

.....  
**Date** December 12, 2022

**RESOLUTION SETTING HEARING REGARDING REQUEST FROM EASTGATE PLAZA, LLC (OWNER), REPRESENTED BY NORMAN S. WEINSTEIN, FOR REVIEW AND APPROVAL OF AN 8TH AMENDMENT TO EASTGATE PLAZA PUD CONCEPTUAL PLAN, ON PROPERTY LOCATED AT 1514 EAST EUCLID AVENUE, TO ALLOW A CAR WASH USE**

**WHEREAS**, on December 1, 2022, the City Plan and Zoning Commission considered a request from Eastgate Plaza, represented by Norman S. Weinstein, for review and approval of an 8<sup>th</sup> amendment to the PUD Conceptual Plan, on property located at 1514 East Euclid Avenue, to allow a car wash use; and

**WHEREAS**, the City Plan and Zoning Commission voted 13-0 to **APPROVE** an 8<sup>th</sup> amendment to the Eastgate Plaza PUD Conceptual Plan, on property located at 1514 East Euclid Avenue, to allow a car wash use, subject to provision of the following information in the General Notes section on the Eastgate Plaza PUD Conceptual Plan:

1. A note documenting any final design of the required “street-like” appearance of the 60-foot north/south drive easement shall occur at the time the adjacent property to the north is developed.
2. A note outlining time frame and responsibility of the north/south drive along the easterly line of the subject property, as determined, to the satisfaction of the Planning and Urban Design Administrator.
3. Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code).
4. Foundation plantings shall be provided along the east facade of the building in addition to site plantings in accordance with Chapter 135, Article 7 (Planning and Design Ordinance), of the City Code, as required in the “MX3” District, and shall be reviewed and approved by the City’s Planning and Urban Design Division.

**WHEREAS**, the Property is legally described as follows:

Parcel 2021-223 of Lots 13 and 14 of Brown's Lowland Place, an Official Plat, now included in and forming a part of the City of Des Moines, Polk County, Iowa, as shown in Plat of Survey recorded December 8, 2021 in Book 18898 Page 238, in the Office of the Recorder of Polk County, Iowa.

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:



**Date** December 12, 2022

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed 8th amendment to the Eastgate Plaza PUD Conceptual Plan is to be considered, shall be held at 5:00 p.m. on January 9, 2023, in the Council Chambers, City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa, at which time the City Council will hear both those who oppose and those who favor the proposals.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Sections 362.3 and 414.4 of the Iowa Code.

MOVED by \_\_\_\_\_ to adopt.

SECOND by \_\_\_\_\_.

FORM APPROVED:

/s/ Lisa A. Wieland  
 Lisa A. Wieland  
 Assistant City Attorney

(ZONG-2022-000082)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
SHEUMAKER				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED	APPROVED			

**CERTIFICATE**

I, LAURA BAUMGARTNER, Acting City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

\_\_\_\_\_ Mayor

\_\_\_\_\_ Acting City Clerk

Date December 12, 2022

Agenda Item 25

Roll Call # \_\_\_\_\_

December 6, 2022

Communication from the City Plan and Zoning Commission advising that at their December 1, 2022 meeting, the following action was taken regarding a request from Eastgate Plaza, LLC (owner), represented by Norman S. Weinstein (officer), for review and approval of an 8th amendment to the Eastgate Plaza PUD Conceptual Plan on the property located at 1514 East Euclid Avenue, to allow a car wash use.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 13-0 as follows

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dan Drendel	X			
Leah Rudolphi	X			
Dory Briles				X
Abby Chungath	X			
Kayla Berkson	X			
Chris Draper	X			
Todd Garner	X			
Johnny Alcivar	X			
Justyn Lewis	X			
Carolyn Jenison	X			
William Page	X			
Andrew Lorentzen	X			
Emily Webb	X			
Katie Gillette	X			

**APPROVAL** of the request, subject to provision of the following information in the General Notes section on the Eastgate Plaza PUD Conceptual Plan:

1. A note documenting any final design of the required “street-like” appearance of the 60-foot north/south drive easement shall occur at the time the adjacent property to the north is developed.
2. A note outlining time frame and responsibility of the north/south drive along the easterly line of the subject property, as determined, to the satisfaction of the Planning and Urban Design Administrator.

3. Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code).
4. Foundation plantings shall be provided along the east facade of the building in addition to site plantings in accordance with Chapter 135, Article 7 (Planning and Design Ordinance), of the City Code, as required in the “MX3” District, and shall be reviewed and approved by the City’s Planning and Urban Design Division.

### **STAFF RECOMMENDATION TO THE P&Z COMMISSION**

Staff recommends approval of the request, subject to provision of the following information in the General Notes section on the Eastgate Plaza PUD Conceptual Plan:

1. A note documenting any final design of the required “street-like” appearance of the 60-foot north/south drive easement shall occur at the time the adjacent property to the north is developed.
2. A note outlining time frame and responsibility of the north/south drive along the easterly line of the subject property, as determined, to the satisfaction of the Planning and Urban Design Administrator.
3. Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code).
4. Foundation plantings shall be provided along the east facade of the building in addition to site plantings in accordance with Chapter 135, Article 7 (Planning and Design Ordinance), of the City Code, as required in the “MX3” District, and shall be reviewed and approved by the City’s Planning and Urban Design Division.

### **STAFF REPORT TO THE PLANNING COMMISSION**

#### **I. GENERAL INFORMATION**

1. **Purpose of Request:** The proposed amendment to the Eastgate Plaza PUD Conceptual Plan would allow construction of a new car wash and express detailing business.

The previous continuances have allowed the applicant to successfully work with staff to achieve a proposed site design that is consistent with the intent of Chapter 135 (Planning and Design Ordinance).

2. **Size of Site:** The subject site is 1.06 acres.
3. **Existing Zoning (site):** “PUD” Planned Unit Development District.
4. **Existing Land Use (site):** The subject site consists of vacant pad sites with some paved area in disrepair. The proposed amendment would be located on the southernmost portion of the parcel.

## 5. Adjacent Land Use and Zoning:

**North** – “PUD”; Use is vacant land (formerly the Eastgate Plaza commercial center).

**South** – “MX3” and “I1”; Uses are a vacant drive-through restaurant and car rental facility (Enterprise Rental Car).

**East** – “PUD”; Use is medical office building (CareMore).

**West** – “PUD”; Use is a fuel station with convenience store (Quik Trip).

**6. General Neighborhood/Area Land Uses:** The subject site is located along the north side of East Euclid Avenue to the east of the intersection with East 14<sup>th</sup> Street (IA Hwy 69). The surrounding area consists of a mix of retail, commercial, institutional, industrial, and residential uses. The subject property is located within a Community Node centered at the East Euclid Avenue and East 14<sup>th</sup> Street intersection.

**7. Applicable Recognized Neighborhood(s):** The subject property is located in Highland Park Neighborhood Association. All neighborhood associations were notified of the public hearing by mailing of the Preliminary Agenda on September 16, 2022 for the October 6, 2022 meeting, and by mailing of the Final Agendas on September 30, 2022; October 14, 2022; November 10, 2022; and November 23, 2022 (for the October 6, 2022; October 20, 2022; November 17, 2022; and December 1, 2022 meetings respectively). Additionally, separate notifications of the hearing for this specific item were mailed on September 16, 2022 (20 days prior to the October 6, 2022 meeting) and on September 26, 2022 (10 days prior to the October 6, 2022 meeting) to the Highland Park Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Services Department on the date of the mailing. The Highland Park Neighborhood mailings were sent to Sherri Rosener, 1206 Oak Park Avenue, Des Moines, IA 50313.

The applicant will provide a summary of the neighborhood meeting at the public hearing.

- 8. Relevant Zoning History:** The subject property was rezoned to “PUD” on April 20, 1998, at which time a general PUD Conceptual Plan was adopted. It has since been amended seven times. The 6<sup>th</sup> Amendment to the Conceptual Plan (approved October 4, 2021) allows construction of a Burger King restaurant on the pad site immediately to the west of this site. The 7<sup>th</sup> Amendment to the Conceptual Plan (approved March 7, 2022) allows for construction of a medical office building to the northwest of this site.
- 9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Community Mixed Use within a Community Node centered at the East Euclid Avenue and East 14<sup>th</sup> Street intersection.
- 10. Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries

or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

The application, accompanying evidence, and PUD Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of the City Code and with recognized principles of civic design, land use planning, and landscape architecture. After the hearing, the Commission may vote to recommend either approval or disapproval of the amended PUD Conceptual Plan as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the Commission shall be referred to the City Council.

## II. ADDITIONAL APPLICABLE INFORMATION

- 1. Eastgate Plaza PUD Conceptual Plan:** If the proposed amendment to the Eastgate Plaza “PUD” is approved by the City Council, the applicant must submit to the Planning and Urban Design Administrator a revised version of the PUD Conceptual Plan that reflects any conditions of approval.
- 2. Utilities:** The subject property has access to all necessary utilities. There are public storm and sanitary sewers within the East Euclid Avenue public right-of-way.
- 3. Site Plan Requirements:** Any future development upon the site must be in accordance with a PUD Development Site Plan as reviewed and approved by the City’s Development Services Department. A PUD Development Site Plan has not been submitted for review at this time. The PUD Development Site Plan would ensure that any development complies with all City requirements, including, but not limited to, stormwater management, landscaping, off-street parking, and any other standards required by the PUD Conceptual Plan.
- 4. Drainage/Grading:** Future construction must comply with the City’s stormwater management, soil erosion protection, and grading requirements, as approved by the City’s Permit and Development Center’s engineering staff during any PUD Development Site Plan review process.
- 5. Access:** The proposed car wash would be accessed by an east/west drive easement extending between two driveway entrances from East Euclid Avenue, which provide access to the entire Eastgate Plaza PUD development. The 6<sup>th</sup> Amendment to the PUD Conceptual Plan requires the easterly north/south drive easement to be constructed to appear to be street-like to the satisfaction of the City’s Planning and Urban Design Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.

The PUD Conceptual Plan also indicates cross-access through the property to the north, east, and west within the overall Eastgate Plaza “PUD” District. There is a

substantial undeveloped area within the Eastgate Plaza “PUD” District immediately to the north of the proposed amendment. It is expected that the future redevelopment of this area would utilize the easterly north/south drive easement.

6. **Landscaping:** The proposed PUD Conceptual Plan demonstrates that landscaping and plantings would be provided throughout the site. The applicant has coordinated with the current subject property owner to determine timeline and responsibility of proposed landscaping and design layout of the north/south drive easement along the eastern property line. The proposed layout is compatible with the 6<sup>th</sup> Amendment to the PUD Conceptual Plan, which requires the easterly north/south drive easement to appear to be street-like to the satisfaction of the City’s Planning and Urban Design Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.
7. **Urban Design:** The proposed development would consist of a car wash building oriented north/south on the subject site with the short façade of the building facing East Euclid Avenue and the long façade of the building with a 10-foot setback from the east property line, a paved surface parking lot, and three paved pay lanes. The submitted elevations demonstrate building materials would consist of concrete masonry unit blocks and EIFS. The proposed elevations provide sufficient transparency (windows) on the east building façade, per agreement with staff.

## **SUMMARY OF DISCUSSION**

Emily Webb advised item #4 could be considered under the consent agenda. No one was present or requested to speak.

Justyn Lewis made a motion to move item #4 to the consent agenda.

## **COMMISSION ACTION:**

Justyn Lewis made a motion for approval of the request, subject to provision of the following information in the General Notes section on the Eastgate Plaza PUD Conceptual Plan:

1. A note documenting any final design of the required “street-like” appearance of the 60-foot north/south drive easement shall occur at the time the adjacent property to the north is developed.
2. A note outlining time frame and responsibility of the north/south drive along the easterly line of the subject property, as determined, to the satisfaction of the Planning and Urban Design Administrator.
3. Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code).
4. Foundation plantings shall be provided along the east facade of the building in addition to site plantings in accordance with Chapter 135, Article 7 (Planning and Design Ordinance), of the City Code, as required in the “MX3” District, and shall be reviewed and approved by the City’s Planning and Urban Design Division.

Motion passed: 13-0

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jason Van Essen".

Jason Van Essen, AICP  
Planning & Urban Design Administrator

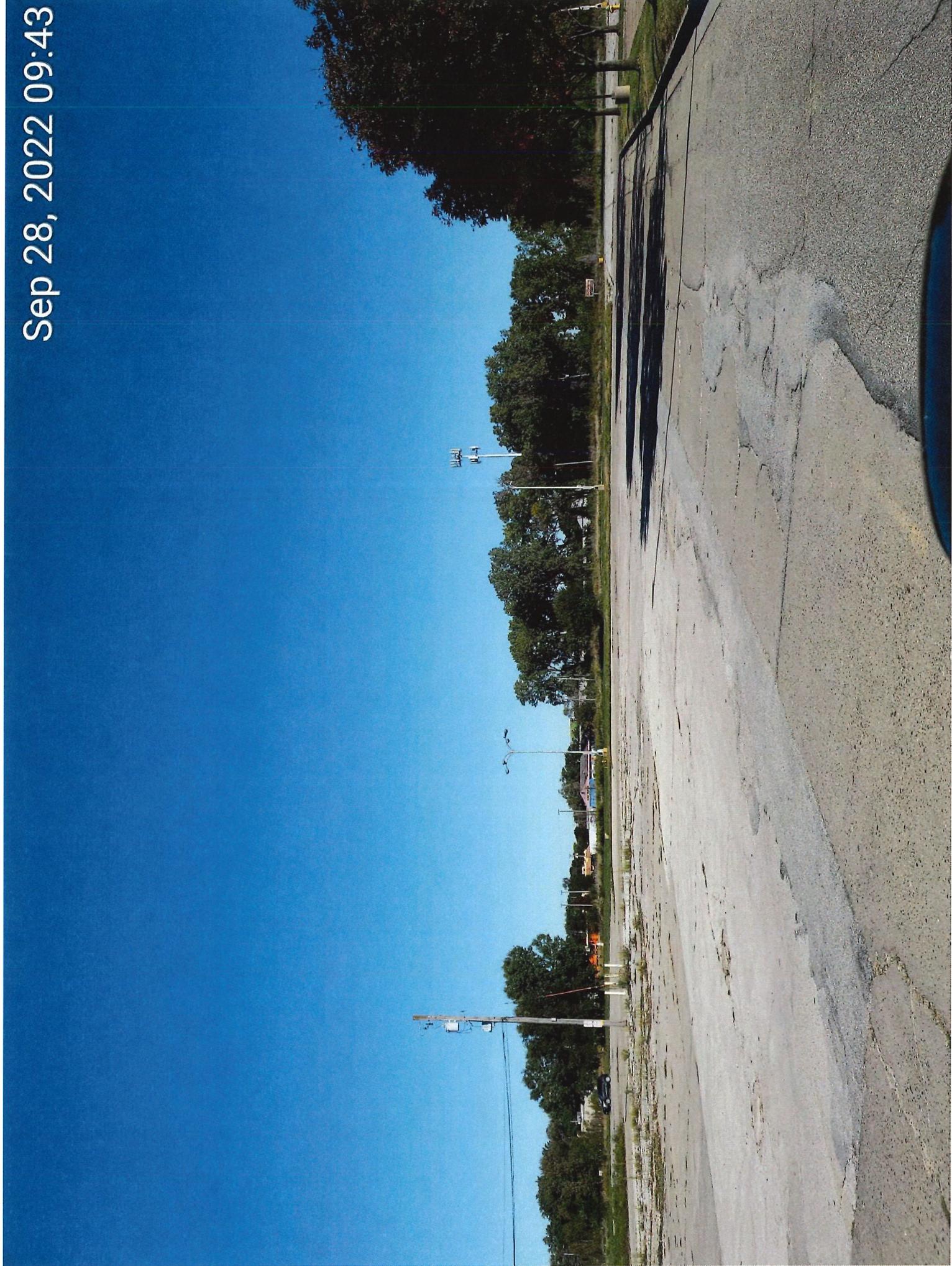
JMV:tjh



Sep 28, 2022 09:43

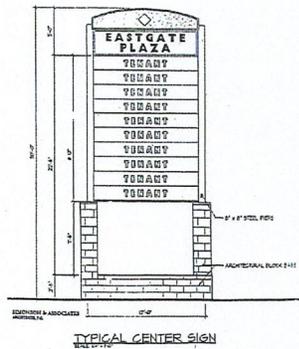


Sep 28, 2022 09:43



Sep 28, 2022 09:43

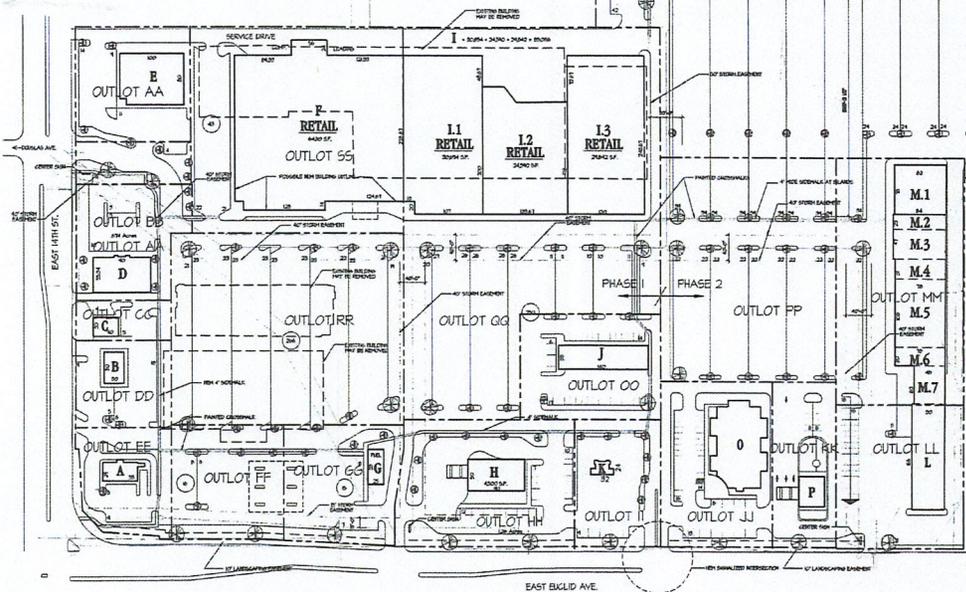
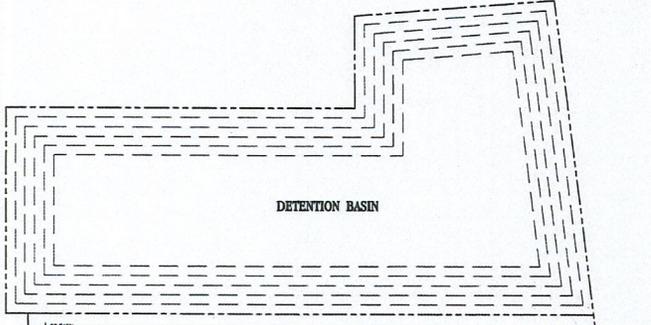




TYPICAL CENTER SIGN  
SCALE 1/8\"/>

- Notes:**
- Building signs and signs on building facades are approved and shall vary in height, color, etc. in accordance with existing building code and shall be removed and reconstructed, depending on building needs.
  - Building signs shall not be placed on the quality material for new buildings.
- Signage:**
- Phase I: Signs shall be required to meet minimum "C-1" and "C-2" criteria, except that on new multi-story buildings, and on buildings shall be allowed, including those that are located.
- Phase II:** Signs shall be required to meet minimum "C-1" and "C-2" criteria, except that on new multi-story buildings, and on buildings shall be allowed, including those that are located.
- Signage Specifications:**
- Signage shall be installed in accordance with building construction practices.
  - Signage shall be installed in accordance with building construction practices.
  - Signage shall be installed in accordance with building construction practices.
  - Signage shall be installed in accordance with building construction practices.

# CONCEPT PLAN EASTGATE PLAZA DES MOINES, IOWA



BUILDING	SIZE	OCCUPANCY
A	1700 SF	TACO BELL / RETAIL / OFFICE
B	1200 SF	MIKE EYE CARE / RETAIL / OFFICE
C	1200 SF	DRYDEN / RETAIL / OFFICE
D	5000 SF	RETAIL / OFFICE
E	7400 SF	PARIS MEDICAL / RETAIL / OFFICE
F	8400 SF	RETAIL / OFFICE
G	4000 SF	BAKZ / RETAIL / OFFICE
OUTLOT AA		BLANK
H	1570 SF	RAIL STATION / RETAIL / OFFICE
I	4500 SF	RETAIL / OFFICE
J	8500 SF	RETAIL / OFFICE
L1	30354 SF	RETAIL / OFFICE
L2	24240 SF	RETAIL / OFFICE
L3	24240 SF	RETAIL / OFFICE
M1	3200 SF	TRISTE PIZZA / RETAIL / OFFICE
M2	624 SF	D-BOYS / RETAIL / OFFICE
M3	6200 SF	SOFTSHIR TEE / RETAIL / OFFICE
M4	6302 SF	AVAILABLE FOR LEASE / RETAIL / OFFICE
M5	1028 SF	GREEN IS / RETAIL / OFFICE
M6	3261 SF	RETAIL / OFFICE
M7	2404 SF	BEET SPREAD HOUSE / RETAIL / OFFICE
N	8440 SF	AVAILABLE FOR LEASE / RETAIL / OFFICE
O	2260 SF	LITTLE CAESARS PIZZA / RETAIL / OFFICE
P	2102 SF	AVAILABLE FOR LEASE / RETAIL / OFFICE
OUTLOT RR		PROPOSED - RETAIL / OFFICE
OUTLOT SS	10222 SF	MEDICAL CLINIC / RETAIL / OFFICE
OUTLOT TT	1000 SF	PROPOSED - RETAIL / OFFICE
OUTLOT UU	48400 SF	

**SITE PLAN**  
 APPROVED  
 APPROVED WITH COMMENT  
 See Exhibit "A" attached hereto.

IN ACCORDANCE WITH SECTION 2-205.17(c), 1975 DES MOINES MUNICIPAL CODE, NO AMENDMENTS OR CHANGES TO THIS PLAN UNLESS APPROVED BY WAIVING FROM THE PLANNING DIRECTOR.

DATE: \_\_\_\_\_ PLANNING DIRECTOR: \_\_\_\_\_

DATE: \_\_\_\_\_  
 EASTGATE PLAZA CONCEPT PLAN  
 SHEET 25 OF 25  
 SIMONSON & ASSOCIATES ARCHITECTS, P.C.

# EASTGATE PUD CONCEPTUAL PLAN

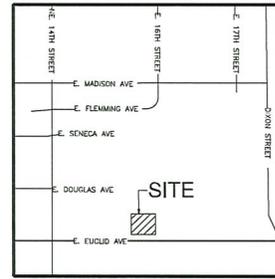
## 1500 EAST EUCLID AVENUE

### DES MOINES, POLK COUNTY, IOWA 50315



**DES MOINES, IOWA**  
 Net Lease Development LLC  
 PO BOX 100843  
 Fort Worth, TX 76185

UTILITY/ GOVERNING AGENCIES CONTACTS	
<b>GAS</b>	MO. AMERICAN GAS CONTACT: Cindy Beardsd PHONE: (515) 252-6632 EMAIL: mecdmsdes@moamerican.com
<b>TELEPHONE</b>	CENTURY LINK CONTACT: Sade Hull PHONE: (515) 547-5147 EMAIL: sdeh@tul.com
<b>ELECTRIC</b>	MO. AMERICAN ELECTRIC CONTACT: Kasia Lerd PHONE: (515) 252-6603 EMAIL: kals@moamerican.com
<b>SANITARY SEWER</b>	CITY OF DES MOINES SEWER CONTACT: Steve Johnson PHONE: (515) 237-1359 EMAIL: sjohnson@dmgov.org
<b>WATER</b>	DES MOINES WATER WORKS CONTACT: Ed Clark PHONE: (515) 235-2244 EMAIL: edclark@dmww.com
<b>STORM SEWER</b>	CITY OF DES MOINES SEWER CONTACT: Steve Johnson PHONE: (515) 237-1359 EMAIL: sjohnson@dmgov.org
<b>CIVIL/SITE ENGINEER</b>	BFA, INC. 152 ELM STREET WASHINGTON, MISSOURI 63090 CONTACT: JOHN SCHEIDT PHONE: (636) 231-4337 EMAIL: jschmidt@bfaeng.com



SITE LOCATION MAP - NOT TO SCALE

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	CS-1
TOPOGRAPHIC SURVEY	TS-1
SITE PLAN	SP-1
LANDSCAPE PLAN	LP-1
COLOR BUILDING ELEVATIONS	A-2
EXTERIOR MATERIALS & FINISHES	A-2.1
BUILDING SIGNAGE ELEVATION	---
SITE SIGNAGE PLAN	CSP 2.1

**PUD FINAL CONCEPT PLAN APPROVAL:**  
 APPROVED  APPROVED WITH CONDITIONS - SEE EXHIBIT "A"  
 IN ACCORDANCE WITH SECTION 134-2.2.9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.  
 NO CHANGES TO THIS PUD CONCEPT PLAN UNLESS APPROVED IN WRITING FROM THE DEVELOPMENT SERVICES DIRECTOR.  
 PLAN & ZONING COMMISSION MEETING DATE: September 2nd, 2021  
 CITY COUNCIL APPROVAL DATE: October 4, 2021 by RC 21-1516  
 DEVELOPMENT SERVICES DIRECTOR: [Signature] **FAD** DATE: 1/12/2022

- GENERAL NOTES:**
- THE EASTERLY NORTH/SOUTH DRIVEWAY (TO THE EAST OF THE PROPOSED MULTIPLE-TENANT COMMERCIAL BUILDING) SHALL BE CONSTRUCTED TO APPEAR TO BE STREET TO THE SATISFACTION OF THE CITY'S PLANNING ADMINISTRATION, WITH FEATURES SUCH AS PARALLEL PARKING STALLS, CLASS A SIDEWALKS, AND STREET TREES. (FUTURE/BY OTHERS)
  - THE MULTIPLE-TENANT COMMERCIAL BUILDING AND SURROUNDING SITE CONFIGURATION SHALL BE SUBJECT TO A FUTURE AMENDMENT TO THE "PUD" CONCEPTUAL PLAN.
  - ANY BUILDING SHALL NOT BE LOCATED WITHIN ANY NECESSARY UTILITY EASEMENTS.
  - BIKE RACK QUANTITY, PLACEMENT, AND DESIGN SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 135: PLANNING AND DESIGN CODE.
  - PEDESTRIAN ACCESS TO THE ADJOINING PARCELS TO THE EAST, WEST, AND NORTH SHALL BE PROVIDED IN ANTICIPATION OF FUTURE PEDESTRIAN CONNECTIVITY AND THAT ALL CROSSWALKS ACROSS ACCESS DRIVES SHALL BE CLEARLY STRIPED AS PEDESTRIAN PATH.
  - LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 135: PLANNING AND DESIGN ORDINANCE.
  - A CONTINUOUS ROW OF SHRUBS OR CRASSES SHALL BE PROVIDED ALONG THE WEST SIDE OF THE DRIVE-THROUGH FACILITY.
  - A 3-FOOT TALL DECORATIVE WROUGHT IRON FENCE, SUPPORTED BY BRICK COLUMNS THAT MATCH THE PRIMARY STRUCTURE, SHALL BE CONSTRUCTED ALONG THE SOUTH FRONTAGE AND THAT PERIMETER PLANTINGS REQUIRED BY THE LANDSCAPE STANDARDS SHALL BE PROVIDED BETWEEN THE FENCE AND THE SOLENNITY PROPERTY LINE.
  - ALL STUCCO SHOWN ON THE BUILDING ELEVATIONS SHALL MEET THE STANDARDS NECESSARY IN ORDER TO BE CONSIDERED AS A "MAJOR FACADE MATERIAL" PROHIBITING EPS MATERIALS, AS REGULATED IN CITY CODE CHAPTER 135.
  - ALL BRICK SHOWN ON THE BUILDING ELEVATIONS SHALL BE FULL-DIMENSIONAL BRICK AND NOT THIN BRICK.
  - ALL MECHANICAL EQUIPMENT, ROOF TOP UNITS, CONDENSERS, METERS, TRANSFORMERS OR OTHER SUCH EQUIPMENT SHALL BE PROVIDED, INCLUDING THE UNDERGROUNDINGS OF ALL OVERHEAD UTILITIES, IN ACCORDANCE WITH CHAPTER 135: PLANNING AND DESIGN CODE.
  - ALL SITE AND BUILDING MOUNTED LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 135: PLANNING AND DESIGN CODE.
  - ANY REFUSE COLLECTION CONTAINER SHALL BE WITHIN AN ENCLOSURE CONSTRUCTED OF MASONRY WALLS THAT MATCH THE PRIMARY BUILDING AND STEEL GATE WITH A PEDESTRIAN ENTRANCE.
  - ANY FREESTANDING SIGNAGE SHALL BE A MONUMENT SIGN WITH A MINIMUM 2-FOOT TALL MASONRY BASE TO MATCH THE STRUCTURE AND SHALL NOT EXCEED 8 FEET IN HEIGHT, ANY FREESTANDING POLE SIGN SHALL BE PROHIBITED.

**CAUTION-NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES**  
 THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO RESURFACE OR REPAIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.  
 ALL EXISTING UTILITIES SERVING THE PROJECT SITE, THIS PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE EXISTING FACILITIES MANAGER AND BURGER KING'S CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on the site the Contractor shall contact 1-800-252-2809 for utility location information.  
 The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

**FOR REVIEW PURPOSES ONLY**

**RICK G. ROHLFING**  
 19048  
 Rick G. Rohlfing, P.E. #19048  
 State of Iowa  
 Registered Professional Engineer  
 for BFA, Inc.

01/04/22  
 Date

bfaeng.com TELEPHONE: (636) 239-4721

**BFA**  
 Engineering & Surveying

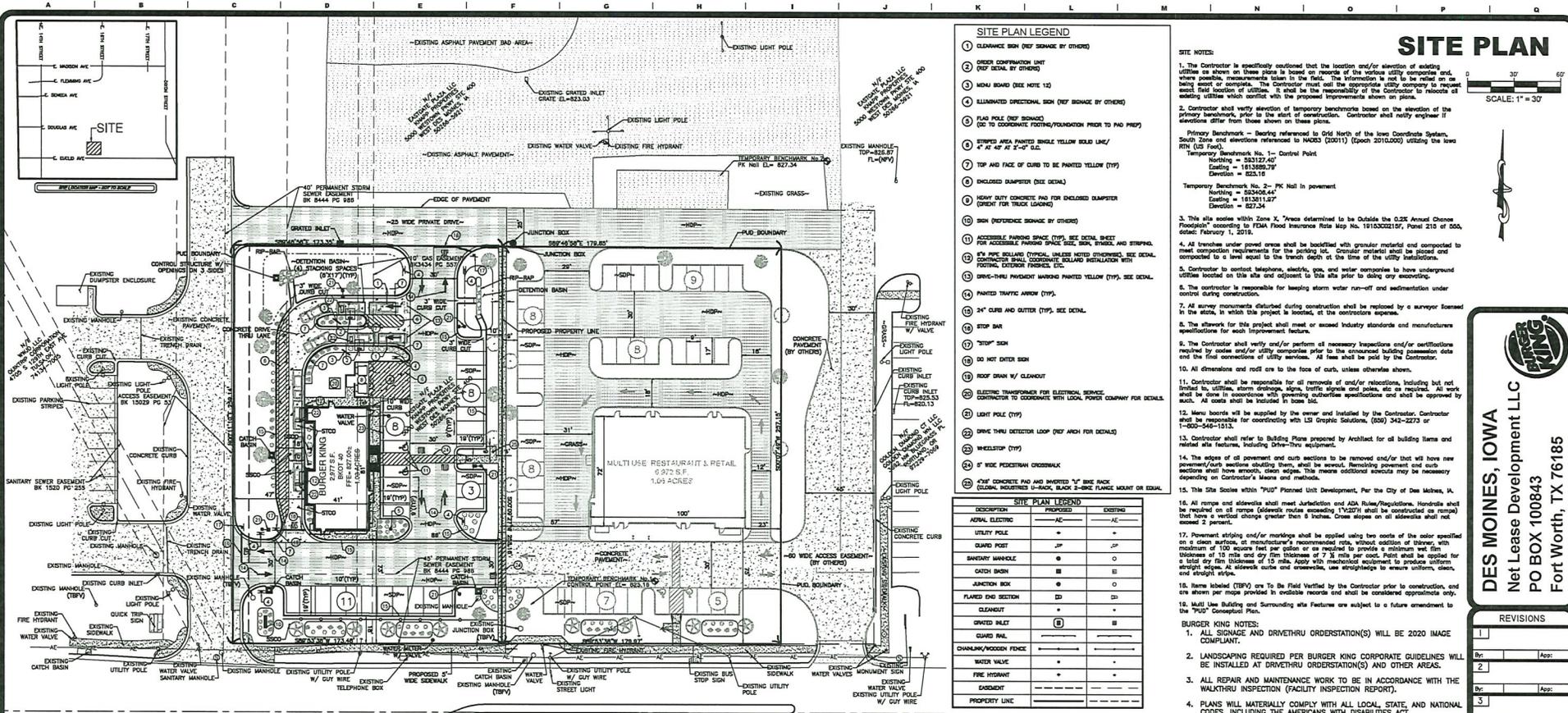
153 ELM STREET WASHINGTON, MISSOURI 63090

REVISIONS	
1	
2	Appr:
3	Appr:
4	Appr:

DRAWN: B.L.F.  
 CHECKED: B.G.R.  
 DATE: 01/04/22  
 SCALE: NONE  
 JOB NO.: 6453  
 SHEET NAME: COVER SHEET

CS-1





- ### SITE PLAN LEGEND
- CLEANLINE SIGN (REF SIGNAGE BY OTHERS)
  - ORDER CONFIRMATION UNIT (REF DETAIL BY OTHERS)
  - MINI BANNER (SEE NOTE 10)
  - LANDSCAPED DIRECTIONAL SIGN (REF SIGNAGE BY OTHERS)
  - FLUO PLANT (REF SIGNAGE)
  - STREET SIDE PAINTED SINGLE YELLOW SOLID LINE (DC TO CORNER POSTING/FOUNDATION PRIOR TO PAID PAV)
  - STREET SIDE PAINTED DOUBLE YELLOW SOLID LINE (DC TO CORNER POSTING/FOUNDATION PRIOR TO PAID PAV)
  - TOP AND FACE OF CURB TO BE PAINTED YELLOW (TYP)
  - EXPOSED DAMPER (SEE DETAIL)
  - HEAVY DUTY CONCRETE PAD FOR ENCLOSED DAMPER (ORIENT FOR TRUCK LANE)
  - SIGN (REFERENCE SIGNAGE BY OTHERS)
  - ACCESSIBLE PARKING SPACE (TYP) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN, STRIPS, AND STRIPES
  - 4" X 6" WOOD BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL. CONTRACTOR SHALL COORDINATE BOLLARD INSTALLATION WITH FUTURE EXTERIOR FINISHES. ETC.
  - DRIVE-THRU PARKING MARKING PAINTED YELLOW (TYP) SEE DETAIL.
  - PAINTED TRAFFIC ARROW (TYP)
  - 3" CURB AND GUTTER (TYP) SEE DETAIL.
  - STOP SIGN
  - DO NOT ENTER SIGN
  - ROOF DRAIN W/ CLEANOUT
  - ELECTRIC TRANSDUCER FOR ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
  - TRUCK LIFT (TYP)
  - DRIVE THRU DETECTOR LOOP (REF ARCH FOR DETAILS)
  - WHEELSTOP (TYP)
  - 8" WIDE PEDESTRIAN CROSSWALK
  - 4"X6" CONCRETE PAD AND IMBEDDED "T" BOLT (SEE DETAIL. IMBEDDED U-BOLT, BLACK 2-BOLT FLANGE MOUNT OR EQUAL.

- ### SITE PLAN
- #### SITE NOTES:
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is the lowest utility recorded and, where shown or indicated, the location is in the fact. The information is not to be relied on as being true or accurate. The Contractor must call the appropriate utility company to request existing utilities which conflict with the proposed improvements shown on plans.
  - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.  
Primary Benchmark - Bearing referenced to Grid North of the Iowa Coordinate System, South Zone and elevations referenced to NAD83 (2011) (EPOCH 2012.00) utilizing the Iowa RTN (US Foot).  
Temporary Benchmark No. 1 - Control Point  
Easting = 1813889.279  
Northing = 533127.407  
Elevation = 623.18  
Temporary Benchmark No. 2 - PK Nail in pavement  
Easting = 1813811.277  
Northing = 527.54
  - This site is within Zone X. "X" was determined to be Outside the 0.2% Annual Chance Floodplain" according to FEMA Flood Insurance Rate Map No. 1910302010R, Panel 215 of 650, dated February 1, 2018.
  - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Greater material shall be placed and compacted to a level equal to the trench depth at the time of the utility installation.
  - Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
  - The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
  - All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state in which this project is located, at the contractor's expense.
  - The showings for this project shall meet or exceed industry standards and manufacturers specifications for each improvement feature.
  - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the enclosed building connection and all final connections of utility services. All fees shall be paid by the Contractor.
  - All dimensions and notes are to the face of curb, unless otherwise shown.
  - Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utility, storm drainage, signs, traffic signs and poles, site as required. All work shall be done in accordance with governing authorities specifications and shall be approved by each. All costs shall be included in base bid.
  - Menu boards will be supplied by the owner and installed by the Contractor. Contractor shall be responsible for coordinating with LSI Graphic Systems, (800) 242-2273 or 1-800-545-1513.
  - Contractor shall refer to Building Plans prepared by Architect for all building items and related site features, including Drive-Thru equipment.
  - The edge of all pavement and curb sections to be removed and/or that will have new pavement/curb sections abutting there, shall be removed. Remaining pavement and curb sections shall have smooth, clean edges. This means additional curbs may be necessary depending on Contractor's means and methods.
  - This Site is within "TPO" Planned Unit Development. Per the City of Des Moines, IA.
  - All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (elevator ramps ascending 14,250") shall be constructed as ramps) that have a vertical clearance greater than 8 inches. Once shown on all sidewalks and all exposed 2 percent.
  - Pavement striping and/or markings shall be applied using two coats of the color specified on a clean surface, at a minimum of 1/2 inch thickness, without addition of binder, with a minimum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 12 mils or 1.5 mils per coat. Disposal of 7.5 mils per coat. Paint shall be applied for straight edges. At a minimum of 15 mils. Apply with mechanical equipment to produce uniform and straight edges.
  - Notes related (DRIV) are to the Field Verified by the Contractor prior to construction, and are shown per maps provided in available records and shall be considered approximate only.
  - Multi Use Building and Surrounding site Features are subject to a future amendment to the "TPO" Comprehensive Plan.

### SITE PLAN LEGEND

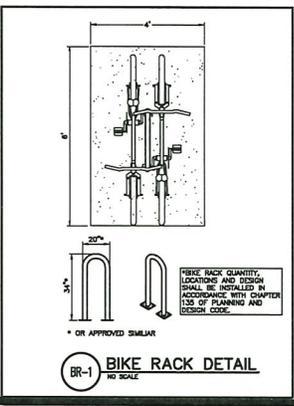
DESCRIPTION	PROPOSED	EXISTING
AIRIAL ELECTRIC	AC	AC
UTILITY POLE	+	+
GLASS POLE	+	+
SANITARY MANHOLE	B	B
CATCH BASIN	CB	CB
JUNCTION BOX	JB	JB
FLARED END SECTION	DS	DS
CLEANOUT	+	+
GRAVED RAIL	B	B
GRASS RAIL	B	B
CHAINLINK/WOODEN FENCE	---	---
WATER VALVE	+	+
FIRE HYDRANT	+	+
EXHIBIT	---	---
PROPERTY LINE	---	---

### PAVEMENT LEGEND

	STANDARD DUTY PAVEMENT (SDP)
	HEAVY DUTY PAVEMENT (HDP)
	CONCRETE PAVEMENT

### ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
BH	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/T	NOT SHOWN OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
Ⓢ	ADA ACCESSIBLE RAMP



### PARKING DATA

TYPE	AREA (S.F.)
PROPOSED FAST FOOD BUILDING	2,977 S.F.
CITY REQUIRED PARKING:	
RESTAURANT:	
1 SPACE PER 150 SQUARE FEET OF FLOOR AREA	
TOTAL REQUIRED:	20 SPACES
PROVIDED STANDARD SPACES	28 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	30 SPACES
PROVIDED OVERALL PARKING RATIO:	10.08/1,000 S.F.
9' WIDE X 17' DEEP, 90° SPACE REQUIRED	
9' WIDE X 19' DEEP, PROVIDED	
*ASSUME 6 EMPLOYEES PER SHIFT	

**CITY NOTES:**

- THE SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODES APPLICABLE TO THE SITE.
- ANY AMENDMENTS OR CHANGES TO THE CITY CODE SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY CHANGES TO THE CITY CODE.
- ANY MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD, AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING.
- LANDSCAPING SHALL BE CONSIDERED WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- LANDSCAPING SHALL BE CONSIDERED WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- THE CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY CHANGES TO THE CITY CODE.
- ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SOILING.

### GREENSPACE AREAS (BURGER KING)

SURFACE TYPE	PRE CONSTRUCTION	POST CONSTRUCTION
IMPERVIOUS	0.28	0.68
PERVIOUS	0.77	0.39
TOTAL AREA (AC)	1.03	1.03

### PARKING DATA

TYPE	AREA (S.F.)
PROPOSED MULTI USE BUILDING	6,972 S.F.
RESTAURANT (2,736 S.F.) AND RETAIL (4,236 S.F.)	
CITY REQUIRED PARKING:	
RESTAURANT: 1 SPACE PER 150 S.F. OF FLOOR AREA	
SUBTOTAL REQUIRED:	19 SPACES
RETAIL: 1 SPACE PER 200 S.F. OF FLOOR AREA	
SUBTOTAL REQUIRED:	22 SPACES
TOTAL REQUIRED:	41 SPACES
PROVIDED STANDARD SPACES	43 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	45 SPACES
PROVIDED OVERALL PARKING RATIO:	6.45/1,000 S.F.
9' WIDE X 17' DEEP, 90° SPACE REQUIRED	
9' WIDE X 17' DEEP, PROVIDED	

FOR REVIEW PURPOSES ONLY

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-292-5859 for utility location information.

The contractor shall verify and implement the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

blfeng.com TELEPHONE: (531) 239-4751

183 ELM STREET WASHINGTON, MISSOURI 63090

**BFA** Engineering+Surveying

Rick G. Rohlfing, P.E. #18046  
State of Iowa  
Registered Professional Engineer for BFA, Inc.

01/04/22 Date

SCALE: 1"=30'  
JOB No. 5453  
SHEET NAME SITE PLAN  
SP-1

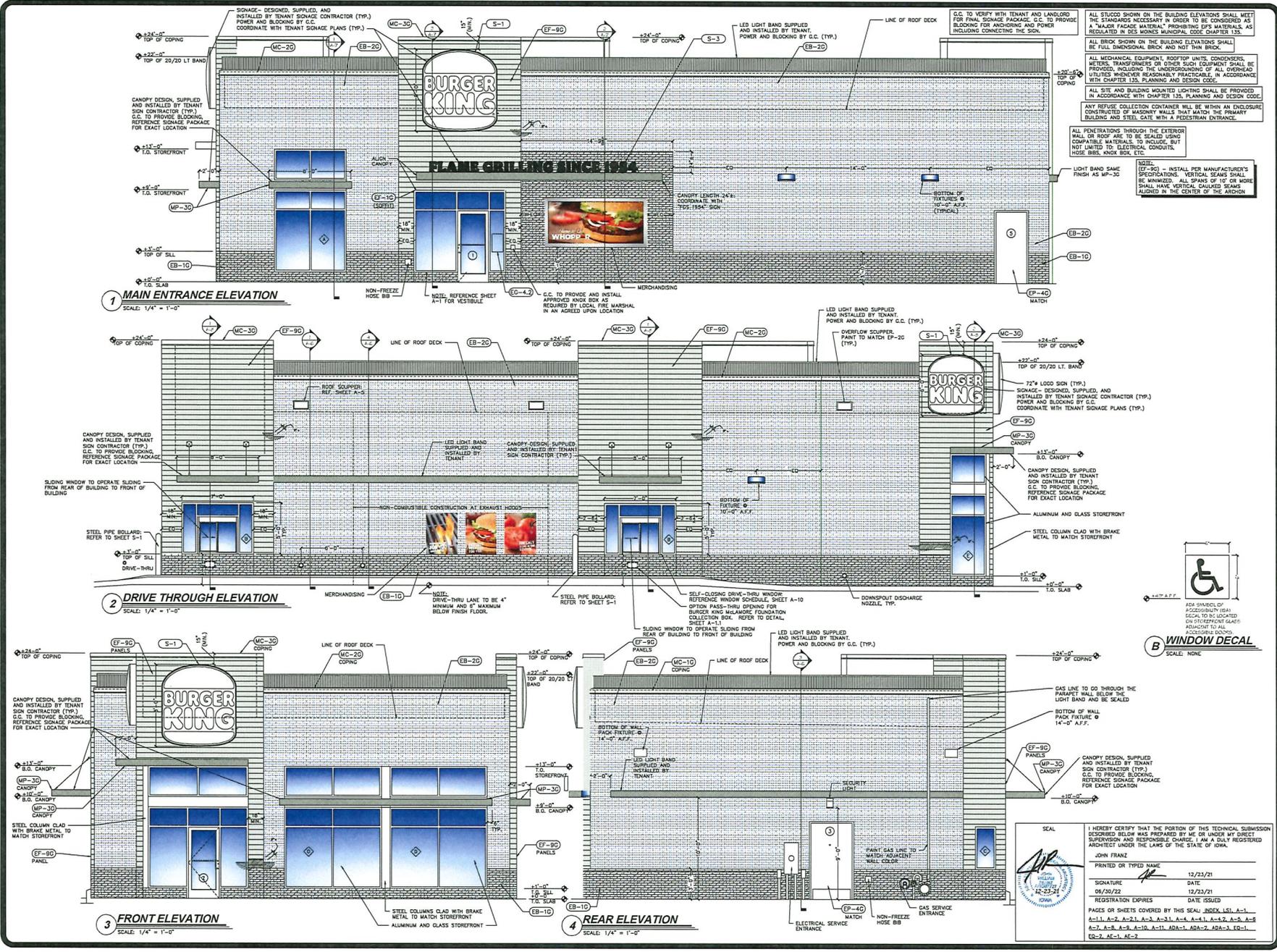
**DES MOINES, IOWA**  
Net Lease Development LLC  
PO BOX 100843  
Fort Worth, TX 76185

### REVISIONS

NO.	DATE	BY	APP.
1			
2			
3			
4			

DRAWN	G.W.C.
CHECKED	J.B.S.
DATE	01/04/22
SCALE	1"=30'
JOB No.	5453
SHEET NAME	SITE PLAN
	SP-1





DATE: 12-23-21

CHECKED BY: JMF

DESIGNED BY: JMF

DATE: 12-23-21

BRANN BY: AJK

DATE: 12-23-21



OLD ADDRESS/INACTIVE PHONE NUMBER  
 4095 International Plaza Suite 100  
 Fort Worth, Texas 76189  
 (817) 737-6922  
 www.franzarchitects.com



SEAL

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

JOHN FRANZ  
 PRINTED OR TYPED NAME  
 12/23/21  
 DATE  
 12/23/21  
 DATE ISSUED  
 REGISTRATION EXPIRES  
 PAGES OR SHEETS COVERED BY THIS SEAL INDEX (L1, A-1, A-1.1, A-2, A-2.1, A-3, A-3.1, A-4, A-4.1, A-4.2, A-5, A-5.1, A-6, A-6.1, A-6.2, A-7, A-7.1, A-7.2, A-8, A-8.1, A-8.2, A-9, A-9.1, A-9.2, A-10, A-10.1, A-10.2, A-11, A-11.1, A-11.2, A-12, A-12.1, A-12.2)

SEAL

12/23/21

PROJECT # 20207

BURGER KING RESTAURANT

1500 E. EUCLID AVE.  
 DES MOINES, IA 50313

EXTERIOR ELEVATIONS

A-2

April 28, 2017  
**BURGER KING - 20/20 GARDEN GRILL EXTERIOR**  
**EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)**

CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION	DIMENSION	ADDITIONAL INFORMATION
EB-1G	EXTERIOR BRICK	GENERAL	FULL SIZE BRICK	FACE BRICK	WILLAMSBURG SMOKY MOUNTAIN		CONTACT: Mike Warner (515) 254 - 0196 mwarner@stowdybrick.com NOTE: use EB-36 grout
EB-2G	EXTERIOR BRICK	GENERAL	FULL SIZE BRICK	FACE BRICK	BONE		CONTACT: Mike Warner (515) 254 - 0196 mwarner@stowdybrick.com NOTE: use EB-36 grout
EP-9G	EXTERIOR FINISH FIBER CEMENT					18" X 10"	CONTACT NICHHA CUSTOMER SERVICE (770) 865-9466 BR@NICHHA.COM NICHHA PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE STaggerED. ALL VERTICAL CAULKED SEAMS ALIGNED IN THE CENTER OF THE ARCHION. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS. APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)
TR-1G	ALUMINIUM TRIMS	EXTERIOR SIGN ARCHIONS	NICHHA FIBER CEMENT	VINTAGE WOOD EF782	"CEDAR"		CONTACT: KEVIN LASTACY, PEG CORPORATE NATIONAL ACCOUNTS MANAGER Phone: (681) 335-2326 Email: klastacy@ppg.com
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL		PRIMER: 17-921 PAINT: 5-2045X1	"DESERT DUNE" PPG 1022-6		NOTE: FOR REMODELS ONLY NOT FOR USE ON ROOFS. SEE EP-6AG & EP-6BG
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: 17-921 PAINT: 5-2045X1	"GRANITE" PPG 1022-6		
EP-6G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS	PPG	PRIMER: 6-212 PAINT: 6-230	"STEPPING STONE" PPG 1010-4		
EP-88G	EXTERIOR PAINT	METAL COPING AT ARCHION TRIMS		PRIMER: 17-921 PAINT: 5-2045X1	"CUSTOM SIGNIFICANCE" PPG 1079-6 Custom Formula		
EXT-5	EXTERIOR PAINT	POLES & SIGNS		PRIMER: 60-212 PAINT: 90-353	"BLACK"		
EGR-3G	GROUT	BRICK	MAPEI		"#3 CHANDIS"		NOTE: USE WITH EB-1G
MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP		PERMA SNAP PLUS	A-30 SILVERSMTM		CONTACT: W. P. HICKMAN COMPANY (820)576-1700 - WWW.WPHIL.COM
MC-2G	METAL COPING	BELOW LIGHT BAND	W. P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-26 SILVER TAN		
MC-3G	METAL COPING	TOP OF ARCHION		PERMA SNAP PLUS	A-36 SILVER TAN		PRODUCT INFORMATION: KEVIN RUBBOTTON AT TETRION (801) 634-0599 OR (918) 622-4978 Email: krubbott@tetrion.com
MP-1G		PARAPET LIGHT BAND	LETRON	LED LIGHT BAND			
MP-3G	METAL CANOPY	ABOVE DOORS AND WINDOWS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED		CONTACT: YUSUKE KOREEDA (515) 945-9991 Email: koreedyusuke@freestonshop.com
MP-4G	METAL AWNING / SSM ROOFING	ABOVE WINDOWS / WAINSCOT ROOFING	FRESTONE METAL PRODUCTS HERRIDGE ROOFING METAL PRODUCTS	STANDING SEAM METAL ROOF UC-4 PROFILE STANDING SEAM METAL ROOF CE-LOCK	SILVER METALLIC SR PREMIUM METALLIC - ZINC COTE		CONTACT: (210) 650-7947

SEAL

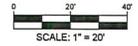


I HEREBY CERTIFY THAT THE PORTION OF THIS INSTRUMENT, REPRESENTING THE DESIGN AND CALCULATIONS, WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF IOWA.

PRINTED OR TYPED NAME: KEVIN RUBBOTT  
 DATE: 08/20/16  
 REGISTRATION EXPIRES: 12/31/17  
 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1-1, 1-2, 1-3, 1-4, 1-5, 1-6, 1-7, 1-8, 1-9, 1-10, 1-11, 1-12, 1-13, 1-14, 1-15, 1-16, 1-17, 1-18, 1-19, 1-20, 1-21, 1-22, 1-23, 1-24, 1-25, 1-26, 1-27, 1-28, 1-29, 1-30, 1-31, 1-32, 1-33, 1-34, 1-35, 1-36, 1-37, 1-38, 1-39, 1-40, 1-41, 1-42, 1-43, 1-44, 1-45, 1-46, 1-47, 1-48, 1-49, 1-50, 1-51, 1-52, 1-53, 1-54, 1-55, 1-56, 1-57, 1-58, 1-59, 1-60, 1-61, 1-62, 1-63, 1-64, 1-65, 1-66, 1-67, 1-68, 1-69, 1-70, 1-71, 1-72, 1-73, 1-74, 1-75, 1-76, 1-77, 1-78, 1-79, 1-80, 1-81, 1-82, 1-83, 1-84, 1-85, 1-86, 1-87, 1-88, 1-89, 1-90, 1-91, 1-92, 1-93, 1-94, 1-95, 1-96, 1-97, 1-98, 1-99, 1-100, 1-101, 1-102, 1-103, 1-104, 1-105, 1-106, 1-107, 1-108, 1-109, 1-110, 1-111, 1-112, 1-113, 1-114, 1-115, 1-116, 1-117, 1-118, 1-119, 1-120, 1-121, 1-122, 1-123, 1-124, 1-125, 1-126, 1-127, 1-128, 1-129, 1-130, 1-131, 1-132, 1-133, 1-134, 1-135, 1-136, 1-137, 1-138, 1-139, 1-140, 1-141, 1-142, 1-143, 1-144, 1-145, 1-146, 1-147, 1-148, 1-149, 1-150, 1-151, 1-152, 1-153, 1-154, 1-155, 1-156, 1-157, 1-158, 1-159, 1-160, 1-161, 1-162, 1-163, 1-164, 1-165, 1-166, 1-167, 1-168, 1-169, 1-170, 1-171, 1-172, 1-173, 1-174, 1-175, 1-176, 1-177, 1-178, 1-179, 1-180, 1-181, 1-182, 1-183, 1-184, 1-185, 1-186, 1-187, 1-188, 1-189, 1-190, 1-191, 1-192, 1-193, 1-194, 1-195, 1-196, 1-197, 1-198, 1-199, 1-200, 1-201, 1-202, 1-203, 1-204, 1-205, 1-206, 1-207, 1-208, 1-209, 1-210, 1-211, 1-212, 1-213, 1-214, 1-215, 1-216, 1-217, 1-218, 1-219, 1-220, 1-221, 1-222, 1-223, 1-224, 1-225, 1-226, 1-227, 1-228, 1-229, 1-230, 1-231, 1-232, 1-233, 1-234, 1-235, 1-236, 1-237, 1-238, 1-239, 1-240, 1-241, 1-242, 1-243, 1-244, 1-245, 1-246, 1-247, 1-248, 1-249, 1-250, 1-251, 1-252, 1-253, 1-254, 1-255, 1-256, 1-257, 1-258, 1-259, 1-260, 1-261, 1-262, 1-263, 1-264, 1-265, 1-266, 1-267, 1-268, 1-269, 1-270, 1-271, 1-272, 1-273, 1-274, 1-275, 1-276, 1-277, 1-278, 1-279, 1-280, 1-281, 1-282, 1-283, 1-284, 1-285, 1-286, 1-287, 1-288, 1-289, 1-290, 1-291, 1-292, 1-293, 1-294, 1-295, 1-296, 1-297, 1-298, 1-299, 1-300, 1-301, 1-302, 1-303, 1-304, 1-305, 1-306, 1-307, 1-308, 1-309, 1-310, 1-311, 1-312, 1-313, 1-314, 1-315, 1-316, 1-317, 1-318, 1-319, 1-320, 1-321, 1-322, 1-323, 1-324, 1-325, 1-326, 1-327, 1-328, 1-329, 1-330, 1-331, 1-332, 1-333, 1-334, 1-335, 1-336, 1-337, 1-338, 1-339, 1-340, 1-341, 1-342, 1-343, 1-344, 1-345, 1-346, 1-347, 1-348, 1-349, 1-350, 1-351, 1-352, 1-353, 1-354, 1-355, 1-356, 1-357, 1-358, 1-359, 1-360, 1-361, 1-362, 1-363, 1-364, 1-365, 1-366, 1-367, 1-368, 1-369, 1-370, 1-371, 1-372, 1-373, 1-374, 1-375, 1-376, 1-377, 1-378, 1-379, 1-380, 1-381, 1-382, 1-383, 1-384, 1-385, 1-386, 1-387, 1-388, 1-389, 1-390, 1-391, 1-392, 1-393, 1-394, 1-395, 1-396, 1-397, 1-398, 1-399, 1-400, 1-401, 1-402, 1-403, 1-404, 1-405, 1-406, 1-407, 1-408, 1-409, 1-410, 1-411, 1-412, 1-413, 1-414, 1-415, 1-416, 1-417, 1-418, 1-419, 1-420, 1-421, 1-422, 1-423, 1-424, 1-425, 1-426, 1-427, 1-428, 1-429, 1-430, 1-431, 1-432, 1-433, 1-434, 1-435, 1-436, 1-437, 1-438, 1-439, 1-440, 1-441, 1-442, 1-443, 1-444, 1-445, 1-446, 1-447, 1-448, 1-449, 1-450, 1-451, 1-452, 1-453, 1-454, 1-455, 1-456, 1-457, 1-458, 1-459, 1-460, 1-461, 1-462, 1-463, 1-464, 1-465, 1-466, 1-467, 1-468, 1-469, 1-470, 1-471, 1-472, 1-473, 1-474, 1-475, 1-476, 1-477, 1-478, 1-479, 1-480, 1-481, 1-482, 1-483, 1-484, 1-485, 1-486, 1-487, 1-488, 1-489, 1-490, 1-491, 1-492, 1-493, 1-494, 1-495, 1-496, 1-497, 1-498, 1-499, 1-500, 1-501, 1-502, 1-503, 1-504, 1-505, 1-506, 1-507, 1-508, 1-509, 1-510, 1-511, 1-512, 1-513, 1-514, 1-515, 1-516, 1-517, 1-518, 1-519, 1-520, 1-521, 1-522, 1-523, 1-524, 1-525, 1-526, 1-527, 1-528, 1-529, 1-530, 1-531, 1-532, 1-533, 1-534, 1-535, 1-536, 1-537, 1-538, 1-539, 1-540, 1-541, 1-542, 1-543, 1-544, 1-545, 1-546, 1-547, 1-548, 1-549, 1-550, 1-551, 1-552, 1-553, 1-554, 1-555, 1-556, 1-557, 1-558, 1-559, 1-560, 1-561, 1-562, 1-563, 1-564, 1-565, 1-566, 1-567, 1-568, 1-569, 1-570, 1-571, 1-572, 1-573, 1-574, 1-575, 1-576, 1-577, 1-578, 1-579, 1-580, 1-581, 1-582, 1-583, 1-584, 1-585, 1-586, 1-587, 1-588, 1-589, 1-590, 1-591, 1-592, 1-593, 1-594, 1-595, 1-596, 1-597, 1-598, 1-599, 1-600, 1-601, 1-602, 1-603, 1-604, 1-605, 1-606, 1-607, 1-608, 1-609, 1-610, 1-611, 1-612, 1-613, 1-614, 1-615, 1-616, 1-617, 1-618, 1-619, 1-620, 1-621, 1-622, 1-623, 1-624, 1-625, 1-626, 1-627, 1-628, 1-629, 1-630, 1-631, 1-632, 1-633, 1-634, 1-635, 1-636, 1-637, 1-638, 1-639, 1-640, 1-641, 1-642, 1-643, 1-644, 1-645, 1-646, 1-647, 1-648, 1-649, 1-650, 1-651, 1-652, 1-653, 1-654, 1-655, 1-656, 1-657, 1-658, 1-659, 1-660, 1-661, 1-662, 1-663, 1-664, 1-665, 1-666, 1-667, 1-668, 1-669, 1-670, 1-671, 1-672, 1-673, 1-674, 1-675, 1-676, 1-677, 1-678, 1-679, 1-680, 1-681, 1-682, 1-683, 1-684, 1-685, 1-686, 1-687, 1-688, 1-689, 1-690, 1-691, 1-692, 1-693, 1-694, 1-695, 1-696, 1-697, 1-698, 1-699, 1-700, 1-701, 1-702, 1-703, 1-704, 1-705, 1-706, 1-707, 1-708, 1-709, 1-710, 1-711, 1-712, 1-713, 1-714, 1-715, 1-716, 1-717, 1-718, 1-719, 1-720, 1-721, 1-722, 1-723, 1-724, 1-725, 1-726, 1-727, 1-728, 1-729, 1-730, 1-731, 1-732, 1-733, 1-734, 1-735, 1-736, 1-737, 1-738, 1-739, 1-740, 1-741, 1-742, 1-743, 1-744, 1-745, 1-746, 1-747, 1-748, 1-749, 1-750, 1-751, 1-752, 1-753, 1-754, 1-755, 1-756, 1-757, 1-758, 1-759, 1-760, 1-761, 1-762, 1-763, 1-764, 1-765, 1-766, 1-767, 1-768, 1-769, 1-770, 1-771, 1-772, 1-773, 1-774, 1-775, 1-776, 1-777, 1-778, 1-779, 1-780, 1-781, 1-782, 1-783, 1-784, 1-785, 1-786, 1-787, 1-788, 1-789, 1-790, 1-791, 1-792, 1-793, 1-794, 1-795, 1-796, 1-797, 1-798, 1-799, 1-800, 1-801, 1-802, 1-803, 1-804, 1-805, 1-806, 1-807, 1-808, 1-809, 1-810, 1-811, 1-812, 1-813, 1-814, 1-815, 1-816, 1-817, 1-818, 1-819, 1-820, 1-821, 1-822, 1-823, 1-824, 1-825, 1-826, 1-827, 1-828, 1-829, 1-830, 1-831, 1-832, 1-833, 1-834, 1-835, 1-836, 1-837, 1-838, 1-839, 1-840, 1-841, 1-842, 1-843, 1-844, 1-845, 1-846, 1-847, 1-848, 1-849, 1-850, 1-851, 1-852, 1-853, 1-854, 1-855, 1-856, 1-857, 1-858, 1-859, 1-860, 1-861, 1-862, 1-863, 1-864, 1-865, 1-866, 1-867, 1-868, 1-869, 1-870, 1-871, 1-872, 1-873, 1-874, 1-875, 1-876, 1-877, 1-878, 1-879, 1-880, 1-881, 1-882, 1-883, 1-884, 1-885, 1-886, 1-887, 1-888, 1-889, 1-890, 1-891, 1-892, 1-893, 1-894, 1-895, 1-896, 1-897, 1-898, 1-899, 1-900, 1-901, 1-902, 1-903, 1-904, 1-905, 1-906, 1-907, 1-908, 1-909, 1-910, 1-911, 1-912, 1-913, 1-914, 1-915, 1-916, 1-917, 1-918, 1-919, 1-920, 1-921, 1-922, 1-923, 1-924, 1-925, 1-926, 1-927, 1-928, 1-929, 1-930, 1-931, 1-932, 1-933, 1-934, 1-935, 1-936, 1-937, 1-938, 1-939, 1-940, 1-941, 1-942, 1-943, 1-944, 1-945, 1-946, 1-947, 1-948, 1-949, 1-950, 1-951, 1-952, 1-953, 1-954, 1-955, 1-956, 1-957, 1-958, 1-959, 1-960, 1-961, 1-962, 1-963, 1-964, 1-965, 1-966, 1-967, 1-968, 1-969, 1-970, 1-971, 1-972, 1-973, 1-974, 1-975, 1-976, 1-977, 1-978, 1-979, 1-980, 1-981, 1-982, 1-983, 1-984, 1-985, 1-986, 1-987, 1-988, 1-989, 1-990, 1-991, 1-992, 1-993, 1-994, 1-995, 1-996, 1-997, 1-998, 1-999, 1-1000, 1-1001, 1-1002, 1-1003, 1-1004, 1-1005, 1-1006, 1-1007, 1-1008, 1-1009, 1-1010, 1-1011, 1-1012, 1-1013, 1-1014, 1-1015, 1-1016, 1-1017, 1-1018, 1-1019, 1-1020, 1-1021, 1-1022, 1-1023, 1-1024, 1-1025, 1-1026, 1-1027, 1-1028, 1-1029, 1-1030, 1-1031, 1-1032, 1-1033, 1-1034, 1-1035, 1-1036, 1-1037, 1-1038, 1-1039, 1-1040, 1-1041, 1-1042, 1-1043, 1-1044, 1-1045, 1-1046, 1-1047, 1-1048, 1-1049, 1-1050, 1-1051, 1-1052, 1-1053, 1-1054, 1-1055, 1-1056, 1-1057, 1-1058, 1-1059, 1-1060, 1-1061, 1-1062, 1-1063, 1-1064, 1-1065, 1-1066, 1-1067, 1-1068, 1-1069, 1-1070, 1-1071, 1-1072, 1-1073, 1-1074, 1-1075, 1-1076, 1-1077, 1-1078, 1-1079, 1-1080, 1-1081, 1-1082, 1-1083, 1-1084, 1-1085, 1-1086, 1-1087, 1-1088, 1-1089, 1-1090, 1-1091, 1-1092, 1-1093, 1-1094, 1-1095, 1-1096, 1-1097, 1-1098, 1-1099, 1-1100, 1-1101, 1-1102, 1-1103, 1-1104, 1-1105, 1-1106, 1-1107, 1-1108, 1-1109, 1-1110, 1-1111, 1-1112, 1-1113, 1-1114, 1-1115, 1-1116, 1-1117, 1-1118, 1-1119, 1-1120, 1-1121, 1-1122, 1-1123, 1-1124, 1-1125, 1-1126, 1-1127, 1-1128, 1-1129, 1-1130, 1-1131, 1-1132, 1-1133, 1-1134, 1-1135, 1-1136, 1-1137, 1-1138, 1-1139, 1-1140, 1-1141, 1-1142, 1-1143, 1-1144, 1-1145, 1-1146, 1-1147, 1-1148, 1-1149, 1-1150, 1-1151, 1-1152, 1-1153, 1-1154, 1-1155, 1-1156, 1-1157, 1-1158, 1-1159, 1-1160, 1-1161, 1-1162, 1-1163, 1-1164, 1-1165, 1-1166, 1-1167, 1-1168, 1-1169, 1-1170, 1-1171, 1-1172, 1-1173, 1-1174, 1-1175, 1-1176, 1-1177, 1-1178, 1-1179, 1-1180, 1-1181, 1-1182, 1-1183, 1-1184, 1-1185, 1-1186, 1-1187, 1-1188, 1-1189, 1-1190, 1-1191, 1-1192, 1-1193, 1-1194, 1-1195, 1-1196, 1-1197, 1-1198, 1-1199, 1-1200, 1-1201, 1-1202, 1-1203, 1-1204, 1-1205, 1-1206, 1-1207, 1-1208, 1-1209, 1-1210, 1-1211, 1-1212, 1-1213, 1-1214, 1-1215, 1-1216, 1-1217, 1-1218, 1-1219, 1-1220, 1-1221, 1-1222, 1-1223, 1-1224, 1-1225, 1-1226, 1-1227, 1-1228, 1-1229, 1-1230, 1-1231, 1-1232, 1-1233, 1-1234, 1-1235, 1-1236, 1-1237, 1-1238, 1-1239, 1-1240, 1-1241, 1-1242, 1-1243, 1-1244, 1-1245, 1-1246, 1-1247, 1-1248, 1-1249, 1-1250, 1-1251, 1-1252, 1-1253, 1-1254, 1-1255, 1-1256, 1-1257, 1-1258, 1-1259, 1-1260, 1-1261, 1-1262, 1-1263, 1-1264, 1-1265, 1-1266, 1-1267, 1-1268, 1-1269, 1-1270, 1-1271, 1-1272, 1-1273, 1-1274, 1-1275, 1-1276, 1-1277, 1-1278, 1-1279, 1-1280, 1-1281, 1-1282, 1-1283, 1-1284, 1-1285, 1-1286, 1-1287, 1-1288, 1-1289, 1-1290, 1-1291, 1-1292, 1-1293, 1-1294, 1-1295, 1-1296, 1-1297, 1-1298, 1-1299, 1-1300, 1-1301, 1-1302, 1-1303, 1-1304, 1-1305, 1-1306, 1-1307, 1-1308, 1-1309, 1-1310, 1-1311, 1-1312, 1-1313, 1-1314, 1-1315, 1-1316, 1-1317, 1-1318, 1-1319, 1-1320, 1-1321, 1-1322, 1-1323, 1-1324, 1-1325, 1-1326, 1-1327, 1-1328, 1-1329, 1-1330, 1-1331, 1-1332, 1-1333, 1-1334, 1-1335, 1-1336, 1-1337, 1-1338, 1-1339, 1-1340, 1-1341, 1-1342, 1-1343, 1-1344, 1-1345, 1-1346, 1-1347, 1-1348, 1-1349, 1-1350, 1-1351, 1-1352, 1-1353, 1-1354, 1-1355, 1-1356, 1-1357, 1-1358, 1-1359, 1-1360, 1-1361, 1-1362, 1-1363, 1-1364, 1-1365, 1-1366, 1-1367, 1-1368, 1-1369, 1-1370, 1-1371, 1-1372, 1-1373, 1-1374, 1-1375, 1-1376, 1-1377, 1-1378, 1-1379, 1-1380, 1-1381, 1-1382, 1-1383, 1-1384, 1-1385, 1-1386, 1-1387, 1-1388, 1-1389, 1-1390, 1-1391,



# CONCEPTUAL SITE PLAN 2.1



### SITE NOTES:

1. SITE IS ZONED PUD "PLANNED UNIT DEVELOPMENT" ZONE AS PER CITY OF DES MOINES.
2. BOUNDARY INFORMATION IS GRAPHICALLY SCALED FROM AVAILABLE MAPS AND DATA, THUS PROPERTY LINES AND ACREAGES SHALL BE CONSIDERED APPROXIMATE ONLY.
3. BUILDING SETBACKS AS PER CITY OF DES MOINES ZONING CODE:  
FRONT YARD=  
SIDE YARD=  
REAR YARD=
4. ALL SIGNAGE AND DRIVETHRU ORDERSTATION(S) WILL BE 2020 IMAGE COMPLIANT.
5. LANDSCAPING REQUIRED PER BURGER KING CORPORATE GUIDELINES WILL BE INSTALLED AT DRIVETHRU ORDERSTATION(S) AND OTHER AREAS.
6. ALL REPAIR AND MAINTENANCE WORK TO BE IN ACCORDANCE WITH THE WALKTHRU INSPECTION (FACILITY INSPECTION REPORT).
7. PLANS WILL MATERIALLY COMPLY WITH ALL LOCAL, STATE, AND NATIONAL CODES, INCLUDING THE AMERICANS WITH DISABILITIES ACT.
8. TRASH ENCLOSURE COLOR WILL MATCH BUILDING.
9. ALL EXTERIOR MENU BOARDS WILL BE BURGER KING APPROVED DIGITAL MODELS.



**DES MOINES, IOWA**  
**Net Lease Development, LLC**  
 PO Box 100843  
 Fort Worth, TX 76185

### PARKING DATA

PROPOSED MULTI USE BUILDING 6,972 S.F.  
 RESTAURANT (2,736 S.F.) AND RETAIL (4,236 S.F.)

#### CITY REQUIRED PARKING:

RESTAURANT: 1 SPACE PER 150 S.F. OF FLOOR AREA  
 SUBTOTAL REQUIRED: 19 SPACES  
 RETAIL: 1 SPACE PER 200 S.F. OF FLOOR AREA  
 SUBTOTAL REQUIRED: 22 SPACES  
 TOTAL REQUIRED: 41 SPACES

PROVIDED STANDARD SPACES 43 SPACES  
 PROVIDED H.C. ACCESSIBLE SPACES 2 SPACES  
 PROVIDED TOTAL PARKING 45 SPACES

PROVIDED OVERALL PARKING RATIO: 6.45/1,000 S.F.  
 9' WIDE X 17' DEEP, 90' SPACE REQUIRED  
 9' WIDE X 17' DEEP, PROVIDED

### PARKING DATA

PROPOSED FAST FOOD BUILDING 2,977 S.F.

#### CITY REQUIRED PARKING:

RESTAURANT:  
 1 SPACE PER 150 SQUARE FEET OF FLOOR AREA  
 TOTAL REQUIRED: 20 SPACES

PROVIDED STANDARD SPACES 28 SPACES  
 PROVIDED H.C. ACCESSIBLE SPACES 2 SPACES  
 PROVIDED TOTAL PARKING 30 SPACES

PROVIDED OVERALL PARKING RATIO: 10.01/1,000 S.F.  
 9' WIDE X 17' DEEP, 90' SPACE REQUIRED  
 9' WIDE X 19' DEEP, PROVIDED

### REVISIONS

NO.	DATE	BY	APP.
1			
2			
3			

4			
---	--	--	--

--	--	--	--

DRAWN	G.W.C.
CHECKED	J.B.S.
DATE	04/28/21
SCALE	1"=20'
JOB NO.	6453
SHEET NAME	CONCEPTUAL SITE PLAN 2.1

CSP 2.1

**PRELIMINARY DRAWING**

FOR REVIEW PURPOSES ONLY  
 NOT TO BE USED FOR CONSTRUCTION

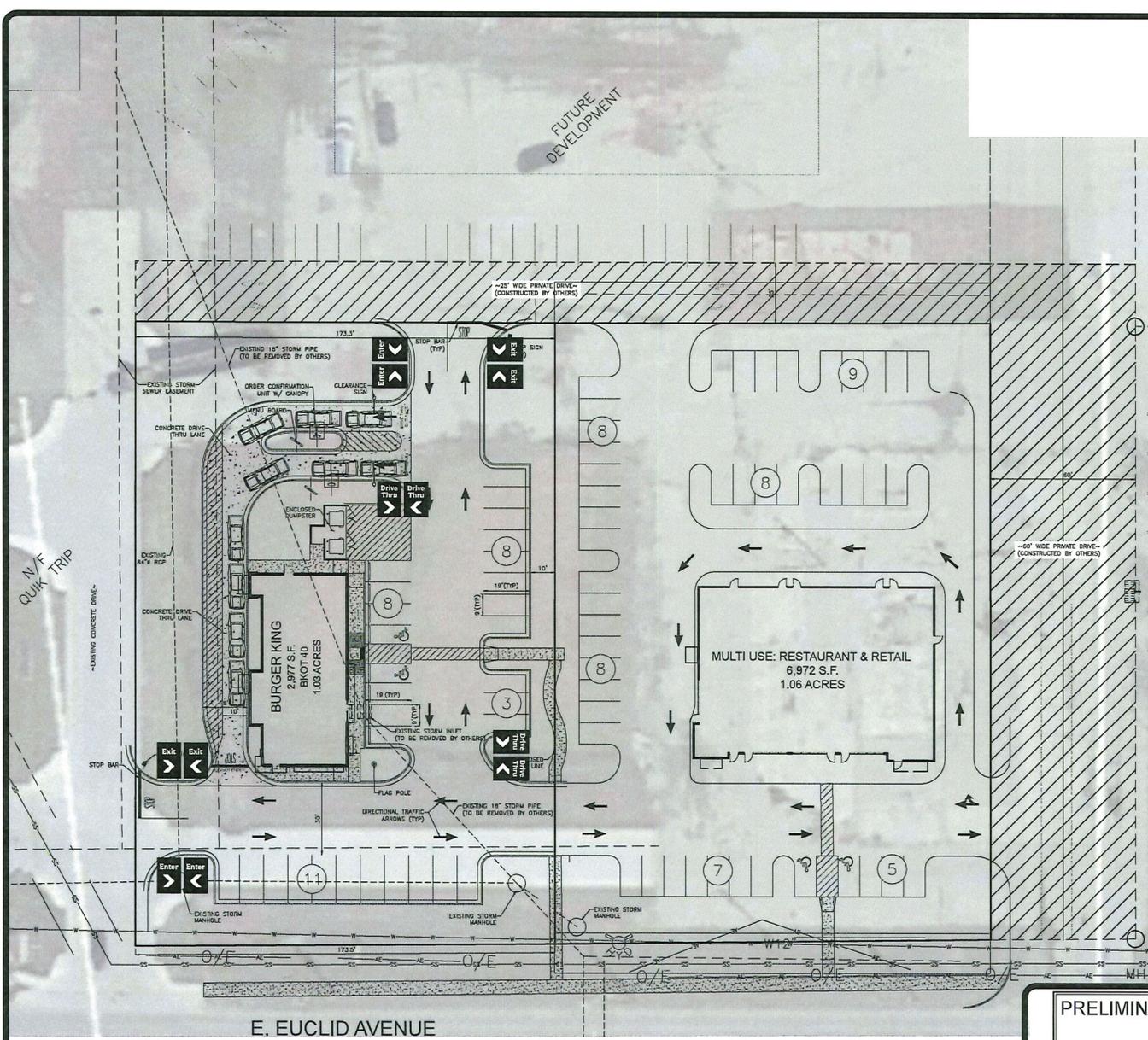
bfaeng.com TELEPHONE: (636) 238-4751



103 ELM STREET WASHINGTON, MISSOURI 63090

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-292-6888 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations residential for the type of construction required by these plans.



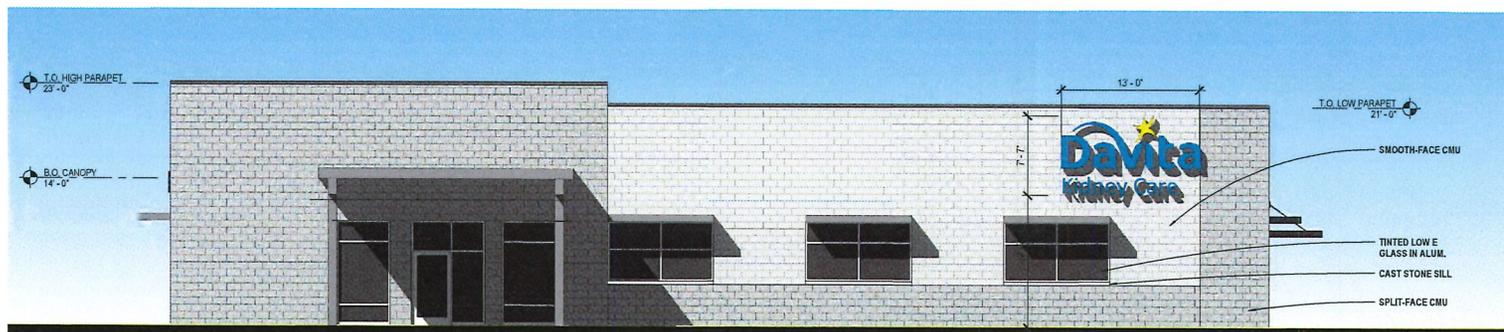
E. EUCLID AVENUE





**DAVITA EAST DES MOINES DIALYSIS**  
 AN AMENDMENT TO THE EASTGATE PLAZA P.U.D. (PLANNED UNIT DEVELOPMENT)  
 CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA  
 SHEET 3 OF 4

**SGI**  
**SIKES GROUP INC**  
 Architects + Project Consultants  
 12012 Wickchester, Suite 650  
 Houston, Texas 77079  
 www.sikesgroup.com  
 T: 281.759.7400  
 F: 281.759.7416



SOUTH ELEVATION (EUCLID)



NORTH ELEVATION

DAVITA EAST DES MOINES DIALYSIS  
 AN AMENDMENT TO THE EASTGATE PLAZA P.U.D.  
 CITY OF DES MOINES, POLK COUNTY, IOWA

1546 E EUCLID AVE  
 DES MOINES, IA 50313

#	Date	Issue/Description	INT.

Project No: 2119  
 Drawn By: VPS  
 Checked By: DM  
 Date: 02/13/2022

EXTERIOR ELEVATIONS





CITY OF DES MOINES, IOWA  
EASTGATE PLAZA PUD CONCEPTUAL PLAN  
- 8TH AMENDMENT  
PREPARED BY VJ ENGINEERING  
NOVEMBER, 2022

LANDSCAPING LEGEND

- PROPOSED SHADE/ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE OR SHRUB

Lot Size: 1.06 Acres (46,355 Square Feet ±)  
Paved Area: 25,588 Square Feet  
Vacuum Parking Stalls: 11  
Employee Parking Stalls: 4  
Zoning: PUD - Planned Unit Development District  
Fema Information: Zone X (Areas Determined to be Outside the 0.2% Annual Chance Floodplain) Per Fema Firm Panel 1915C0215F effective 1/31/2019.

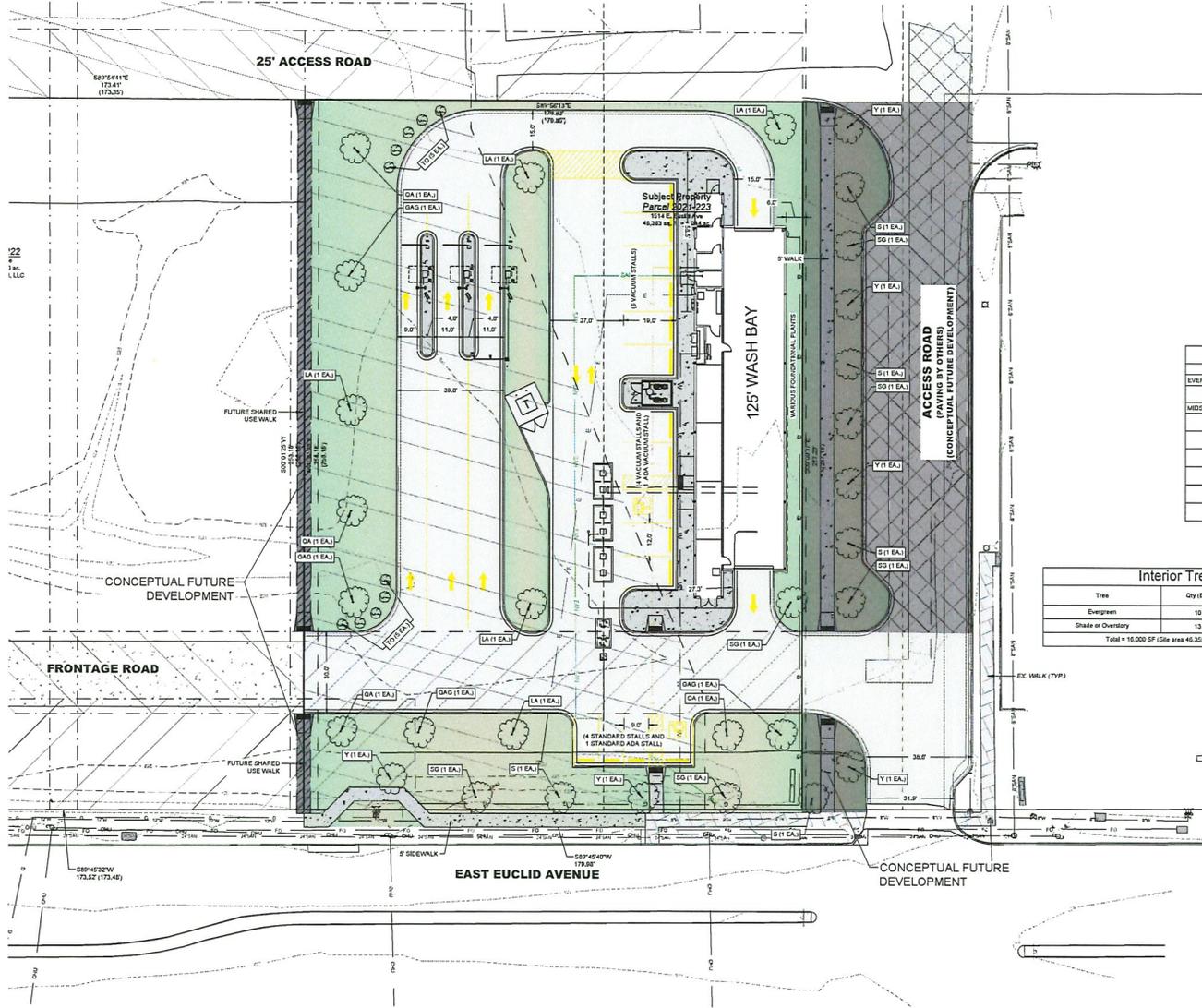


TABLE 2: PLANTING SCHEDULE

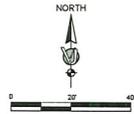
QTY	ID	DESCRIPTION	SIZE	ROOT	SPACING	NOTES
10	TD	Arbutus (White Cedar) THUJA OCCIDENTALIS	5' Height	BB	SEE PLAN	NURSERY MATCHED QUALITY SPECIMEN
<b>MIDSTORY STREET TREES</b>						
4	GA	Oak, White QUERCUS ALBA	1.5" CAL	BB	SEE PLAN	50-60 MATURE HEIGHT, NURSERY MATCHED QUALITY SPECIMEN
4	GAG	Ginkgo, Autumn Gold	1.5" CAL	BB	SEE PLAN	50 MATURE HEIGHT, NURSERY MATCHED QUALITY SPECIMEN
5	LA	Linden, American (Vanderli) (Redmond) TILIA AMERICANA	1.5" CAL	BB	SEE PLAN	50 MATURE HEIGHT, NURSERY MATCHED QUALITY SPECIMEN
5	S	Sassafras SASSAPARILLA ALBIDUM	1.5" CAL	BB	SEE PLAN	50 MATURE HEIGHT, NURSERY MATCHED QUALITY SPECIMEN
6	SD	Sweetgum (Osageum) (Marane) (Syracusa) LIQUIDAMBAR STRYACIFLUA	1.5" CAL	BB	SEE PLAN	50 MATURE HEIGHT, NURSERY MATCHED QUALITY SPECIMEN
6	Y	Yellowwood CLADRASTIS KENTUCKEAE	1.5" CAL	BB	SEE PLAN	50 MATURE HEIGHT, NURSERY MATCHED QUALITY SPECIMEN

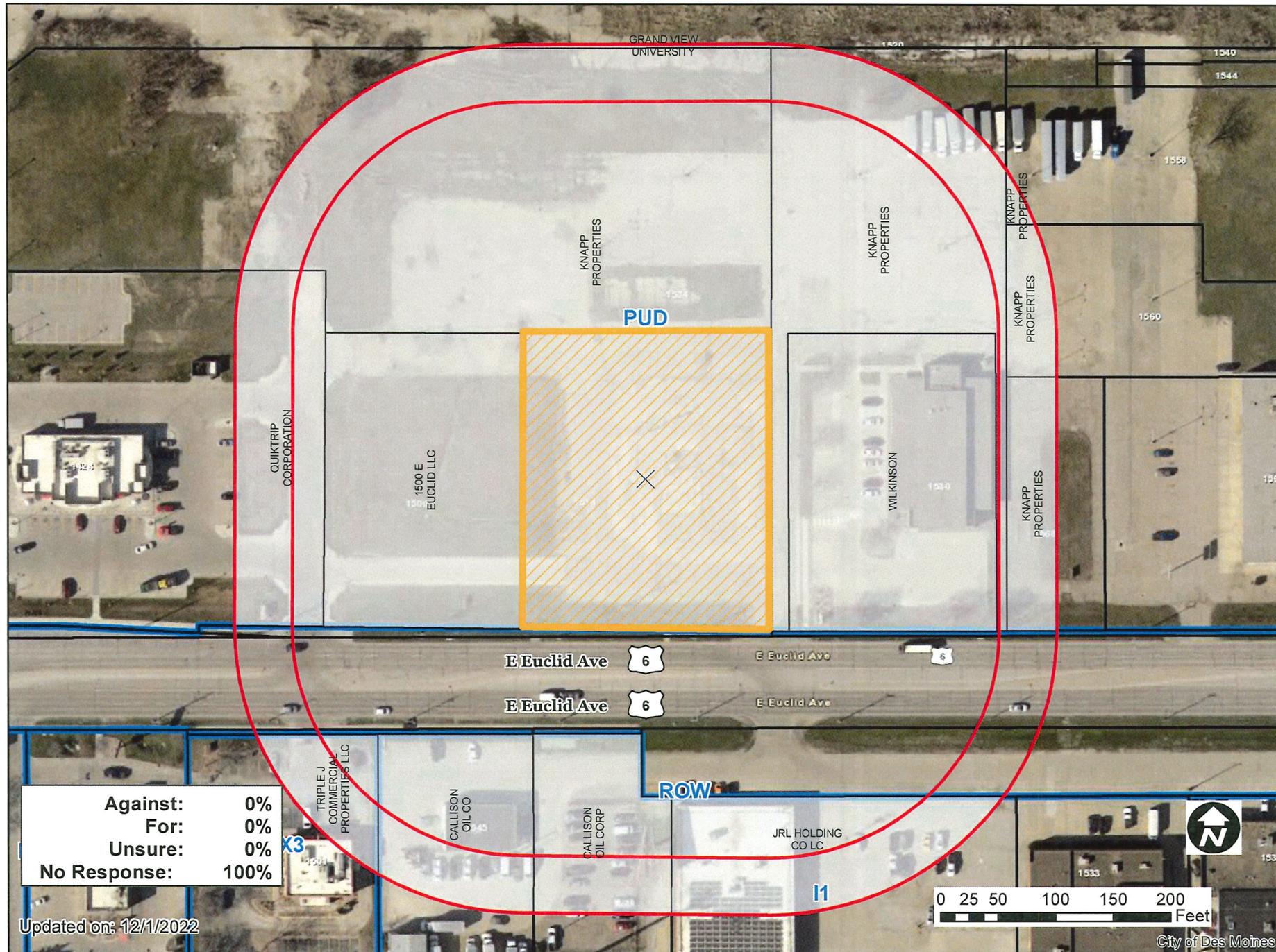
Interior Tree Coverage

Tree	Qty (EA)	Canopy Cov/Credit (SF)	Total (SF)
Evergreen	10	300	3000
Shade or Ornamental	13	1000	13000
Total = 16,000 SF (Site area 46,355 SF) 34.5% Coverage (20% Required)			

Street Trees

Street	Requirement	Length (LF)	Total (EA)
East Euclid Avenue	1 per 30 LF Frontage	180	6
Access Road	1 per 30 LF Frontage	258	10
Total = 16 Each (15 Required)			





Against:	0%
For:	0%
Unsure:	0%
No Response:	100%

Updated on: 12/1/2022

1 inch = 111 feet

## ***Champion Xpress 1514 E. Euclid Des Moines, IA – Virtual Neighborhood Meeting Summary***

### **Notification Letter -**

A certified notification letter was sent on 09/12/22 to each of the listed owners provided by the City of Des Moines required by the guidelines for neighborhood meetings for rezoning and conditional uses with regards to the PUD.

See attached letters and certified mail receipts

### **Virtual Neighborhood Meeting**

On 09/23/22, per the notification letter sent out to the required owners, the virtual neighborhood was started at 5:30 pm via the google meets platform provided.

### **Roll Call:**

Present - Alan Kirchhoff – 7B Building and Development  
Present - Kordell Doshier – 7B Building and Development

### **Adjacent Owner List:**

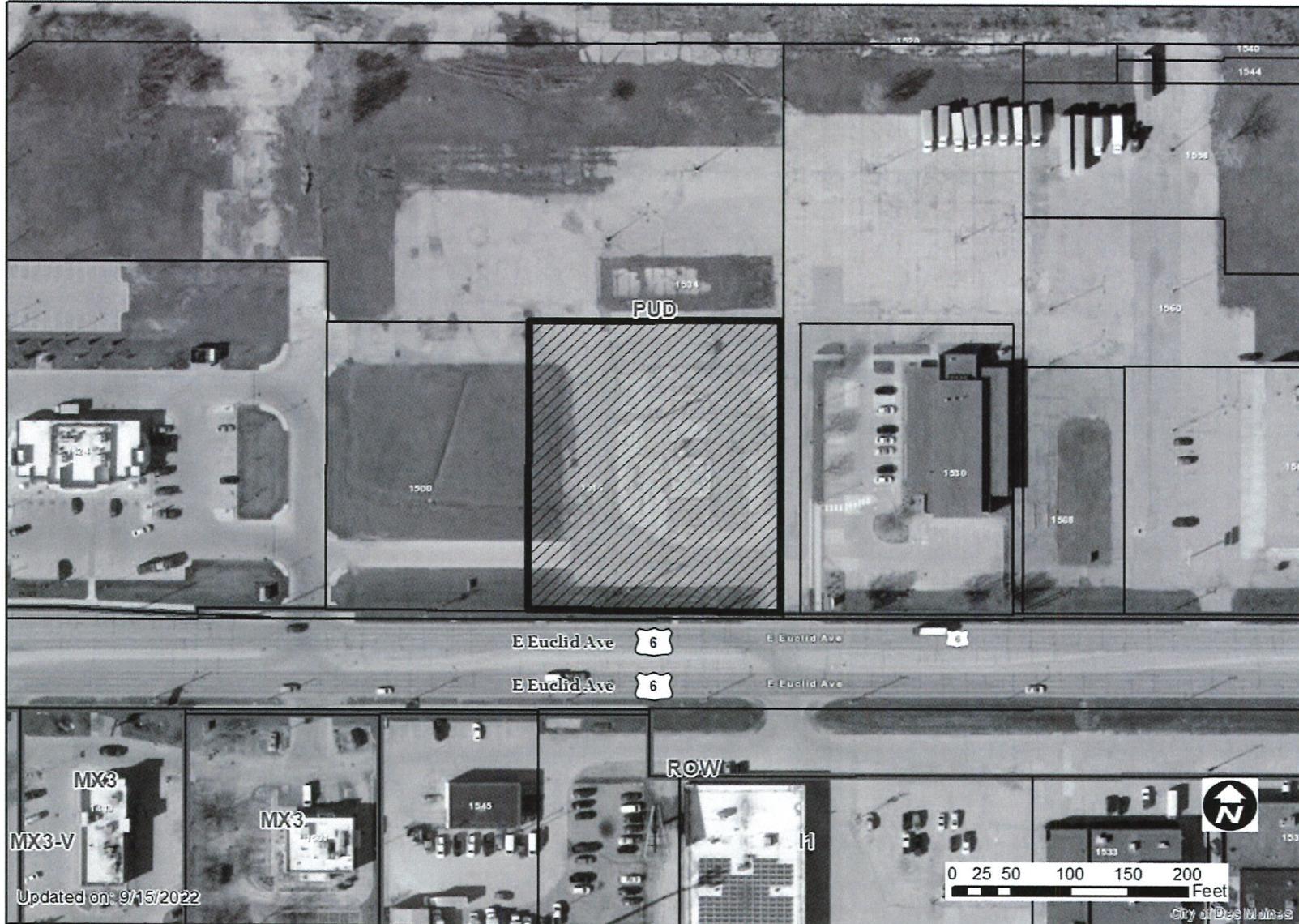
Absent - EASTGATE PLAZA LLC  
Absent - JRL HOLDING COMPANY  
Absent - CALLISON OIL CORP  
Absent - CALLISON OIL CO  
Absent - TRIPLE J COMMERCIAL PROPERTIES LLC  
Absent - NANCY MAC  
Absent - 1500 E EUCLID LLC  
Absent - WWJD LLC  
Absent - Sherri Rosener

### **Adjournment**

After 30 minutes of waiting for adjacent owners to join the meeting and with no adjacent owners joining, the meeting was adjourned at 6:02pm

Eastgate Plaza LLC, 1514 East Euclid Avenue

ZONG-2022-000082



1 inch = 110 feet