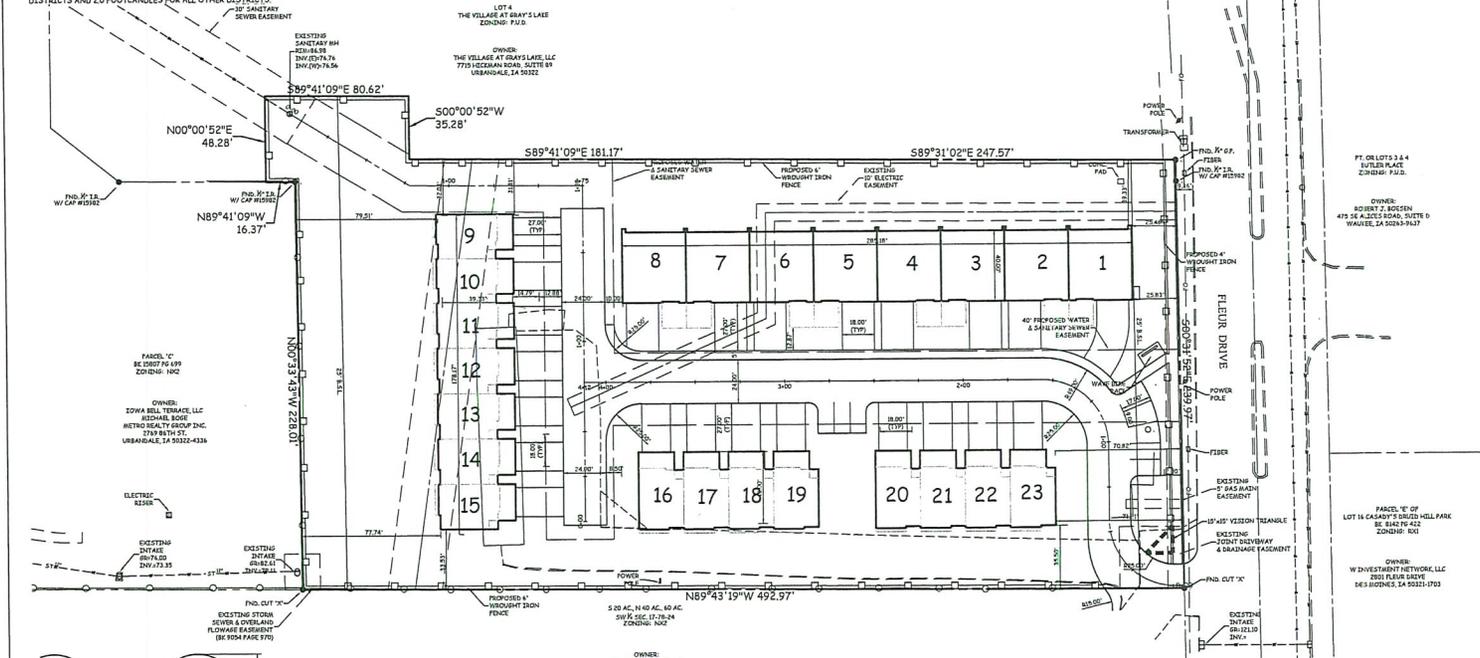
APPROVED APPROVED WITH CONDITION (if shown)

IN ACCORDANCE WITH SECTION 153-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.

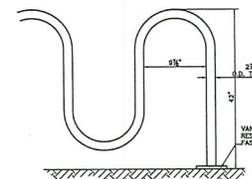
DATE: CITY COUNCIL
DATE: COMMUNITY DEVELOPMENT DIRECTOR

PUD FINAL DEVELOPMENT PLAN APPROVED BY PLAN AND ZONING COMMISSION ON 6-04-2020
PUD FINAL DEVELOPMENT PLAN APPROVED BY CITY COUNCIL ON 7-13-2020



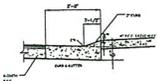
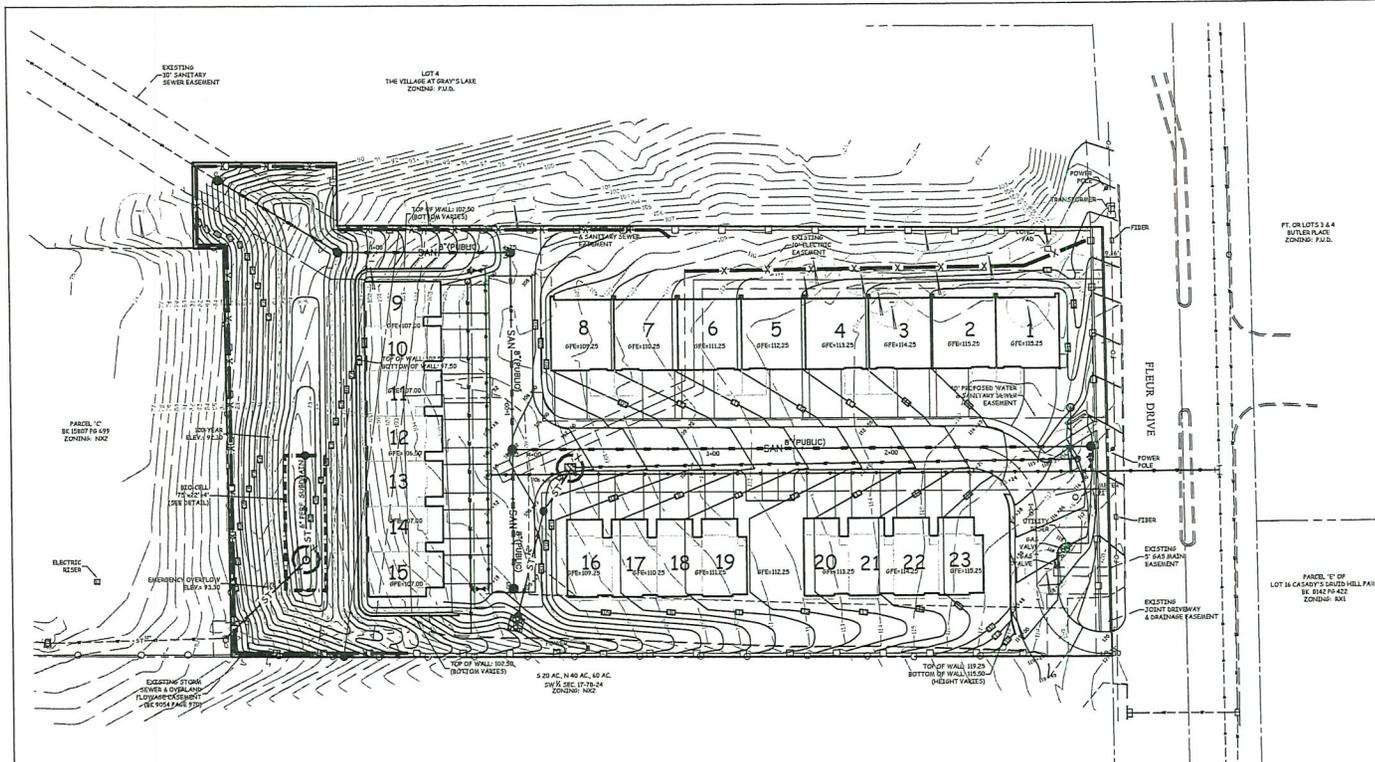
P&Z COMMISSION CONDITIONS OF APPROVAL

1. COMPLIANCE WITH ALL ADMINISTRATIVE REVIEW COMMENTS OF THE PERMIT AND DEVELOPMENT CENTER.
2. COMPLIANCE WITH ALL REQUIREMENTS OF THE APPROVED ISD AMENDMENT TO THE VILLAGES AT GRAY'S LAKE PUD CONCEPTUAL PLAN INCLUDING THE FOLLOWING:
 - A. STREETSCAPE: ADD STREET TREES WITHIN THE RIGHT-OF-WAY SPACES BY APART. TREES SHOULD BE NO CLOSER THAN 15' TO A STREET LIGHT. THESE SHOULD BE COORDINATED WITH CITY ENGINEERING DESIGN STAFF WITH THE FLEUR DRIVE STREETSCAPE PROJECT.
 - B. PEDESTRIAN ACCESS: FROM ANY BUILDING TO A STREET SIDEWALK SHALL BE PROVIDED AND CLEARLY MARKED/STRIPED ON SITE. LIGHTING ALONG PEDESTRIAN WALKS SHALL BE A MAXIMUM OF 15' IN HEIGHT.
 - C. NO MECHANICAL EQUIPMENT: METERS, TRANSFORMERS, CONDENSERS, OR OTHER SUCH EQUIPMENT SHALL BE PROVIDED ON ANY STREET-SIDE FACADE. AT MINIMUM, SUCH EQUIPMENT SHALL BE SETBACK FROM THE STREET FACADE A MINIMUM OF 15'.
 - D. ANY MECHANICAL EQUIPMENT INTERIOR TO THE SITE SHALL BE SOFTENED WITH LANDSCAPING MATERIAL OUTSIDE ANY EQUIPMENT CLEARANCE SETBACKS.
 - E. WALLS SHALL BE PROVIDED BETWEEN SITES TO ADJOINING PROPERTIES WITHIN THE PUD WITH SHARED VEHICLE/PEDESTRIAN INGRESS/EGRESS EASEMENTS.
 - F. PROVISION OF THE REQUIRED SIDE WALK ELEVATIONS FOR FACADES OF THE UNITS CLOSEST FOR FLEUR DRIVE WITH A SEPARATE PEDESTRIAN ENTRANCE EITHER FROM THE GARAGE OR UNIT THAT WOULD HAVE A WALKWAY TO THE PRIVATE DRIVE. THE ENTRANCE SHALL BE DEFINED WITH A DESIGN APPROPRIATE AWNING OR COVER TO THE SATISFACTION OF THE PLANNING ADMINISTRATOR.



WAVE STYLE BIKE RACK
NO SCALE

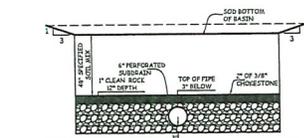
PRELIMINARY PLAT
PINNACLE ON FLEUR
 Sheet 2 of 4



CURB DETAIL
 NO SCALE

BASIN ELEVATIONS

BASIN BOTTOM	89.00'
BASIN TOP	93.00'
EMERGENCY OVERFLOW	93.20'
WATER QUALITY VOLUME	5,846 ft ³
100-YEAR SURFACE WATER	92.20'
100-YEAR BASIN VOLUME	9,075 ft ³



BIO-RETENTION CELL DETAIL
 NO SCALE

LEGEND

- | | |
|-----|--|
| --- | EXISTING/PROPOSED PLAT BOUNDARY |
| --- | 6" WATER MAIN & SIZE |
| --- | 8" SANITARY SEWER & SIZE |
| --- | 12" STORM SEWER & SIZE |
| --- | USE UNDERGROUND ELECTRIC CABLE |
| --- | USE UNDERGROUND TELEPHONE CABLE |
| --- | USE UNDERGROUND CABLE TV |
| --- | USE GAS MAIN & SIZE |
| ○ | MANHOLE |
| ○ | INTAKE |
| ○ | HYDRANT |
| ○ | POWER POLE/26FT POLE |
| ○ | UTILITY BOX/TELEPHONE RESE |
| ○ | EXISTING CONTOURS |
| ○ | PROPOSED CONTOURS |
| ○ | SILT FENCE ON APPROVED FILTRATION SOCK |
| ○ | TREES |

GRADING NOTES

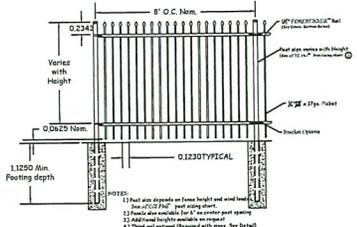
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNDOING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXISTENT AND EXACT LOCATION OF THESE FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OF ANY STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
- STOCKPILE SUFFICIENT TOP SOIL TO A MINIMUM OF 4-INCHES ON UNPAVED AREAS.
- ALL AREAS TO RECEIVE FILL TO BE BENCH-ED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 4-INCHES.
- ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL NOT DEVIATE FROM OPTIMUM BY MORE THAN 2%.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
- A MINIMUM OF ONE FOOT OF COMPACTED CONCRETE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUDAS.
- PROVIDE COMPACTED MACROCELL AT ALL TRENCHES BELOW FOOTINGS AND SLAB.
- A GRADING PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF SITE WORK. PER CITY CODE SEC.61.1B2, A CERTIFICATE OF COMPLETION IS REQUIRED TO BE COMPLETED.

Stormwater Management Facilities

- The Stormwater Management Facilities, including pipes, sills and outlets, shall be annually inspected and maintained in a substantial condition in the approved Stormwater Management Plan.
- Lines, all, materials and appurtenances shall be properly marked in accordance with the approved Stormwater Management Plan.
- The planting and vegetation within the Stormwater Management Facilities shall be maintained in accordance with the approved Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in accordance with the Plan as soon as the weather permits.
- If any grass (including, but not limited to, sod, sods, concrete, or similar materials), shall be placed within a silt, or retention or detention pond within the prior written consent of the City Engineer.
- The prior of the Stormwater Management Facilities shall be cleaned or removed within the prior written consent of the City Engineer.
- Records of inspection, maintenance and repair must be maintained and kept for at least five years and made available upon request to the City Engineer.

EROSION & POLLUTION CONTROL NOTES

- THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN.
- CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
- THE SUBCONTRACTOR SHALL INSPECT THE SITE AT MINIMUM ONCE EVERY 7 DAYS WITHIN 24 HOURS OF THE END OF A 1 INCH OR GREATER RAINFALL. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE, ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
- THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
- THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
- AFTER INITIAL GRADING PRIOR TO UTILITY CONSTRUCTION - ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED 20' W/5' ARE TO HAVE TEMPORARY SEEDING AND MULCHING (SEE SEEDING DETAIL FOR TIMETABLE). CONTRACTOR AND SUBS ARE TO TRY TO MINIMIZE DISTURBANCE TO THESE SEEDING AREAS THROUGH THE USE OF SPECIFIC ACCESS ROUTES WITHIN THE SITE.
- DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 21 DAYS, IT SHALL BE SEED BY DAY 7.
- PERMANENT SEEDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
- ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
- ANY SOIL, OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING SEEDING-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE OWNER/CONTRACTOR WITHIN 24 HOURS.
- ANY FILTER SOCKS ARE TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM, LOOK FOR UNDISCOURTAIN AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
- ADDITIONAL FILTER SOCKS (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
- FILTER SOCKS ARE TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
- ALL INTAKES SHALL HAVE FILTER SOCKS PRIOR TO PAVING AND INLET FILTERS AFTER PAVING.
- THESE FILTER SOCKS SHALL BE CLEANED UNTIL THE SITE HAS A REMANENT PERMANENT GROUND COVER.
- ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM SEWER.
- IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.



6" WROUGHT IRON FENCE DETAIL
 NO SCALE

BENCHMARK
 DES MOINES BENCHMARK #2886
 BRASS PLUG IN SOUTHWEST CORNER OF TRAFFIC
 BASE AT THE NORTHWEST CORNER OF
 INTERSECTION OF BELL AVENUE AND FLEUR DRIVE
 ELEVATION = 68.145



COOPER CRAWFORD & ASSOCIATES, L.L.C.
 CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 6-30-2022 JOB NUMBER: **CC 2241**

REVISIONS:

SCALE: 1"=30'

APPROVED: _____ INITIALED: _____ AS-BUILT: _____

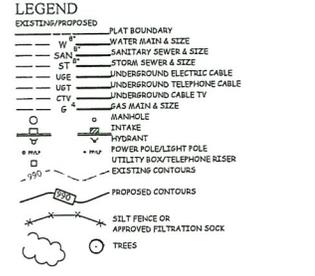
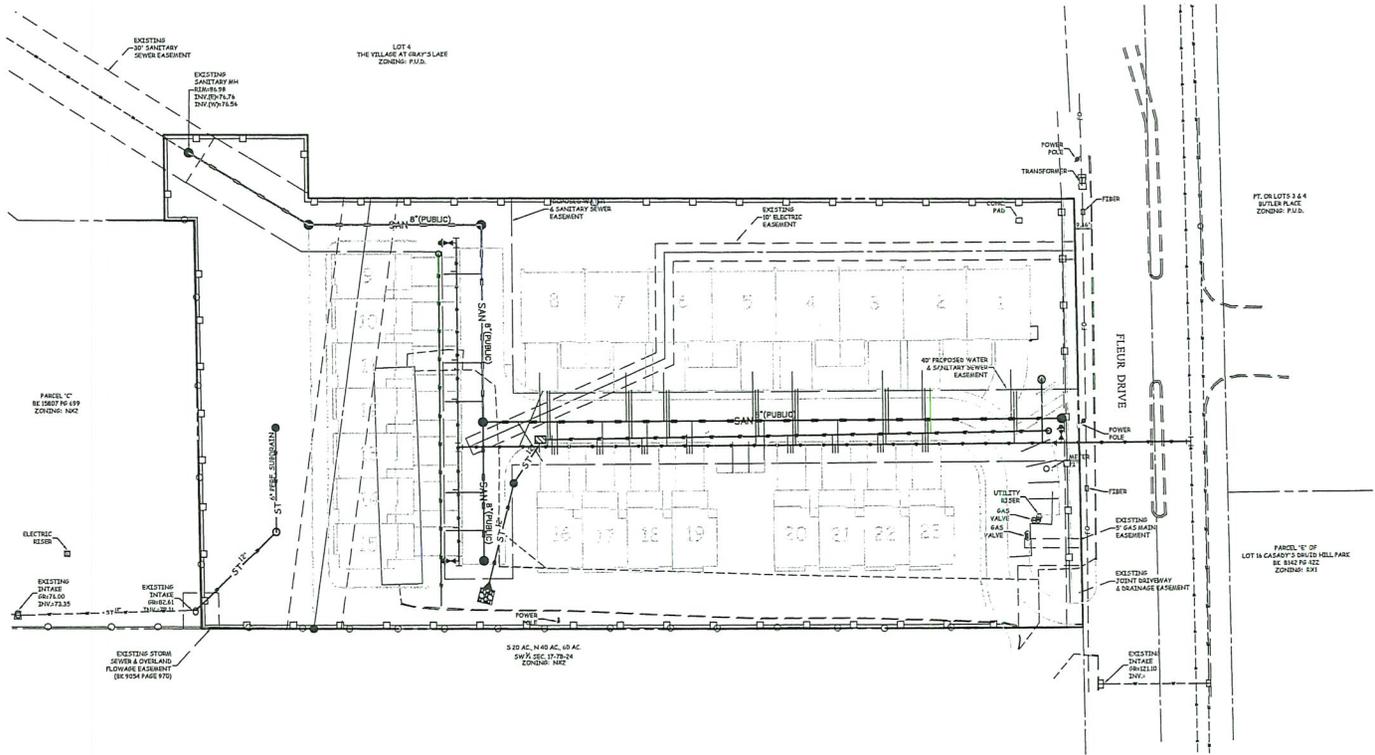
GRADING PLAN
PINNACLE ON FLEUR

SHEET 2 OF 4

PRELIMINARY PLAT PINNACLE ON FLEUR

Sheet 3 of 4

- NOTES**
1. ALL ELECTRICAL, TELEPHONE AND CABLE TELEVISION TRANSMISSION SYSTEMS SHALL BE PLACED UNDERGROUND.
 2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
 3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE OR THE INTERFERENCE OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH URBAN DESIGN STANDARDS, CITY OF URBAINSVALE SUPPLEMENTAL SPECIFICATIONS AND URBAINSVALE WATER UTILITY STANDARDS SPECIFICATION.
 5. THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.
 6. PRIVATE STORM SEWER SHALL BE INSTALLED BY PLUMBING PERMIT AND MEET ALL PLUMBING CODES.
 7. ALL GRADING, SEWER TRENCH EXCAVATION AND BUILDING FOUNDATIONS SHALL COMPLY WITH THE SOILS INVESTIGATION REPORT.
 8. EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
 9. FIRE HYDRANTS SHALL BE LOCATED AND INSTALLED PER URBAN DESIGN STANDARDS.
 10. ALL UTILITY SERVICE LINES TO THE PROPERTY WILL BE UNDERGROUND.



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REVISIONS:

APPROVED: [Signature] INITIALLED: [Signature] AS-BUILT: [Signature]

UTILITY PLAN
PINNACLE ON FLEUR

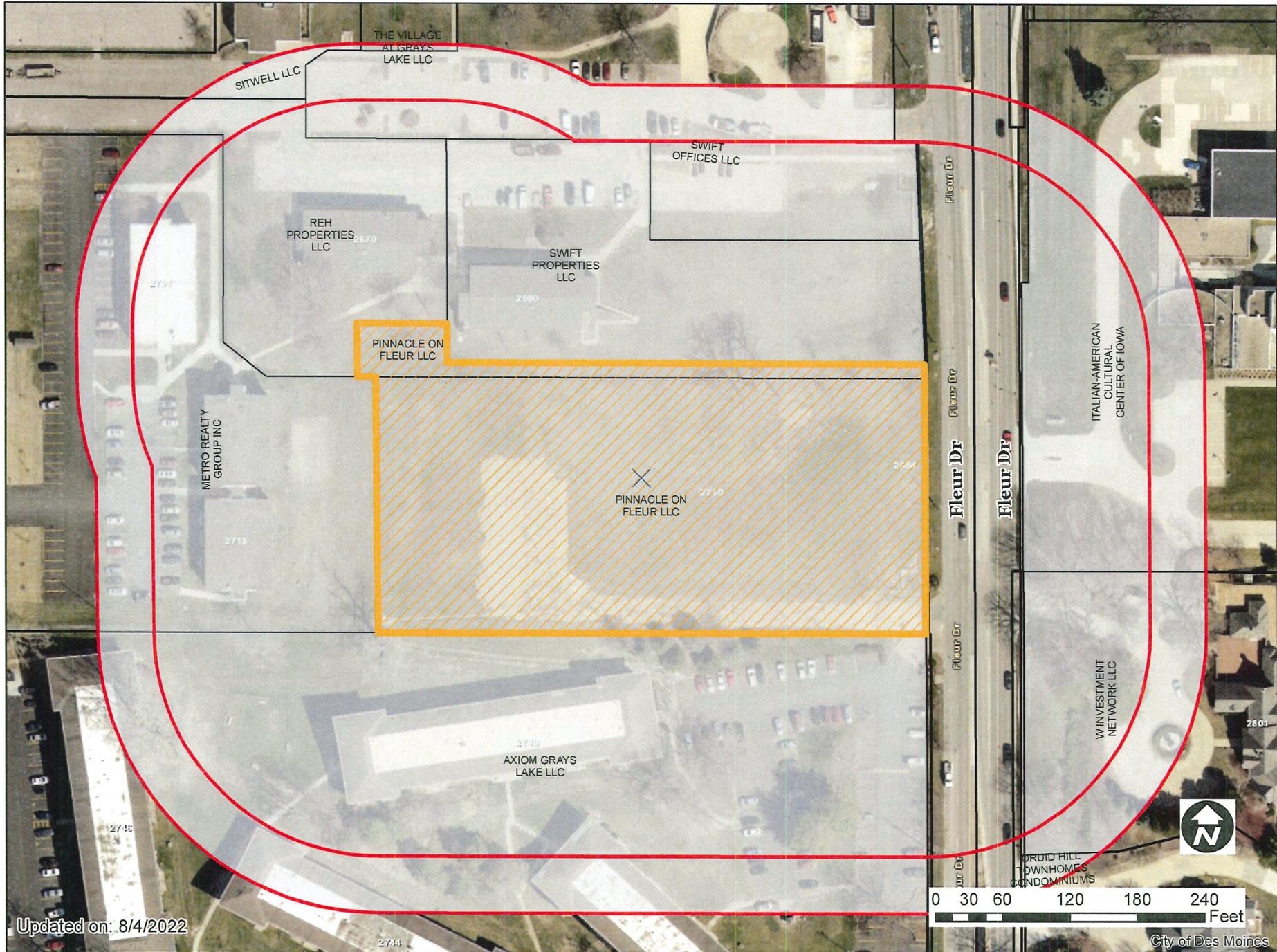
SHEET 3 OF 4

BENCHMARK
DES MOINES BENCHMARK #2886
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IOWA ONE-CALL
800-368-6868
IOWA ONE-CALL
FOR APPROVED LISTENERS

Pinnacle on Fleur, LLC, Parcels in Vicinity of 2710 Fleur Drive

PLAT-2022-000044



Updated on: 8/4/2022

1 inch = 113 feet